

AGENDA ARCHITECTURAL COMMISSION REGULAR MEETING

Monday, September 19, 2022 at 7:00 P.M.

Location: Long Grove Village Hall 3110 Old McHenry Road, Long Grove, IL 60047

- 1. CALL TO ORDER
- 2. ATTENDANCE
- 3. VISITOR BUSINESS / PUBLIC COMMENTARY

4. APPROVAL OF MINUTES

a. Approval of the August 29, 2022 Draft Meeting Minutes

5. OLD BUSINESS

None

6. NEW BUSINESS

- a. AC-14-2022 Review of a proposed single-family residence at 7213 Daybreak Lane.
- b. 2023 Draft Meeting Schedule

7. QUESTIONS AND COMMENTS

8. ADJOURNMENT

Next Scheduled Meeting: October 17, 2022 @ 7:00 PM

The Village of Long Grove is subject to the requirements of the Americans with Disabilities Act of 1990 Individuals with disabilities who plan to attend this meeting and who require certain accommodations in order to allow them to observe and/or participate in this meeting, or who have questions regarding the accessibility of the meeting or the facilities, are requested to phone the Long Grove Village Manager at 847-634-9440 or TDD 847-634- 9650 promptly to allow the Village of Long Grove to make reasonable accommodations for those persons.

DRAFT MEETING MINUTES

MEETING MINUTES OF THE LONG GROVE ARCHITECTURAL COMMISSION SPECIAL MEETING August 29, 2022 6:00 P.M.

Chairwoman Sylvester called the special meeting of the Long Grove Architectural Commission (AC) Workshop to order at 6:00 p.m. with the following members present.

Members Present: Allen Roiter; John Marshall; Matthew Akins; Jeanne Sylvester; Laura Mikolajczak; and John Plunkett.

Members Absent: None.

Also Present: Greg Jackson, Long Grove's Village Manager, Amanda Orenchuk and Jessica Marvin, Community Development Services.

Staff held a training workshop with the Architectural Commission going over the history and roles of the commission.

Meeting Adjourned at 6:59 p.m.

Respectfully Submitted,

Jessica Marvin Associate Planner

MEETING MINUTES OF THE LONG GROVE ARCHITECTURAL COMMISSION REGULAR MEETING August 29, 2022 7:00 P.M.

Chairwoman Sylvester called the meeting of the Long Grove Architectural Commission (AC) to order at 7:08 p.m. with the following members present.

Members Present: Allen Roiter; John Marshall; Matthew Akins; Jeanne Sylvester; Laura Mikolajczak; and John Plunkett.

Members Absent: None.

Also Present: Amanda Orenchuk and Jessica Marvin, Community Development Services, and members of the public.

VISITORS BUSINESS

None.

APPROVAL OF MINUTES

1) Approval of the July 18, 2022 Draft Meeting Minutes.

Multiple commissioners provided corrections to various typographical errors on page two of the minutes.

A motion was made by Commissioner Marshall, seconded by Commissioner Plunkett, to recommend approval of the July 18, 2022, meeting minutes, as amended.

Ayes: J. Marshall; A. Roiter; J. Plunkett; J. Sylvester; M. Akins; L. Mikolajczak Nays: None Absent: None

NEW BUSINESS

1) Consideration of a request for a new single-family home, 7237 Greywall Court and within the Concord Homes' Ravenna Planned Unit Development, submitted by Muhammad Khan, the future homeowner.

The Architectural Commission revisited the project initially presented at the July 18, 2022, Architectural Commission meeting. Associate Planner Marvin provided an overview of the modifications to the proposed new single-family residence. The general contractor, Uriel Oropeza, was present on behalf of the future homeowner. The commission reviewed the revised plans and had minor changes to the proposed new single-family residence.

A motion was made by Commissioner Roiter, seconded by Commissioner Akins, to recommend approval of a new single-family home located at 7237 Greywall Court, which will be evaluated by staff and the AC Chair to incorporate the following conditions:

- Add a masonry band around all the façades.
- Install stucco on both sides of the recessed portion of the rear façade near the chimney.
- The front rectangular window lintels are to be widened to three (3) inches on both sides.
- The front arched window lintels to be widened to one and a half (1 ½) inches on both sides.
- The single windows are to be replaced with double windows, and a double window is to be added to the east façade.

Ayes: A. Roiter; M. Akins; J. Marshall; J. Plunkett; J. Sylvester; L. Mikolajczak Nays: None Absent: None

2) Consideration of a request for a new single-family home, 7234 Roxbury Court and within the Concord Homes' Ravenna Planned Unit Development, submitted by Joon Kim on behalf of Hyung Yun Park, the future homeowner.

Associate Planner Marvin provided an overview of the proposed new single-family residence. The architect, Joon Kim, was present on behalf of the future homeowner. After the commission reviewed the plans, Chairwoman Sylvester requested to continue this case. She asked the petitioners to revise and resubmit their application due to the proposed residence not fitting within the Long Grove and Ravenna of Long Grove HOA Architectural Style.

A motion was made by Commissioner Plunkett, seconded by Commissioner Roiter, to send the application back to the applicant for revisions based on the following:

- Indicate a cedar shake roof, asphalt shingles are not a permitted material.
- Replace the building material siding with hardie board.
- Only 6-8" of the foundation maximum should be exposed.
- Optional masonry band requested along the rear façade.
- Stack the four north façade windows so they are in a line.
- Add two windows on the north façade where the garage is located.
- Break up the roofline or setback the siding so the façade has a less harsh defined line where the building materials meet on the north façade.

Ayes: J. Plunkett; A. Roiter; M. Akins; J. Marshall; J. Sylvester; L. Mikolajczak Nays: None Absent: None

OTHER BUSINESS

No other business was discussed. The next scheduled Architectural Commission meeting is for September 19, 2022 7:00 P.M.

ADJOURNMENT

With no further business, a motion to adjourn the meeting was made by Commissioner Marshall, seconded by Commissioner Roiter.

Ayes: J. Marshall; A. Roiter; J. Plunkett; J. Sylvester; M. Akins; L. Mikolajczak Nays: Absent:

Meeting Adjourned at 8:36 p.m.

Respectfully Submitted,

Jessica Marvin Associate Planner

AC-14-2022 7213 Daybreak Lane



ARCHITECTURAL COMMISSION STAFF REPORT

То:	Jeanne Sylvester, Chair Architectural Commission Members					
From:	Taylor Wegrzyn, Community Development Services					
Subject:	7213 Daybreak Lane					
Requests:	New Single-Family Residence					
Public Meeting Date:	September 19, 2022					
Attachments:	1. Petitioner's Application					
	2. Location Map					
	3. Current Architectural Standards					
	4. Previous Zoning Code Sections 5-20 and 5-22					
PETITIONER Winter	Bunnies 24 LLC					
1600a	Vermont Drive					

1600a Vermont Drive Elk Grove Village, IL 60007

REQUEST

Review of material and design of a new single-family residence at 7213 Daybreak Lane.

HISTORY

In 2001, the Village of Long Grove entered into a Settlement Agreement with the owner of a 113.5-acre property which would eventually become the Ravenna subdivision. This Settlement Agreement stipulated that the property would be zoned R-3 Single Family Residential and developed as a planned unit development. In accordance with the Agreement, a final PUD for the Ravenna subdivision was approved on September 14, 2004 and included a provision that all new homes would require approval by the Architectural Commission.

Most of the 133 lots in the subdivision were developed between 2006-2014. Of these lots, fifteen (15) remain unimproved including the Subject Property at 7213 Daybreak Lane. Two other homes within the subdivision have appeared before the Architectural Commission this year (7234 Roxbury Court and 7237 Greywall Court).

The Concord Homes' Ravenna Planned Unit Development requires that all new buildings in the subdivision comply with section 5-20-1 of the Long Grove Zoning Code (2004 edition):

Section 5-20-1 of the 2004 Long Grove Zoning Code

Prohibition, Criteria: No building permit shall be issued for any new building or for remodeling or alteration of an existing building which if erected, remodeled or altered would produce one or more of the harmful effects set forth in section 2-3-1 of this code. In awning, sign, fence, or other structure will produce one or more of the harmful effects set forth in section 2-3-1 of this code, the architectural board shall consider whether there exists one or more of the following:

- A. Excessive similarity or dissimilarity in design in relation to any other structure existing or for which permit has been issued within a distance of one thousand feet (1,000') of the proposed site or in design generally prevailing in the area in respect to one or more of the following features:
 - 1. Apparently identical façade.
 - 2. Substantially identical size and arrangement of either doors, windows, porticoes or other openings or breaks in the façade facing the street, including a reverse arrangement thereof.
 - 3. Cubical contents.
 - 4. Gross floor area.
 - 5. Other significant design features, such as but not limited to, roofline, height of building, construction or quality of architectural design; or
 - 6. Location and elevation of building upon the site in relation to contiguous properties.
- B. Inappropriateness in relation to any other property in same or any adjoining district of design, landscaping, building material, and use thereof, orientation to site, or placement of parking, storage or refuse areas.

PROPOSED PROJECT

Winter Bunnies 24 LLC is proposing a 3,500 square foot, single-family residence. The Subject Property is located at 7213 Daybreak Lane: a 12,159 square foot lot within the Ravenna subdivision. The proposed structure is twostories (~30ft) in height with a hip roof. It includes a three-car garage in which one double-wide overhead door faces the south and a second, single-wide door faces the front of the lot (west). The second garage door is recessed 20 feet from the front of the home. The rear of the home prominently features a 17'6"x12' covered patio with Tuscan columns, pendant wall lights, and arched glass double doors. The exterior of the home is treated with a white brick veneer from the ground level up to the eaves.

Materials of the two-story home include:

- Facades:
 - Brick Veneer (white) on all four sides, from ground to the frieze board
 - Cut Limestone entryway
- Roof:
 - o Architectural Asphalt Shingles or "Per Covenants"
 - 10:12 pitch roof slope
- Aluminum gutters and downspouts
- Front Windows:
 - o Stucco headers with keystones
 - 7" stucco sills
- Rear and Side Windows:

- Brick soldier courses
- 4" stone sills on rear and side windows

The proposed residence incorporates a variety of rectangular windows on all façades. Windows on the ground floor of the front façade are up to seven feet in height and significantly contribute to the architectural style of the building. The windows, window molding, limestone entryway, and white brick come together to create a modern take on traditional French Chateau architecture.

The residences along Daybreak Lane all use similar materials such as: brick veneer, vinyl siding, natural stone, and asphalt shingles. Some of the homes feature shake shingles, turrets, and eave brackets. Most of these homes use natural-colored stone, red brick, and neutral-colored vinyl, however, there are some examples of grey, blue, and yellow color palettes in the neighborhood. Gable roofs and dormer windows are also prevalent in the neighborhood. The proposed residence is relatively unique in comparison to these homes due to its use of white brick and a hip roof.

ARCHITECTURAL COMMISSION DECISION

The AC should review the single-family residence against the anti-monotony regulations and render a determination based upon those criteria as well as the appropriateness of the new single-family residence at this location in relation to other residences in the area. An excerpt from the Long Grove Zoning Ordinance "Residential Chapter" and an excerpt from the 2004 Zoning Code, both regarding the anti-monotony regulations, are included for consideration by the Commission.

STAFF RECOMMENDATION

The AC should consider whether the materials used, and overall design of the proposed structure aligns with the character of new construction projects for the Village of Long Grove. The AC should also comment on the overall design as presented. The comments of the AC will be taken into consideration with any other required action.

The subdivision is subject to all standards within the Ravenna East Planned Unit Development Ordinance. Staff have reviewed the proposed structure against these standards and have determined that it conforms to the Ordinance. This includes compliance with Section 5-20-1 of the 2004 Zoning Code referenced earlier in this report.

The residence utilizes more than four (4) techniques to differentiate houses in the Ravenna of Long Grove neighborhood as required by the anti-monotony regulations. These techniques include different floor plan, roof orientation, architectural style, and architectural details. For these reasons, the proposed home satisfies the intent of the Village's anti-monotony standards. While the structure is dissimilar to the existing homes in a variety of ways, it still maintains a consistency with the style of the neighborhood through its use of brick, over-sized windows, lentils, and recessed garage. The Commission should consider whether the proposed structure delivers an acceptably similar style and quality to that of the existing homes in the subdivision.



STRUCTURE/FIXTURE ARCHITECTURAL COMMISSION APPLICATION

DATE:

APPLICANT'S NAME:		E-MAIL angie_wozniak@yahoo.com
ADDRESS: 7213 Daybre	ak Lane, Long Grove Illinois 60060	PHONE: <u>312 608 3560</u>
NAME OF BUSINESS:	Winter Bunnies 24 LLC	
BUSINESS ADDRESS:	1600a Vermont Drive , Elk Grove Villa Illinois 60007	agePHONE:_717 379 6979_
TYPE OF STRUCTURE/FIX	TURE: Single Family Hom	ne
A. PROVIDE SIT B. PROVIDE PH	UCTURE/FIXTURE ON PROPER E PLAN. OTOGRAPH OF SITE. DTAGE OF STRUCTURE <u>350</u>	
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STRUCTURE:	AND PHONE NUMBER OF FIRM	A ERECTING OR MANAGINGPHONE:312 608 3560
1600 a Vermont Dr	rive , Elk Grove Village Illinois 60007	E-MAIL_angie_wozniak@yahoo.com
understood by the property ov governing the commercial pro and is liable for any correction and further approves the work	re is required below before any appropriate of the second	understands the regulations Village of Long Grove, accepts et the standards of the Village,
Winter Bunnies 24 LL0	C Angelica a	nd Nikolay Kitanov

Winter Bunnies 24 LLC	Angelica and Nikolay Kitanov
BUSINESS OWNER(S) Winter Bunnies 24 LLC	Angelica and Nikolay Kitanov
PROPERTY OWNER(S)	
APPLICATION APPROVAL:	DATE:

WINTER BUNNIES 24 LLC

Building Proposal for New Construction Home in Ravenna Community 7213 Daybreak Lane, Long Grove 60060 Illinois

Based on the project plans through of the review of the property , we have developed this proposal. Our total cost for this project will be \$600,000. Please see breakdown below :

MATERIALS :

- Concerte foundation
- Framing material
- Exterior brick
- Roofing
- Windows
- HVAC
- Plumbing
- Electric
- Insulation
- Drywall
- Driveway

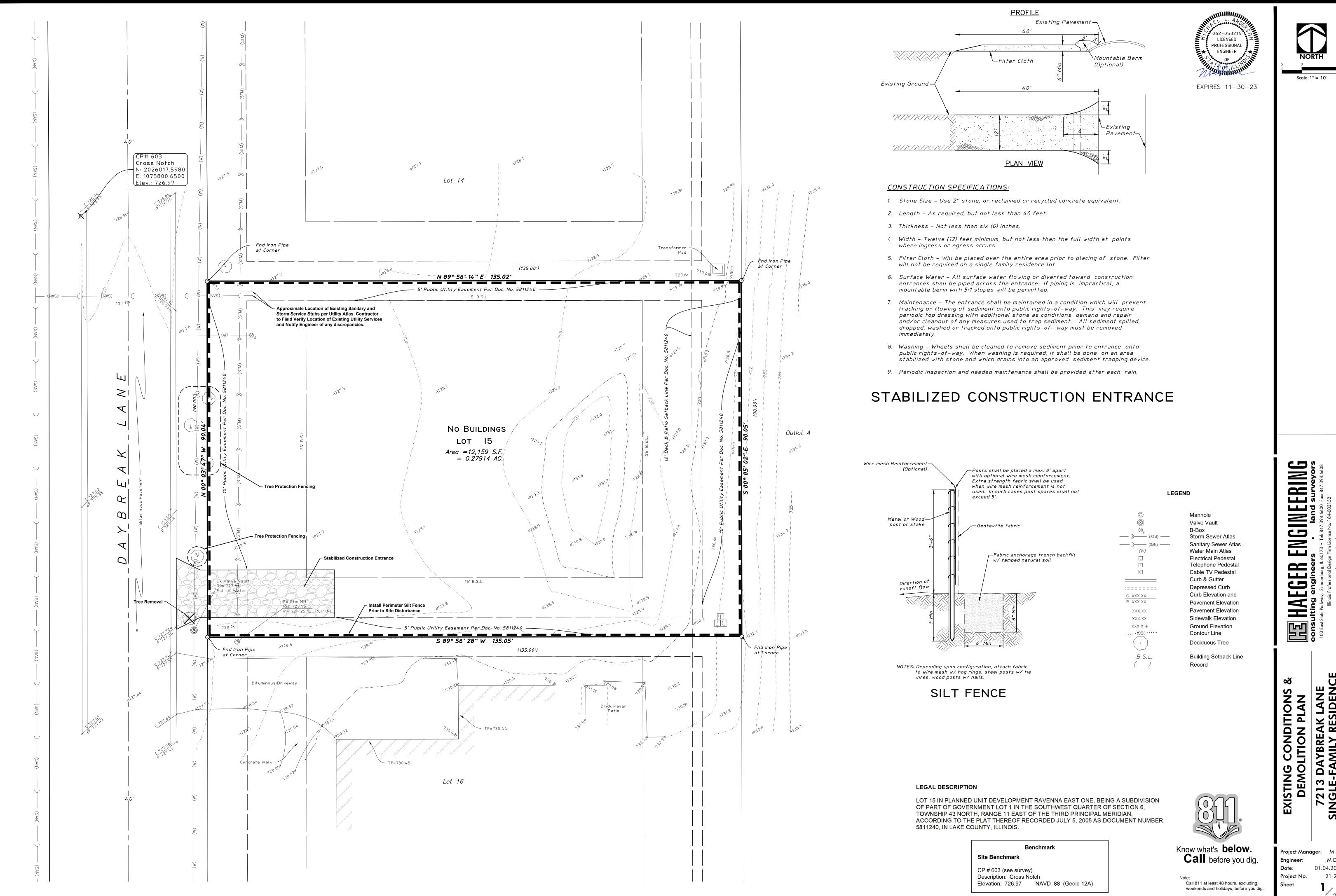
COSTS :

•	MATERIAL :	\$ 380,000
٠	LABOR :	\$ 200,000
٠	OTHERS:	\$ 20,000

TOTAL COST :

\$ 600,000

WINTER BUNNIES 24 LLC Angelica and Nikolay Kitanov 1600a Vermont Drive , Elk Grove Village 60007 Illinois Phone number : 312 608 3560



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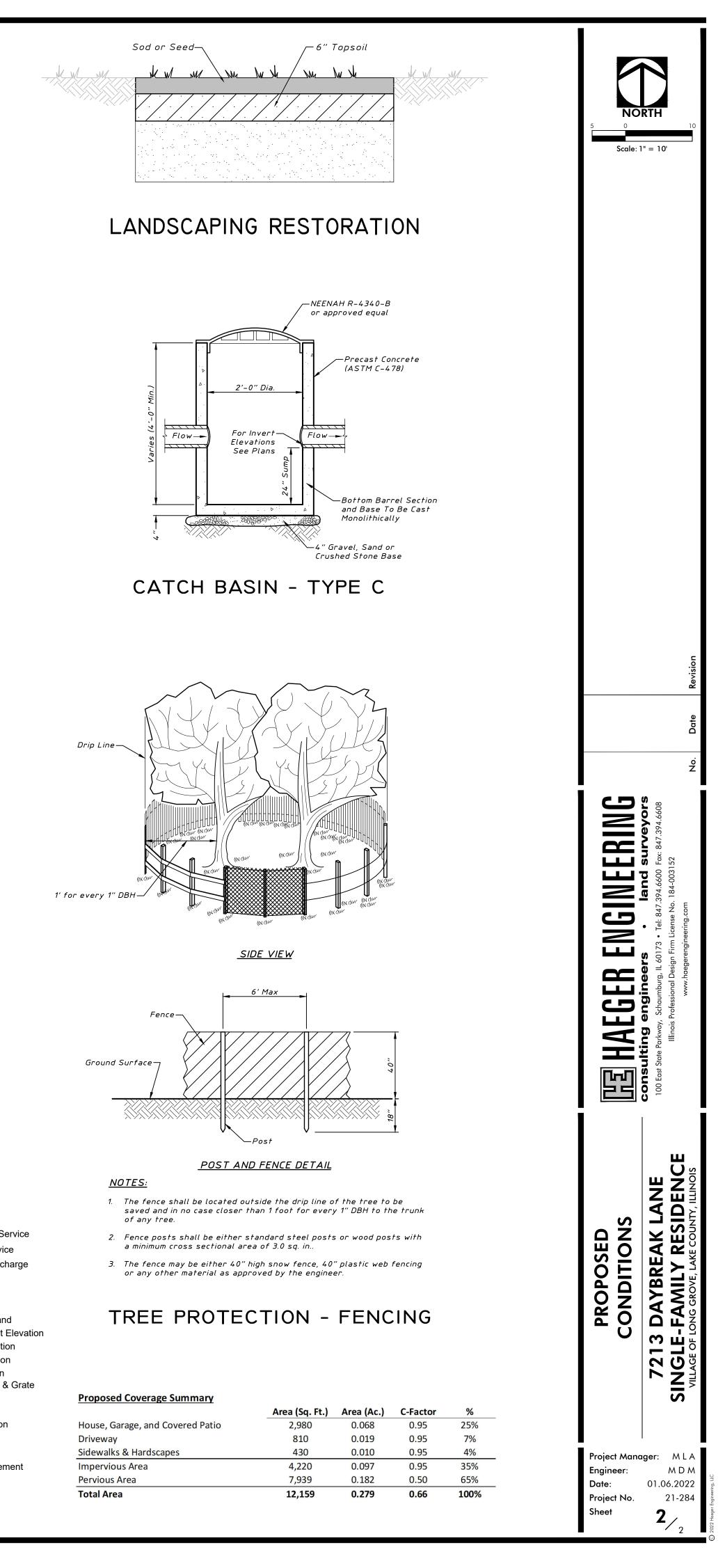
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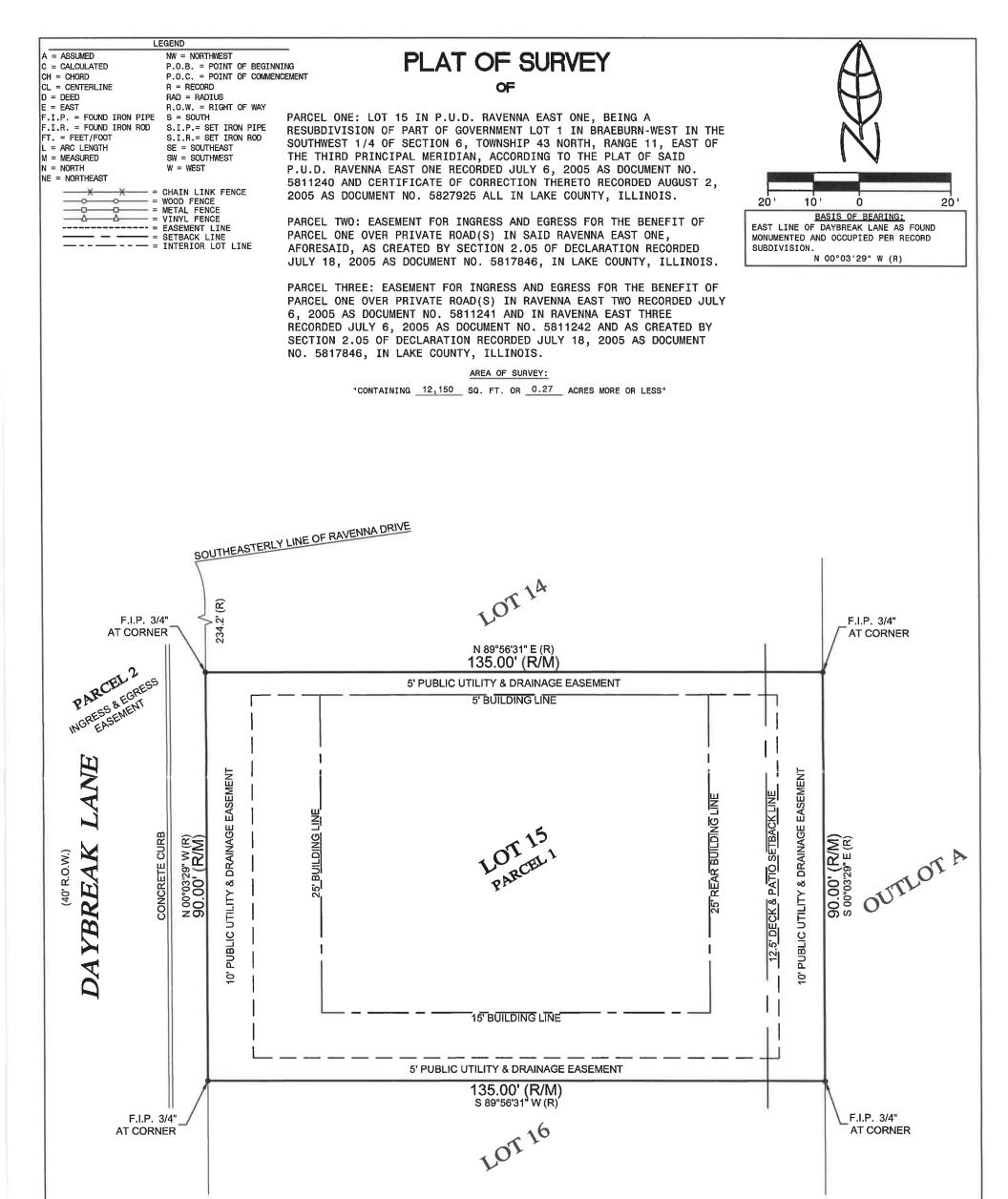
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Concrete

Catch Basin







Morris Engineering, Inc. 515 Warrenville Road, Lisle, IL 60532 Phone: (630) 271-0770 FAX: (630) 271-0774 WEBSITE: WWW.ECIVIL.COM

STATE OF ILLINOIS COUNTY OF DUPAGE

I, THE UNDERSIGNED, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT "THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY," AND THAT THE PLAT HEREON DRAWN IS A CORRECT REPRESENTATION OF SAID SURVEY.

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DATED, THIS 9TH DAY OF SEPTEMBER , A.D., 2021, AT LISLE, ILLINOIS.

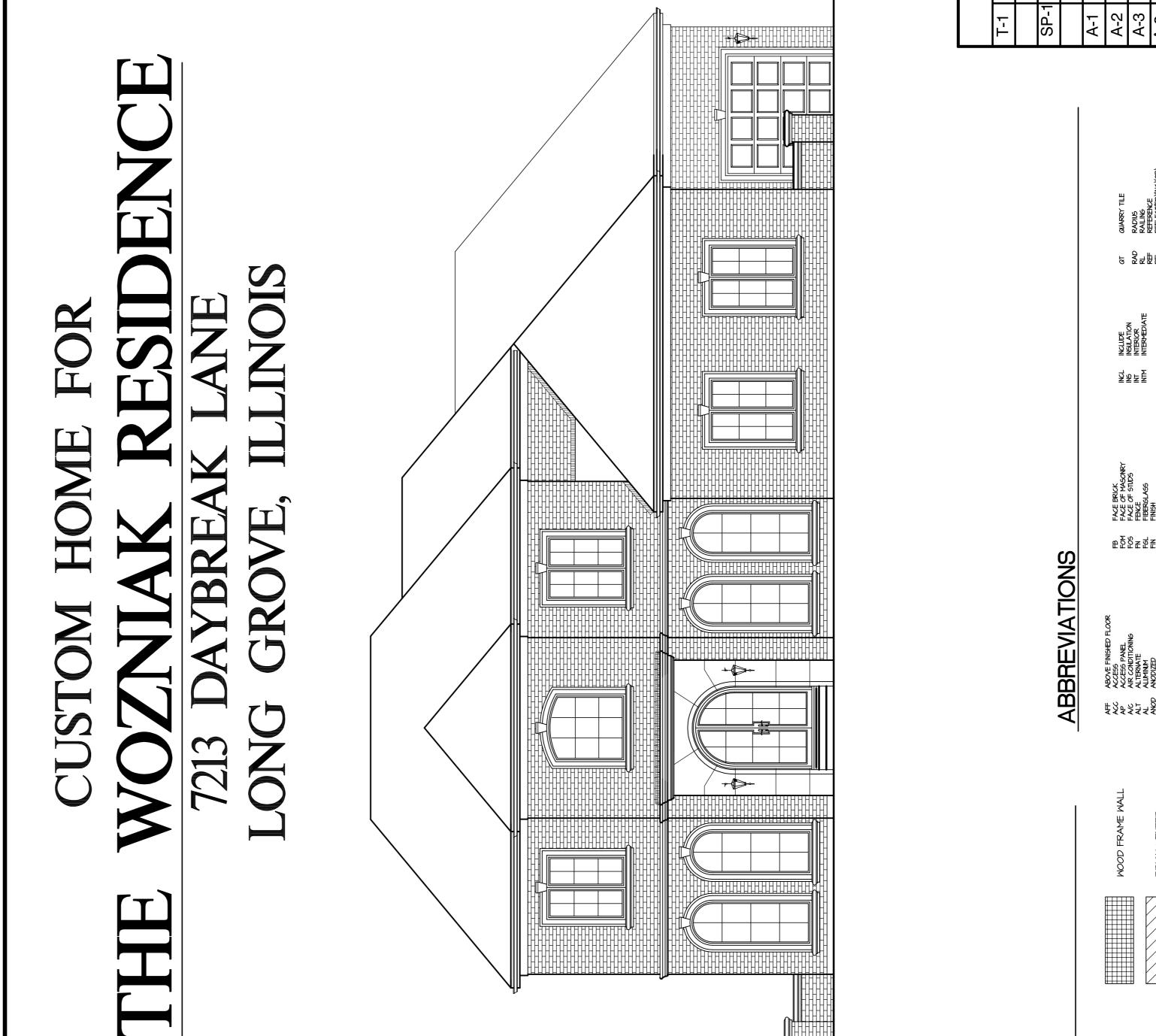
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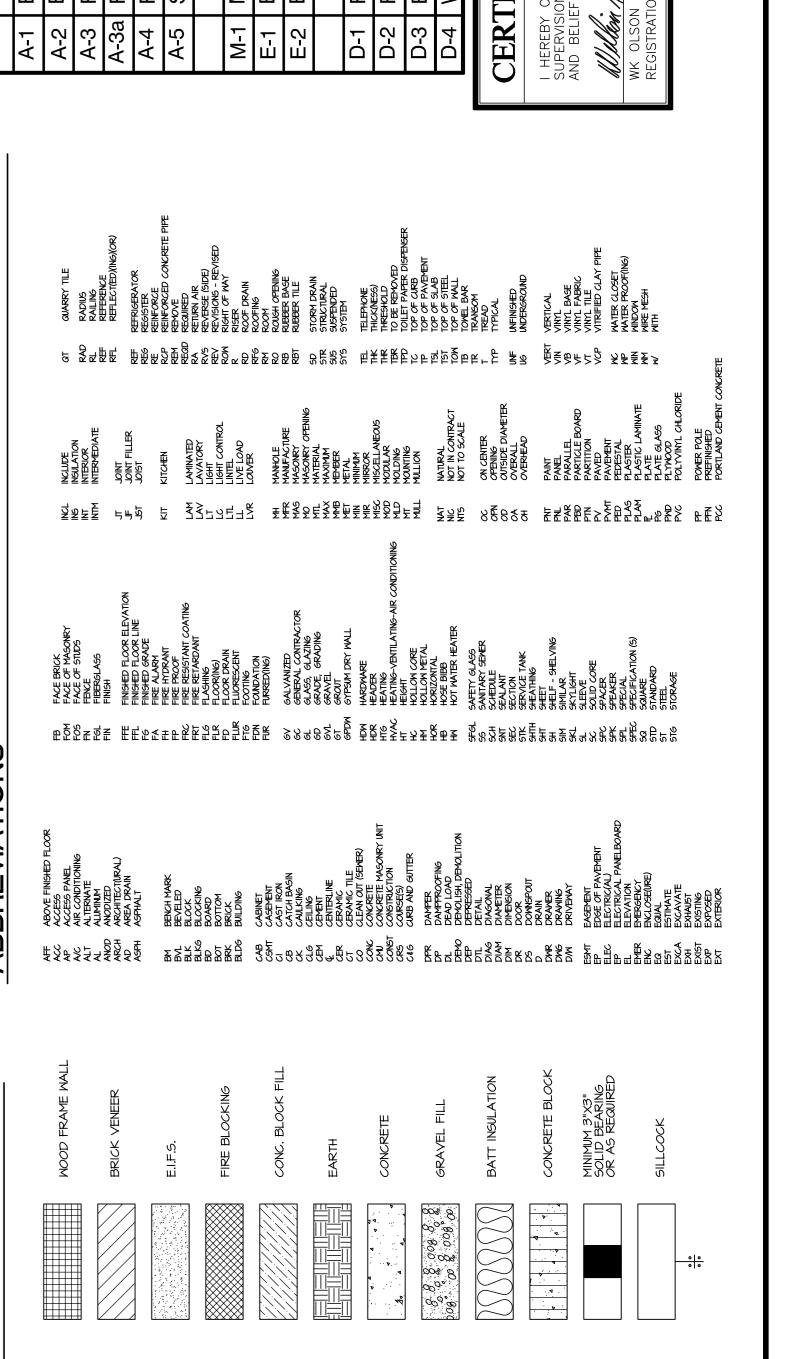
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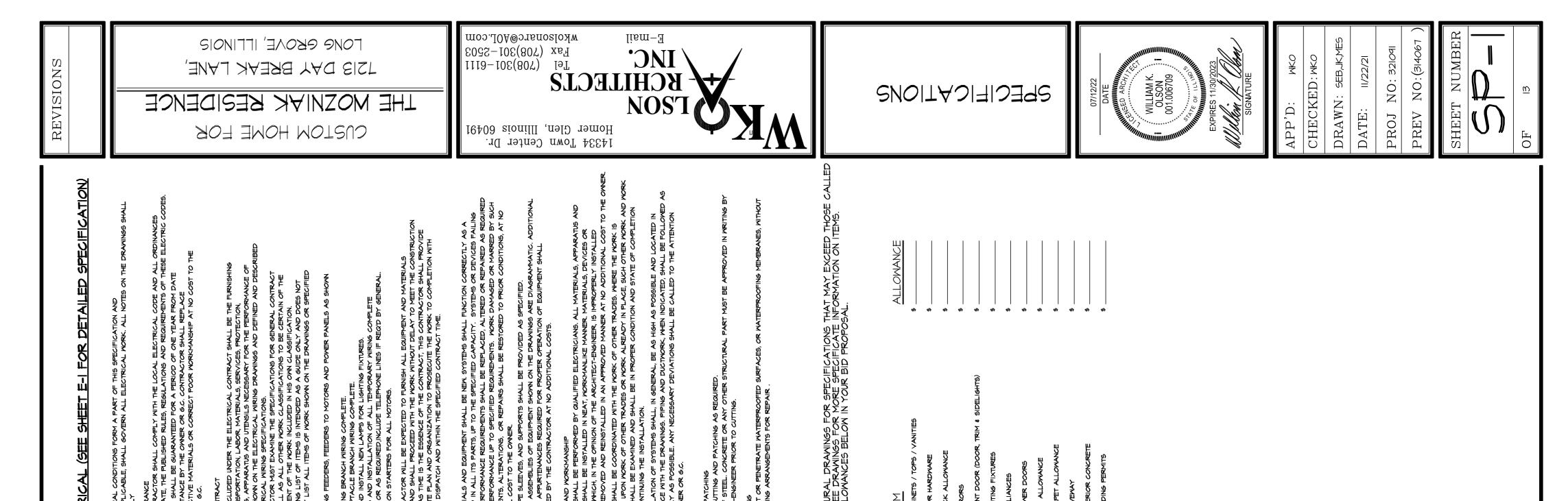
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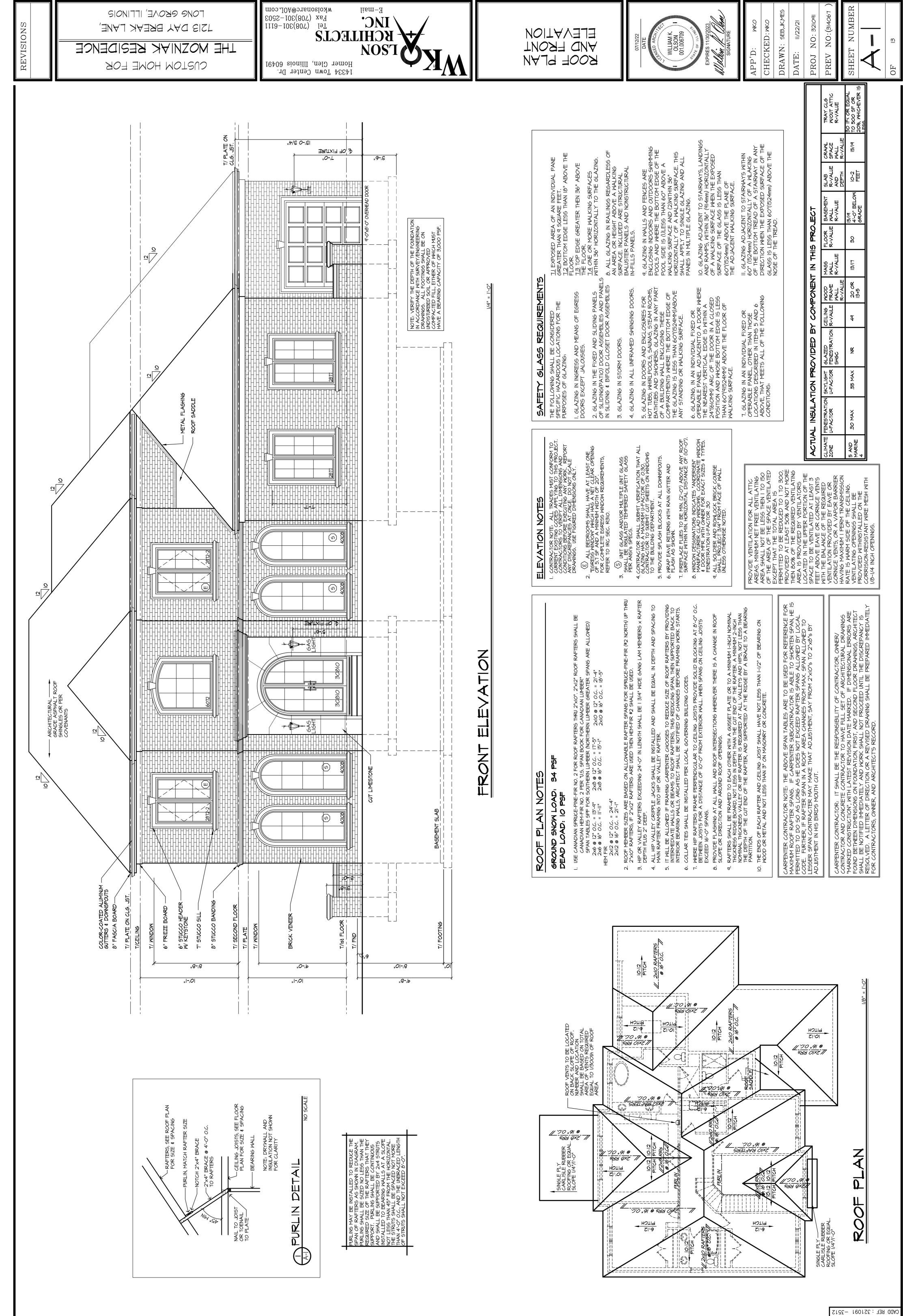
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6 OR MALLS (INTERIOR), HORIZONTALLY 5 50 50 50 50 50 6 6/12 6 7	-5TUD -BRICK(STD)	ō 6			
E (GARAGE FLOORS) IOO IOO IOO IOO IOO O IO	OR MALLS (INTERIOR), HORIZONTALLY (DECKS)	5	50		
SF=0.0419 kVm ² , I SOUARE INCH-645 mm ² . SP-I FOR SPECIFICATIONS FOR SITE MORK, CONCRETE, MASONRY, STEEL, CARPENTRY, R, PORD-34 # R, ROD-34 # N LOAD-34 # D-40 MPL. SIGN CATEGORY-B E DEPTH-42" SIGN TEMPERATURE - 0 DEGREES FAHRENHEIT. LUMBER VALUE LUMBER VALUE D COMESTIO D D D D SIGN TEMPERATURE - 0 DEGREES FAHRENHEIT. LUMBER VALUE D	ARAGE FLOORS)	<u>5</u> <u>5</u>	8 00		
M LOAD-34 # D=40 MPH. Elen cartefort-B E DEPTH-42" SIGN TEMPERATURE - 0 DEGREES FAHRENHEIT. JUMBER VALUES LUMBER VALUES LUMBER VALUES 2 (DOMESTIC) 2).0479 kN/m², I SQUARE INCH FOR SPECIFICATIONS FOR DFING, DRYWALL, PLUMBING,	EL, CARPENTRY,			
LUMBER VALUES 2 (DOMESTIC) E E 1300,000 2 (CANADIAN) BT5 PSI 1400,000	ROOF SNOM LOAD-34 # WIND SPEED-40 MPH. SEISMIC DESIGN CATEGORY-B FROST LINE DEPTH-42" WINTER DESIGN TEMPERATURE- 0 DEGREES FAHRENHEIT.				
MESTIC) FD E ANADIAN) 875 PSI 1,300,000	LUMBER			SUPPLY AIR	
ANADIAN) 875 PSI 1,400,000	ESTIC)	Fb 850 PSI	E 1,300,000		
	ADIAN)	875 PSI 2600 PSI	1,400,000 1,900,000		
		2400 PSI	2,000,000	CEILING PATTERN	
	IBERSTRAND LSL(4 3/4"	1700 PSI	1,300,000		
ISTS AND RAFTERS TO BE S.P.F. #1/#2 (CANADIAN) UNLESS OTHERWISE NOTED.	ISTS AND RAFTERS	ED.			

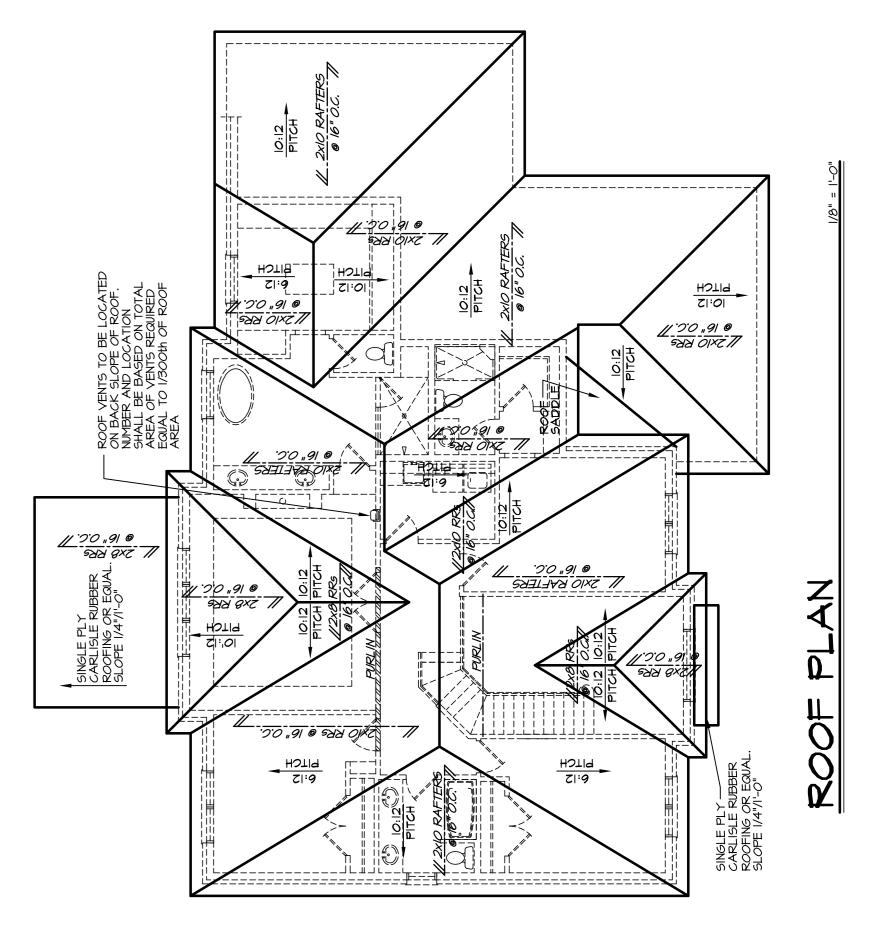


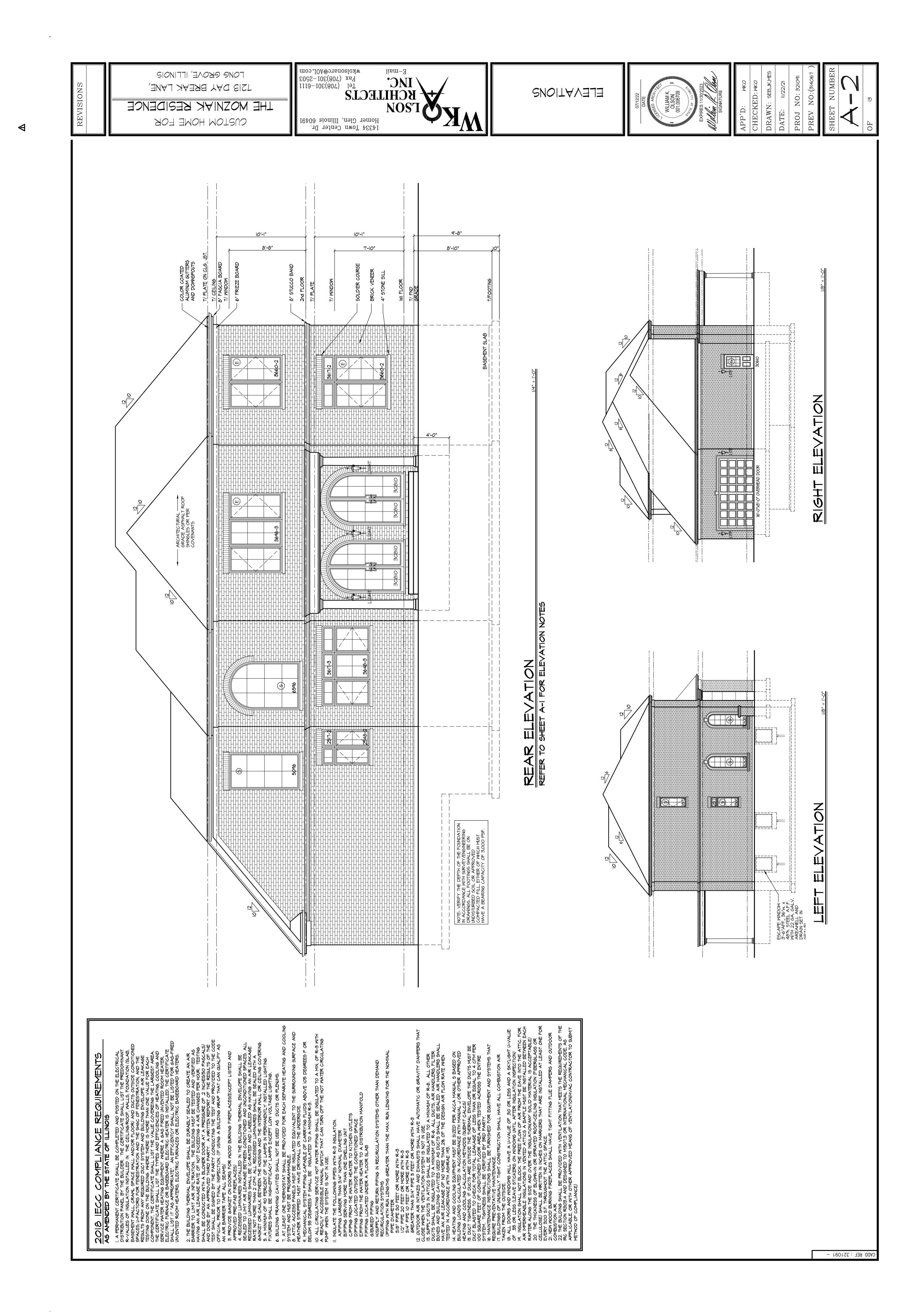
10.01 GENERAL	A. ALL MATERIALS AND EQUIPMENT SHALL BE NEM. SYSTEMS SHALL FUNCTION CORRECTLY AS A ^{AL.}						E. ANY PIPING ASSEMBLIES OF EQUIPMENT SHOWN ON THE DRAWINGS ARE DIAGRAMMATIC. ADDITIO PIPING AND APPURTENANCES REQUIRED FOR PROPER OPERATION OF EQUIPMENT SHALL BE PROVIDED BY THE CONTRACTOR AT NO ADDITIONAL COSTA	<u>o</u>	H AN N. 30 EQUIPMENT SHALL BE PERFORMED BY QUALIFIED MECHANICS. ALL MATERIALS, APPARATUS AND N. 30 EQUIPMENT SHALL BE INSTALLED IN NEAT, MORKMANLIKE MANNER. MATERIALS, DEVICES OR EQUIPMENT MALCH IN THE ODNICON OF THE ADMINED IS INDODEED Y INSTALLED	EQUITMENT VATICAT, IN THE COTINION OF THE ARCHITECT-ENGINEER, IS IMP SHALL BE REMOVED AND REINSTALLED IN AN APPROVED MANNER AT B THE MOOK GUALL DE COOPDINATED MITH THE MOOK OF OTATED TRADE	DEPENDENT UPON WORK OF OTHER TRADES OR WORK ALF IN PLACE SHALL BE EXAMINED AND SHALL BE IN PROPER	BEFORE CONTINUING THE INSTALLATION. C. THE INSTALLATION OF SYSTEMS SHALL, IN GENERAL, BE /		OF THE ARCHITECT-ENGINEER. CONTRACTOR SHALL FURN APPROVAL IS REQUIRED BEFORE CHANGES ARE IMPLEMI	PQ.01	B. CUTTING OF STEEL. CONCRETE OR ANY OTHER STRUCTURAL PART MUST BE APPROVED IN WRITING ARCHITECT-ENGINEER PRIOR TO CUTTING.	RS MITH IO.IO WATERPROOFINS A. DO NOT CUT OR PENETRATE WATERPROOFED SURFACES, OR WATERPROOFINS MEMBRANES, WITH	OOK FIRST MAKING ARRANGEMENTS FOR REPAIR.	R ON DRAWINGS. A. PIPING AND EQUIPMENT SHALL BE SUPPORTED FROM STRUCTURAL MEMBERS AND NOT FROM METAL DECK OR SLAB ASSEMBLIES.	AND 10.12 ACCESS DOORS (ACCESS PANELS) A BOX AND ACCESS DOORS (ACCESS PANELS)	CONTROLS, DAMPERS, EQUIPMENT AND LIKE ITEMS. CONTROLS, DAMPERS, EQUIPMENT AND LIKE ITEMS. B. PROVIDE ACCESS DOORS (ACCESS PANELS). PANELS SHALL BE LOCATED TO MAKE	ALL ITEMS EASILY ACCESSIBLE.	IO.IS CLEAN UP A. CLEAN ALL MATERIALS AND EQUIPMENT OF DIRT, DUST, PAINT, SPOTS, AND STAINS, SOIL MARKS OTHER FOREIGN MATTER.	IO.14 FINAL INSPECTION A. NOTICE TO GENERAL CONTRACTOR THAT THE WORK IS READY FOR FINAL INSPECTION. THE	H METAL AND R. CONTRACTOR SHALL:	ADJUSTMENTS AND ASSIST WITH FINAL INSPECTION.		ED TO BOTTOM OF II.O PLUMBING (SEE SHEET M-I FOR DETAILED SPECIFICATIO	II.OI DESCRIPTION A. ALL PLIMBING AND ASSOCIATED WORK IS GOVERNED BY THIS SECTION. PROVIDE LABOR AND MATERIALS NECESSARY TO PROVIDE THE WORK AS SHOWN ON THE DRAWINGS AND * SHALL	ITS INSPECTIONS AND CONNECTION FEE	TALLATIONS. BODIES IN CONNECTION WITH THE WORK, DELIVER CERTIFICATES OF INSPECTION TO THE OWNER.	COUNTY, AND STATE. C. SAMPLES: SUBMIT WHEN SPECIFIED OR REQUESTED.	II.03 GENERAL A. PLUMBING SYSTEMS SHALL BE PROVIDED COMPLETE, SHOULD A SYSTEM, OR ANY PART THEREOF	FAIL TO MEET PERFORMANCE REQUIREMENTS, NECESSARY REPLACEMENTS, ALTERATIONS OR REI AS REQUIRED BY THE OWNER'S REPRESENTATIVE, SHALL BE MADE TO BRINS PERFORMANCE UP 1 SPECIFIED REQUIREMENTS AND ALL BUILDING CONSTRUCTION AND FINISHES DAMAGED OR MARKI	A DUTIONAL COST TO THE OWNER.	B. WHERE MULTIPLE ITEMS OF EQUIPMENT OR MATERIALS ARE REQUIRED THEY SHALL BE THE PROD OF A SINGLE MANUFACTURER. SPECIFIED REFERENCES HAVE BEEN MADE TO ONE OR MORE	RANFACTURER'S NAMES AND MODEL OR CATALOG NUMBERS. C. INSERTS, PIPE SLEEVES, HANGERS, SUPPORTS, FIXTURES, TRIM DRAINS AND ANCHORAGE OF	D, PLUMBING SHALL BE PROVIDED AS SPECIFIED HEREIN. WHERE SUCH ITEMS ARE TO BE SET OR EMBEDDED IN CONCRETE, MASONRY OR SIMILAR WORK, THE ITEMS SHALL BE FURNISHED AND NOT DELAY IN THE WORK.	II.04 INSTALLATION AND WORKMANSHIP A. THE WORK SHALL BE INSTALLED IN ACCORDANCE MITH THE MANUFACTURER'S RECOMMENDATION	ANY MATERIAL, APPARATUS OK EQUIMENT WHICH, IN THE OPINION OF THE OWNER, IS IMPROPERLY INSTALLED SHALL BE REMOVED AND REINSTALLED IN AN APPROVED MANNER AT NO ADDITIONAL COST TO THE OWNER.		AIR CONDITIONING IN WALLS OR PARTITIONS AND THAT IT DOES NOT INTERFERE WITH LIGHTS, DUCTWORK OR EQUIN HAVING FIXED LOCATIONS. MAKE NECESSARY HORIZONTAL OR VERTICAL OFFSETS WITH PIPE FITTINGS TO INSTALL THE SYSTEM IN THE AVAILABLE SPACE. CONCEAL OR INSTALL TIGHT "	STRUCTURE (IF EXPOSED) UNLESS OTHERWISE NOTED OR APPROVED BY OWNER. C. PIPING SHALL BE EXPOSED IN FINISHED AREAS ONLY WHERE INDICATED OR WITH THE APPROVAL	SULATIONS OF CITY, VILLAGE, D. MHERE DRAIN OR MATER CONNECTIONS NECESSARY TO THE OPERATION OF FIXTURES OR EQUIP-	ARE NOT SPECIFICALLY SHOWN ON DIAGRAMS, EXTEND NECESSARY BRANCHES TO THE CLOSEST INDICATED BRANCH OR MAIN, AT NO ADDITIONAL COST TO THE OWNER.	ATIONS, THE DESIGN, ARATUS AND EQUIPMENT ARATUS AND EQUIPMENT	F. PLUMBING PIPING AND EQUIPMENT SHALL NOT BE FIELD PAINTED OR PRIMED BEYOND THE DEGREE OF APPLICATION FROM THE FACTORY SOURCE, OR EXCEPT AS REQUIRED BY APPLICAB CODES AND AUTHORITIES HAYING URISDICITION.	I.OS VATERPROFING A TO NOT CIT OF PERFORMATE MATEOROCIET GIFTATE OF MATEOROCOFING MEMBEANEG WITH	FIRST MAKING ARRANGEMENTS FOR REPAIR BY A METHOD APPROVED BY THE OWNER'S REPRES	C CIRCULATING SERVIE HOT WATER PIPES ARE INSULATED TO R-9. HEY SHALL INCLUDE AN AUTOMATIC OR READILY ACCESSIBLE MANUAL SWITCH THAT CAN TURN OFF TEH HOTWATER CIRCULATING PUMP WHEN THE SYSTEM IS NO	N USE:			ZE, DIRT, DEBRIS AND
T.O MOISTURE CONTROL	1.01 ALL CONCEALED FLASHING SHALL BE A MINIMUM OF 26 GAUGE SHEET MET	PROVIDE SHEET METAL BABY TIN VALLEY FLASHING. 1.02 FOUNDATION/SILL FLASHING THE MINIMUM SHELF ANGLE, COPING, BASE FLA LINTEL AND WINDOW SILL FLASHING SHALL BE:MINIMUM FLASHING SHALL B	L. RUBBERIZED ASPHALT FLASHING:MANJFACTURERS STANDARD COMPOSITE FLASHING PRODUCT CONSISTING OF A PLIABLE AN DHIGHLY ADHESIVE RUBBERIZED-ASPHALT COMPOUND BONDED TO A HIGH DESITY,	CROSS-LAMINATED POLYETHYLENE FILM TO PRODUCE AND OVERALL THIC OF .040" OR A RUBBERIZED FLASHING MATERIAL OF SIMILAR THICKNESS. POLYETHYLENE IS NOT ACCEPTABLE.	1.03 ALL EXTERIOR PERIMETER CAULKING SHALL BE MATER AND MEATHERTIGH Elastic caulking compound shall be non-staining polysulphide or Activity of Birni	T.04 INSULATION: A PROVIDE R-21 WALL ATION WITH VAPOR RARRIER TO ROOM SIDE	B. PROVIDE R-38 INSULATION WITH VAPOR BARRIER TO ROOM SIDE AT CATHEDRAL CEILING, R-49 INSULATION WITH VAPOR BARRIER	AT FLAT CEILING. 1.05 MINIMUM EXTERIOR FLASHING FOR MINDOWS AND DOORS SHALL BE A	MULTILAYER COMPOSITE EMPLOYING POLYETHYLENE AND FIBERGLASS WITH AN INTEGRAL ADHESIVE STRIP THAT PRODUCES A PERM RATING OF LESS THAN 30 PERMS AND COMPLYING WITH ASTM ESSI. INFLITRATION BARRIER JOINT TAPE IS NOT ACCEPTARI F. WINDOM AND DOOR FI AGHING MIST AF INSTALL FD IN	ACCORDANCE WITH THE AMERICAN ARCHITECTURAL MANEACTURERS ACCORDANCE WITH THE AMERICAN ARCHITECTURAL MANEACTURERS ASSOCIATION(AAMA)GUIDELINES.	TO ALL MATEK PIPING SHALL BE INSULATED IN AREAS SUBJECT TO FREEZING SUCH AS OUTSIDE WALLS AND ATTICS ON THE COLD SIDE ONLY.	1.01 PROVIDE OUTERS AND LOWNERDID MITH DISCHARGE 2-07 MIX. FROM FO OR CONCRETE SPLASH BLOCKS (IF PERMITTED BY LOCAL ORDINANCE). 1.08 PROVIDE TYVEK BUILDING WRAP BEHIND SIDING BRICK	AND STONE VENEERS. T.04 ROOF SHINGLES TO BE MIN. 235# ASPHALT ON I5# FELT WITH 50# FELT ICE	ROOFS WITH 4:12 PITCH OR LESS OR FER LOCAL ORDINANCES. (VERIFY TYPE AS SHOWN ON PLANS AND ELEVATIONS)	TIO INSTALL ADEQUATE NUMBER OF ROOF VENTS PER LOCAL CODES.	DOORS AND MINDC	8.01 EXTERIOR ENTRANCE DOORS ARE TO BE EQUAL TO "PEASE" PREHUNG DO STANDARD WOOD FRAME. MANUFACTURER TO PROVIDE ALL HARDWARE IN 1.0000 all 1. MEATURED AND MARATHERETEDIENKE MATCH F	LOCKS, MOOD SILL, METAL THREE DESIGN SHOWN ON ELEVATIONS.	8.02 INTERIOR HOLLOW CORE DOORS SHALL BE FLUSH OAK. OR AS CALLED FC 8.03 BI-FOLD DOORS SHALL BE RAISED PANEL OR FLUSH OAK 6'-8" HIGH	8.04 PROVIDE TEMPERED GLASS IN ALL PATIO DOORS AND ENTRY SIDELIGHTS WHERE OTHERWISE REQUIRED BY CODES.	R). 8.05 DOOR AND WINDOW PERFORMANCE SHALL BE AS SET FORTH BY MUNICIPA ORDINANCE.	8.06 GARAGE SERVICE DOOR (TO HOUSE) AND FRAME ASSEMBLY SHALL BE 20 MINUTE FIRE RATED AND BE PROVIDED WITH THRESHOLD AND GASKET	8.07 INTERIOR WOOD TRIM SHALL BE "OAK" OR PER OWNERS REQUIREMENTS.	4.0 FINISHES	4.01 INSTALL U.S. GYPSUM OR EQUAL S.M. SYSTEM 1/2" TAPERED WALLBOARD WI CORNER BEADS, MACHINE TAPE ALL JOINTS, WALLBOARD SHALL BE GLUED	NAILED (SCREMS IN LIEU OF NAILS OPTIONAL), PATCH ALL NAIL HEADS AND LEAVE SURFACE FREE FROM MAVES, PITS AND BUCKLES. USE 5/8" FIRE MALL POARD WHERE REQUIRED FOR FIRE RATING AND PROVIDE 1/2" MATER	A. PROVIDE 5/8" F.C. WALLBOARD ON ALL GARAGE CEILINGS.	Ð	9,02 CERAMIC TILE FOR WALLS AND BASES SHALL BE SLAZED CERAMIC TILE. T APPLICATION SHALL BE BY ORGANIC MASTIC ADHESIVE FOR WALLS GROU	BE LATEX PORTLAND CEMENT. CAULK AROND TUBS MITH SUITABLE CAULKI PROVIDE 13 ROWS OF CERAMIC TILE PLUS CAP ABOVE TOP OF SHOWER BA	AT ALL SHOWER WALLS. PROVIDE UNDERLAYMENT FOR ALL FLOOR TILE IN 9.03 PAINTING	A. INTERIOR WALLS TO HAVE TWO COATS FLAT LATEX PAINT. B. ALL RISERS AND TREADS AT STAIRS TO BE CARPETED BY OTHERS	EXCEPT AS NOTED AND ALL STRINGERS ARE TO BE STAINED UNLESS OTHERWISE NOTED.	C. INTERIOR DOORS, MINDOWS, AND TRIM TO BE SEMI-GLOSS OR LATEX ENAMEL, TWO COATS, OR STAINED SEALED AND VARNISHED.	D. ALL EXTERIOR WOOD AND PLYWOOD SHALL BE STAINED OR PAINTED AS PER MANUFACTURERS INSTRUCTIONS.	9.04 BATH ACCESSORIES SHALL BE AS FOLLOWS:		B. BATH WITH TUB OR SHOWER-ONE 24" TOWEL BAR OPPOSITE SHOWER HE/ ONE TOWEL RING AND RECESSED TOILET PAPER HOLDER, ONE RECESSEI CERAMIC SOAP DISH AND GRAB BAR (AT TUB ONLY).		IO.O H.V.A.C. (SEE SHEET M-I FOR DETAILED S		A. THIS SECTION APPLIES TO AND GOVERNS ALL HEATING, VENTILATING AND (HVAC) WORK.	10.02 PERMITS, FEES, CODES, ORDINANCES AND REGULATIONS A. OBTAIN AND PAY FOR ALL PERMITS, INSPECTIONS AND CONNECTION FEES BODIES IN CONNECTION WITH THE MORK	B. ALL WORK SHALL COMPLY WITH GOVERNING CODES, ORDINANCES, AND RE COUNTY, AND STATE.	10.03 QUALITY ASSURANCE	A. INDUSTRY STANDARDS AND CODES: UNLESS MODIFIED BY THESE SPECIFIC MANUFACTURE, TESTING AND METHOD OF INSTALLING ALL MATERIALS, APP 2000,	SHALL CONFORM TO THE FOLLOWING: I. ARI CODE FOR REFRIGERATION APPARATUS 2. ANSI B4.I. SAFETY CODE FOR MECHANICAL REFRIGERATION	9. SMACNA 4. ASHRAE		AREA © TO'F WHEN OUTSIDE TEMP. IS TO'F WITH A IS MPH WIND AREA © TO'F WHEN OUTSIDE TEMP. IS - JO'F WITH A IS MPH WIND AND COOLING THE LIVING AREA © TS'F WHEN OUTSIDE TEMP! IS 90'F.	B. EQUIPMENT NOISE AT THE LOT LINE SHALL NOT EXCEED 55DB. ON THE "A" SCALE.		A. OPERATION AND MAINTENANCE MANUALS: SUBMIT COPIES IN COMPLIANCE OPERATION AND MAINTENANCE MANUALS.	A. PROTECT MATERIALS, APPARATUS AND EQUIPMENT FROM DAMAGE, MOISTI WORK OF OTHER TRADES.
6.0 CARPENTRY	6.01 STRESS GRADE LUMBER SHALL CONFORM TO THE "NATIONAL DESIGN SPECIFICATIONS	FOR STRESS GRADE LUMBER AND ITS FASTENINGS", NLMA, LATEST EDITION, STRUCTURAL MEMBERS THAT ARE 2"X12" SHALL BE CANADIAN (HEM FIR #2) OR EQUAL.	LESS SHALL BE CANADIAN	PROVIDE SOLID BLOCKING UNDER ALL PARTITIONS PERPENDICULAR TO JOISTS.	6.03 PROVIDE I"X4" CROSS BRIDGING AT 8'-0" O.C. MAXIMUM OR APPROVED METAL BRIDGING.	6.04 BLOCK JOISTS SOLID AT 2'-O" O.C. AT PARALLEL PARTITIONS. PROVIDE DOUBLE JOISTS UNDER ALL BATHTUBS, WATER HEATER, WASHING MACHINE, DRYER AND	ALL STATIONARY APPLIANCES. A.C.E. A.I.I.F.I.T.C.HED REAME TO RE CONSTRUCTED MITH 2-24 % AND STEEL RIATE AS SHOWN	ON PLANE THICKED DEALED TO DE CONTROLLE VIIL Z'EX & AND DIELE FENEL AD MONT ON PLANS-BOLTED TOGETHER WITH 1/2" DIAMETER BOLTS AT 18" O.C. STAGGERED AT AJIARTER POINTS TOP AND POTTOM ALL HEADERS AND HEADER I DISTS SHALL	BE NAILED TOGETHER.	6.06 USE METAL CONNECTORS FOR CONNECTING JOISTS TO HEADERS. ("SIMPSON" OR APPROVED EQUAL).	6.07 STRUCTURAL PLYWOOD A. FLOOR SHEATHING FIRST FLOOR CRAML SPACE OR BASEMENT-9/4" TONGUE	AND GROOVE PLYMOOD WITH EXTERIOR GLUE. GLUED AND RING SHANK NAILED. 1/4" UNDERLAYMENT AT TILED AREA'S.	B. FLOOR SHEATHING SECOND FLOOR-9/4" IONOUL ANU ORAUVE FLITAOU THIN MITH EXTERIOR GLUE. GLUED AND RING SHANK NAILED, I/4" UNDERLAYMENT	C. ROOF SHEATHINS TO BE 1/2" CDX PLYWOOD (OR APPROVED EQUAL) WITH	EXTERIOR GLUE. D. SOFFITS-PRE-FABRICATED ALUMINUM FASCIA AND SOFFIT SYSTEM OR AS	SPECIFIED ON DRAMING. E. ALL PLYMOOD SHALL BE APA APPROVED.	6.08 ALL WALLS TO HAVE 2" SOLID WOOD FIRESTOPPING AND ALL ELECTRICAL AND PLUMBING THROUGH FLOORS ARE TO HAVE SPACE SEALED OFF WITH APPROVED FIREPALAGA OF POLYMOON RATT ING!! ATION FIREFTOP ALL FIREPALAGE PARTITIONS	LIDERGLADS OR ROCKWOOL DATT INSULATION. FIREATOP ALL FURKING, FARTITIONS AND STUD WALLS AT BOTH FLOOR AND CEILING OF EACH FLOOR LEVEL AND AT JUNCTURE OF ROOF RAFTERS AND WALL.	6.04 INSTALL METAL SOFFIT VENTS AND ROOF VENTS AS SHOWN ON BUILDING ELEVATIONS.	6.10 GABLES ARE TO BE SHEATHED IN 1/2" SHEATHING BY MANUFACTURER. 6.11 All closets marked linen and pantry to have 5 shelves-entry. Mardrobe: and Ma	CLOSETS TO HAVE ONE HANGER BAR AND ONE SHELF (UNLESS STATED OTHERWISE BY OWNER 4.0 TANDE TO ALL 21 DEFTE AND ODENINGE WITHOUT EDELINE DOTOED ADE TO UNCE		6.13 INSTALL 22"x30" ATTIC ACCESS WFINISHED CEILING PANEL AT ALL ATTICS. PROVIDE MIN. 22"x30" CRAML SPACE ACCESS.	6.15 N/A 6.15 N/A	6.16 WALL SHEATHING SHALL BE 1/2" CELOTEX, OR 1/2" CDX PLYWOOD SHEATHING, OR 1/4" THERMO-PLY, OR PER OWNER/CONTR. AGREEMENT. PROVIDE 1/2" CDX PLYMOOD UNDER CULTURED STONE AND DRYVIT. UN 1555 OTHERWISE SHOWN.	6.17 SILL PLATES ON CONCRETE SHALL BE PRESSURE TREATED AND SET ON SILL SEALER.	6.10 HEADER SCHEDULE FOR BEARING WALLS UNLESS OTHERWISE NOTED ON PLANS. SPANS LESS THAN 4' 2-2XIO'S	5PAN5 4' - 6" 2-2x10's 5PAN5 6' - 8' 2-2x12's TWO 5TORY 5PAN5 8' - 10' 2-2x12's	6.14 PROVIDE 1/2" PLYWOOD CORNER BRACING, OR 1x4 LET IN CORNERS. 6.20 I.NI.E95 NOTED ALL HEADERS 5"-0" AND GREATER IN LENGTH SHALL BE SUPPORTED	5 60 0.	ر ۵۵		6.22 ALL AREA'S RECEIVING VINYL OR CERAMIC TILE EXCEPT BATHROOMS SHALL HAVE BASE AND SHOE.	6.23 ALL SOFFITS, CEILING OPENINGS, FLOOR OPENINGS AND STAIRS SHALL BE FIRESTOPPED ACCORDINS TO LOCAL CODES.	6.24 ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.	6.25 CAULK ALL EXTERIOR OPENINGS. (SEE SPEC.#6.3) 6.26 PROVIDE VENT CHUTES AT SOFFIT VENTS.	6.27 SOFFIT VENTS AT 6'-O" O.C. (TYPICAL)	6.29 PROVIDE GUARDRAILS ON OPEN SIDES OF STAIRS. 6.29 36" GUARDRAILS ON LANDINGS OR AT FLOOR AREAS OPEN TO BELOM.	6:30 PROVIDE HANDRAIL ON GARAGE STAIR. 6 ai - Exterior Stairs, de any apove arquind i Anding or gireace needs	BETPPOON WINDOWS SHALL HAVE		INDICATE FIBER BENDING AND SPECIES OF FRAM	6.35 EXPOSED KRAFT PAPER INSULATION IN BASEMENTS MUST HAVE FLAME SPREAD OF 25 OR LESS.				A. GLAZING IN INGRESS AND EGRESS DOORS.	B. GLAZING IN FIXED AND SLIDING SWING PANELS OF PATIO DOORS. C. GLAZING IN STORM DOORS.	D. GLAZING IN SHOMER AND BATHTUB DOORS AND ENCLOSURES.	E. GLAZING WHERE NEAREST VERTICAL EDGE IS WITHIN 12" OF A DOOR AND BOTTOM EDGE IS BELOW THE TOP OF THE DOOR.	F. GLAZING IN FIXED PANELS HAVING A GLAZED AREA IN EXCESS OF 9 SQUARE FEET WITH THE LOWEST EDGE LESS THAN 18"(VERIFY) ABOVE		6.34 ROOF DESIGN LOAD IS 30 P.S.F. LIVE LOAD MINIMUM. 6.40 CEILING DESIGN LOAD AT BEDROOMS 20 P.S.F. LIVING AND LIVE LOAD AND OVER LIVING/DII	6.41 FLOOR DESIGN LOAD IS 40 P.S.F. LIVE LOAD PLUS WEIGHT OF MATERIAL.
SENERAL REQUIREMENTS	THESE ARE SUGGESTED SPECIFICATIONS (SUB-CONTRACTOR SHALL VERIFY MITH CONTRACTOR IF THESE SPECIFICATIONS ARE EXCEPTED OR CHANGED)	SHALL BE PERFORMED IN ACCORDANCE MIT	STATE AND NATIONAL CODES AND ORDINANCES AND ALL AUTHORITIES HAVING JURISDICTION.	ALL PARTITION DIMENSIONS ON PLAN SHEETS ARE TO FACE OF DRYWALL INTERIOR AND FACE OF EXTERIOR WALL. NON-BEARING PARTITIONS ARE TO BE LAID	OUT SO THAT STOCK COMPONENTS MILL FIT EXACTLY WITHIN INDICATED DIMENSIONS. FINISHED DIMENSIONS AT CRITICAL AREA'S SUCH AS CLOSETS, BATHTUBS, ETC.	MUST BE HELD. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE	PROCEEDING WITH WORK AND NOTIFY ARCHITECT AT ONCE OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK.	PLUMBING SCHEMATIC DRAWINGS, HVAC DRAWINGS, SEMER MAINS, ELECTRICAL OUTLET, SWITCHES, LIGHT LOCATIONS FOR ROUTING ALL PLUMBING, MECHANICAL AND	electrical work is to be coordinated between the trades affected by The work as part of their installation layout. No plumbing, mechanical or Electrolative can be acal ed book the polymora	electrical information is to de scaled from the dramings. On-site verification of All dimensions and conditions shall be the		(Į	ALL YONN STALL DE FENTONFELD IN A YONNAALINE MANNEN. Each contractor shall include labor, materials, tools, equipment, etc.,	ž₽	ШШ	ACTOR S	DEFECTS OR OTHER FAULTS IN HIS WORKMANSHIP AND/OR MATERIAL. Each Subcontractor is to clean up debris inside and outside the Building	BITE MHICH HAS BEEN CAUBED BY HIS MORK. FXC.AVATION AND CONCRETE		AND BE OF AN APPROVED GRANULAR MATERIAL COMPACTED TO A MIN. 45% DRY DENSITY PER ASTM D-1551-70.	THE EXCAVATION CONTRACTOR SHALL PROVIDE PUMPING WHERE NECESSARY FOR COMPLETION OF HIS WORK, UPON COMPLETION OF EXCAVATION, THE CONCRETE	CONTRACTOR SHALL BE RESPONSIBLE FOR PUMPING NECESSARY TO THE WORK. GRADE 6" BELOM TOP OF FOUNDATION, OR AS SHOWN ON DRAWINGS.	ALL FOOTINGS SHALL BE ON UNDISTURBED SOIL OR APPROVED COMPACTED FILL, EITHER OF MHICH MUST HAVE A BEARING CAPACITY OF 3000 PSF. OR AS	R N	N DRAV	ALL CONCRETE CONSTRUCTION STALL CONTET MUT AU SIG-03. DULLING COLE REQUIREMENTS FOR REINFORCED CONCRETE AND ASTM CISO. ALL CONCRETE SHALL ATTAIN A 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI.	ONTRAC	FOR TELEPHONE, PLUMBING, ELECTRICAL AND MECHANICAL TRADES. THE GENERAL CONTRACTOR SHALL PROVIDE HEATERS WHERE REQUIRED TO		in dia managina dia man Na managina dia managina	ΞΩ :	The concerte contractor shall after one cost reference danifer noot at all craw space and basement walls or as specified by owner. Site excavating shall be in accordance with a licensed soil engineer and	Σш	CONCRE	NYOH.		CONCRETE MASONRY UNITS SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR HOLLOW LOAD BEARING CONCRETE MASONRY UNITS-ASTM C 40 WITH MOISTURE CONTENT NOT EXCEEDING 50% OF TOTAL ABSORPTION.	βγ	 L0	ELECTED	OTHERWISE NOTED ON PLANS AT MASONRY AREA'S. PROVIDE STEEL LINTELS ABOVE ALL MASONRY OPENINGS AS NOTED ON PLANS.	CACTOR OTHER		e k v	Masonry work exposed to meather shall be protected at the end of Each days work so that no water will enter the cavity.	BEAM POCKETS SHALL BE MORTARED IN SOLID AFTER ROUGH INSPECTION.	PROVIDE CORROSIVE-RESISTANT METAL FLASHING UNDER ALL ROM-LOCK SILLS AND WALL CAPS. PROVIDE CORROSIVE-REGISTANT METAL FI AGHING FI AGHING AT ROOF/RRICK INTERSECTION		PORTION MITHIN 10'-0" HORIZONTALLY.	HEAKITED 20° IN MIDITI TROM BRICK FACE AND 12° MIDER CE OPENING.	DOOR & MINDOW OPENINGS IN ADDITION TO MANUFACTURERS SUPPLIED NAILING FIN. TOPS OF ALL CHIMNEY FLUES MUST BE FITTED MITH CHIMNEY CAPS	(SPARK ARRESTORS). MASONRY SHALL BE CLEANED WITH APPROVED CLEANING MATERIALS.	STRUCTURAL STEEL	ALL STRUCTURAL STEEL SHALL CONFORM TO AISC SPECIFICATIONS FOR A-36 STEEL AND SHALL BE SHOP COATED.

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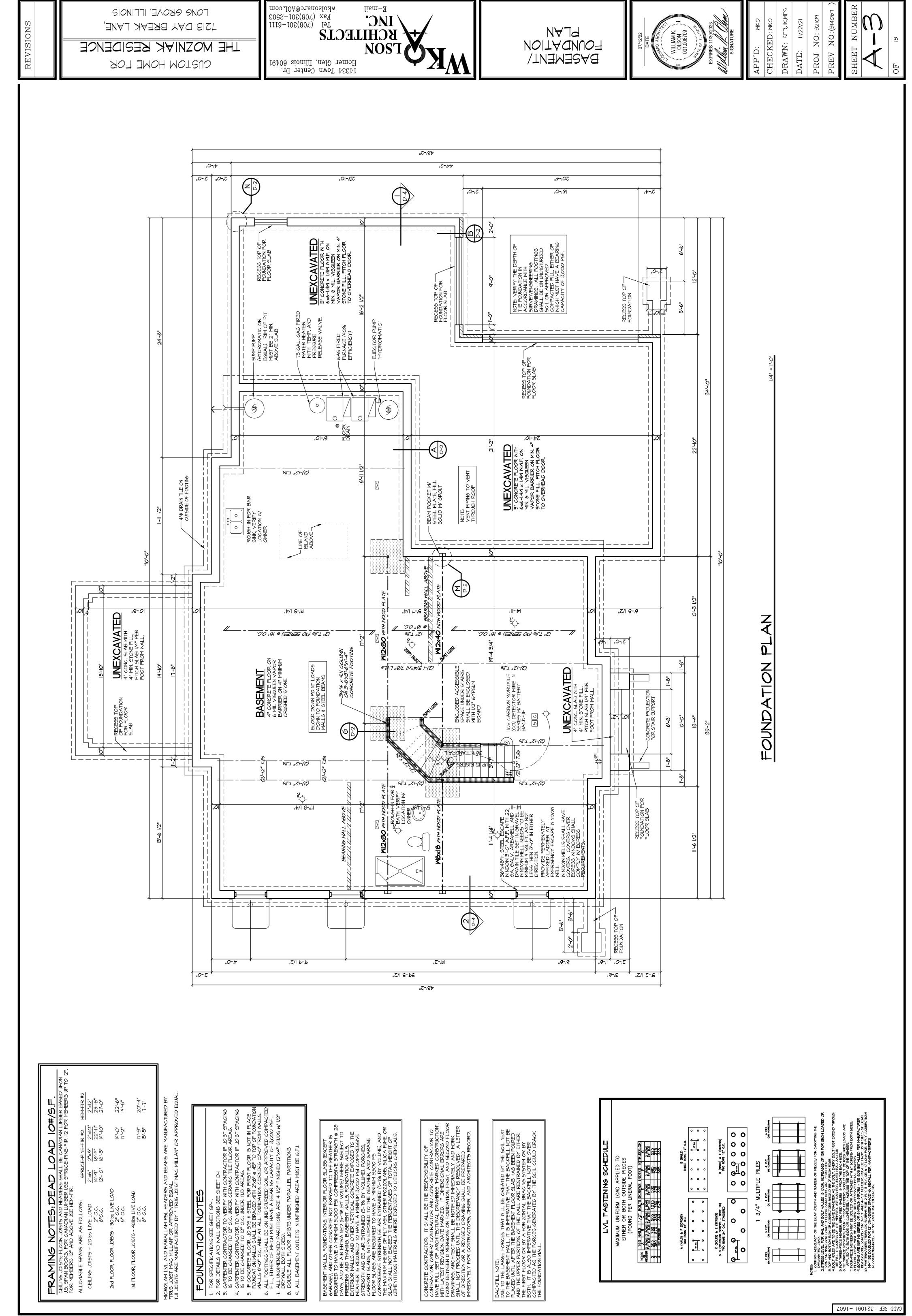
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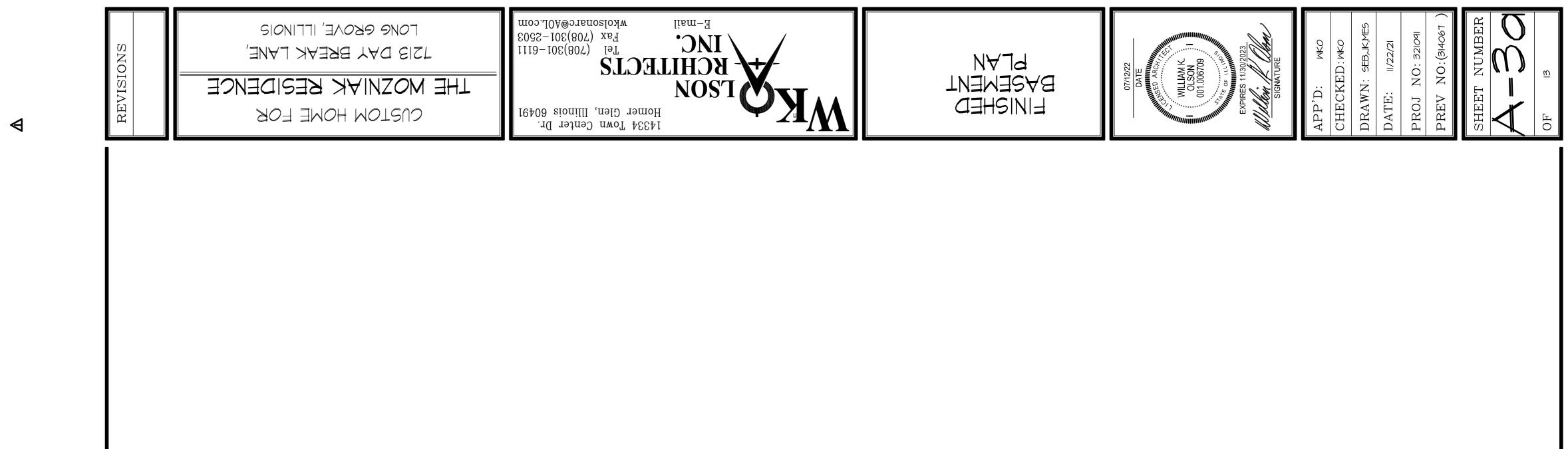


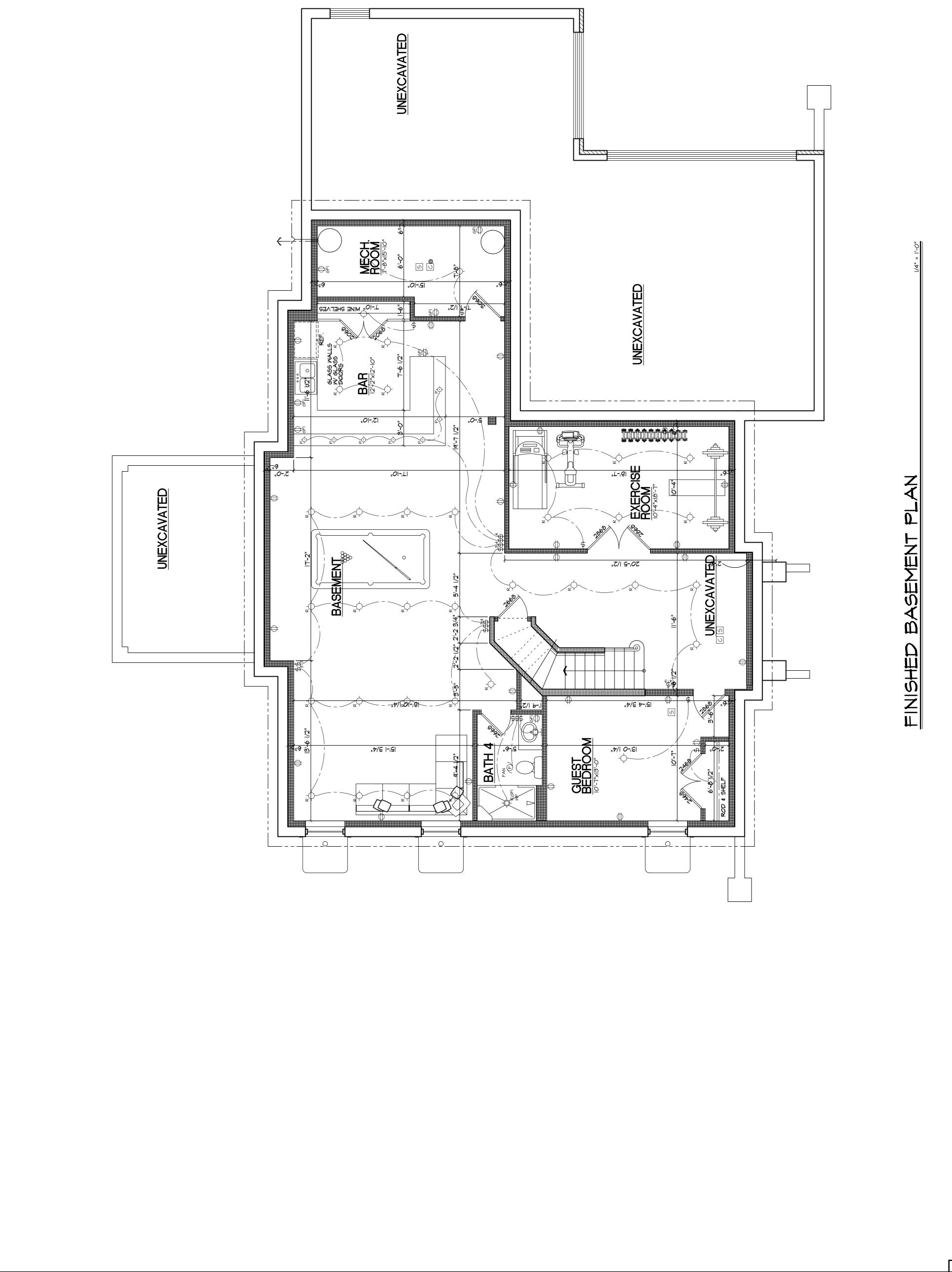


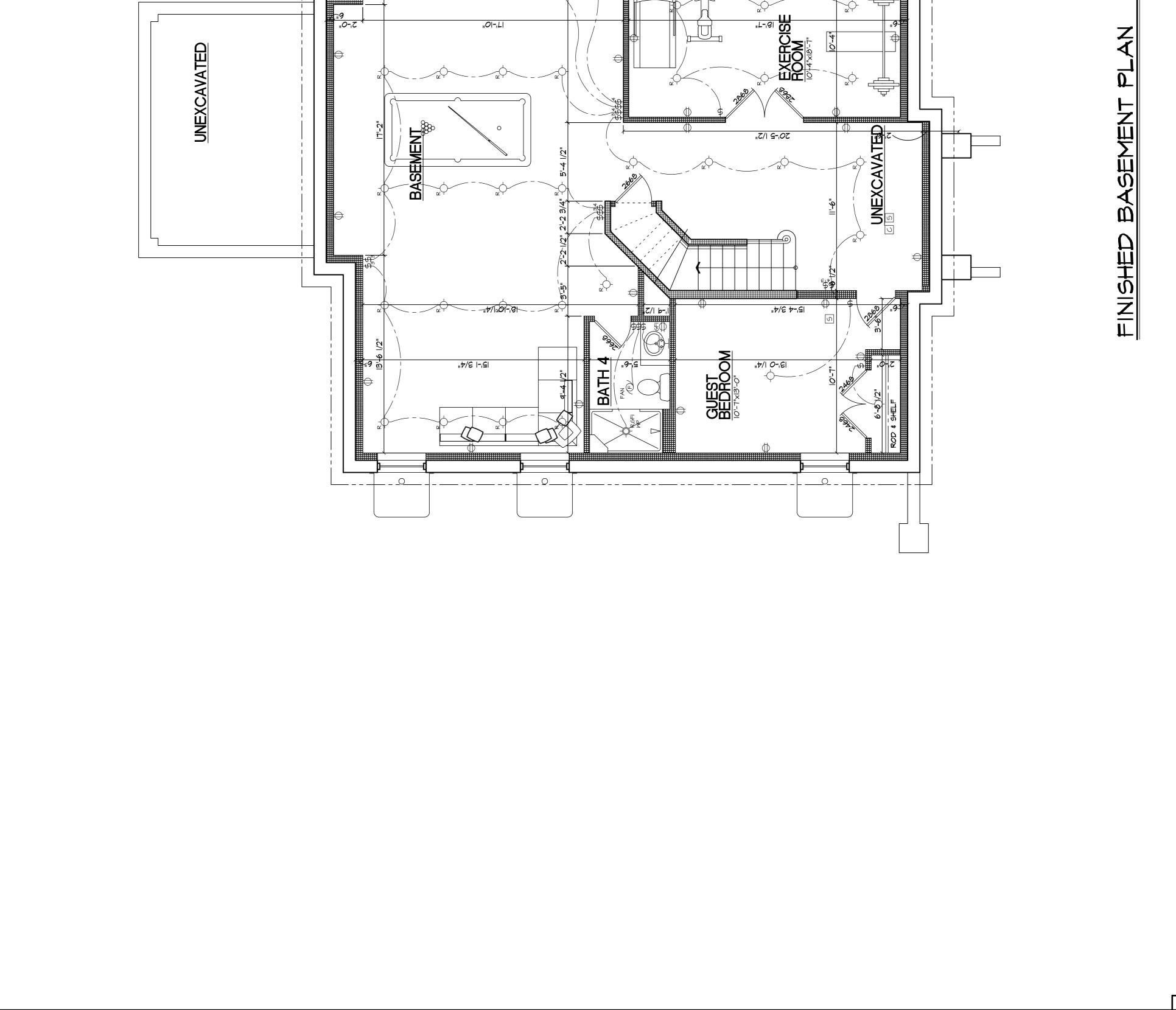
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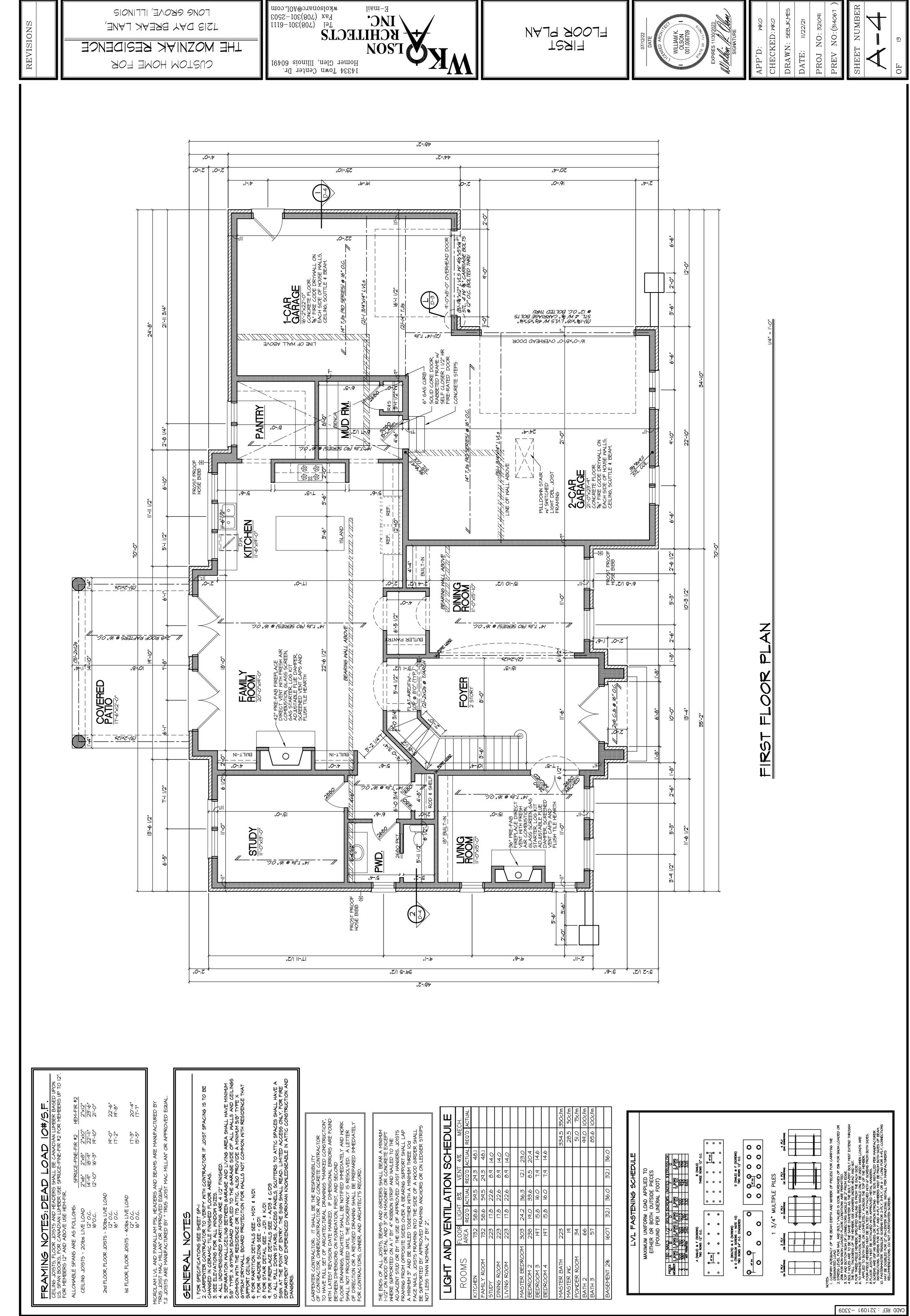






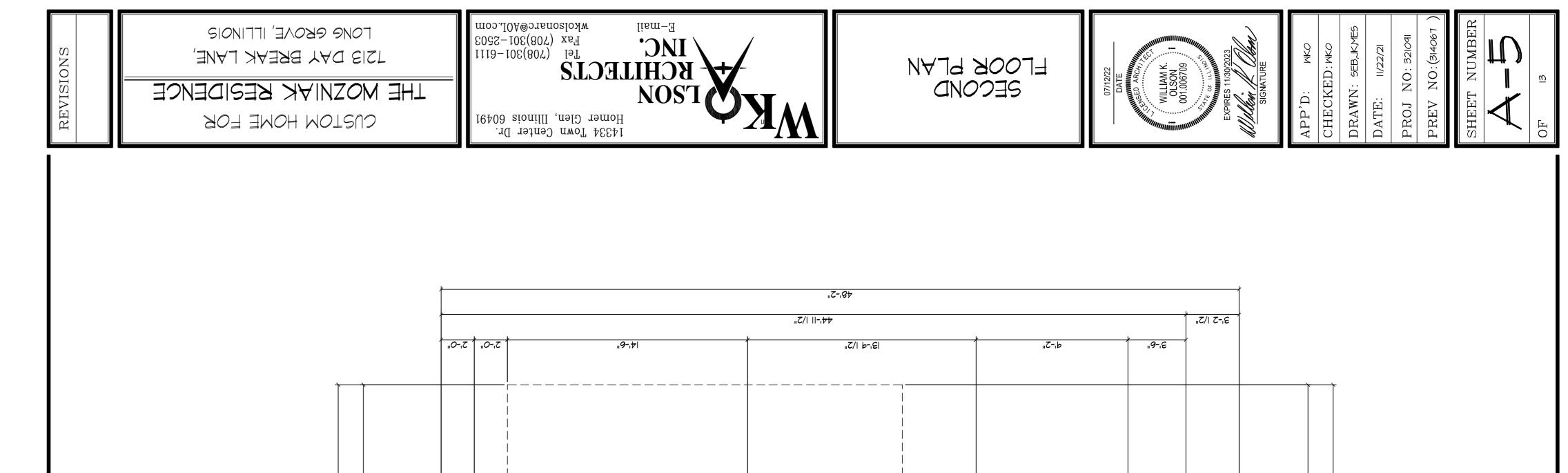
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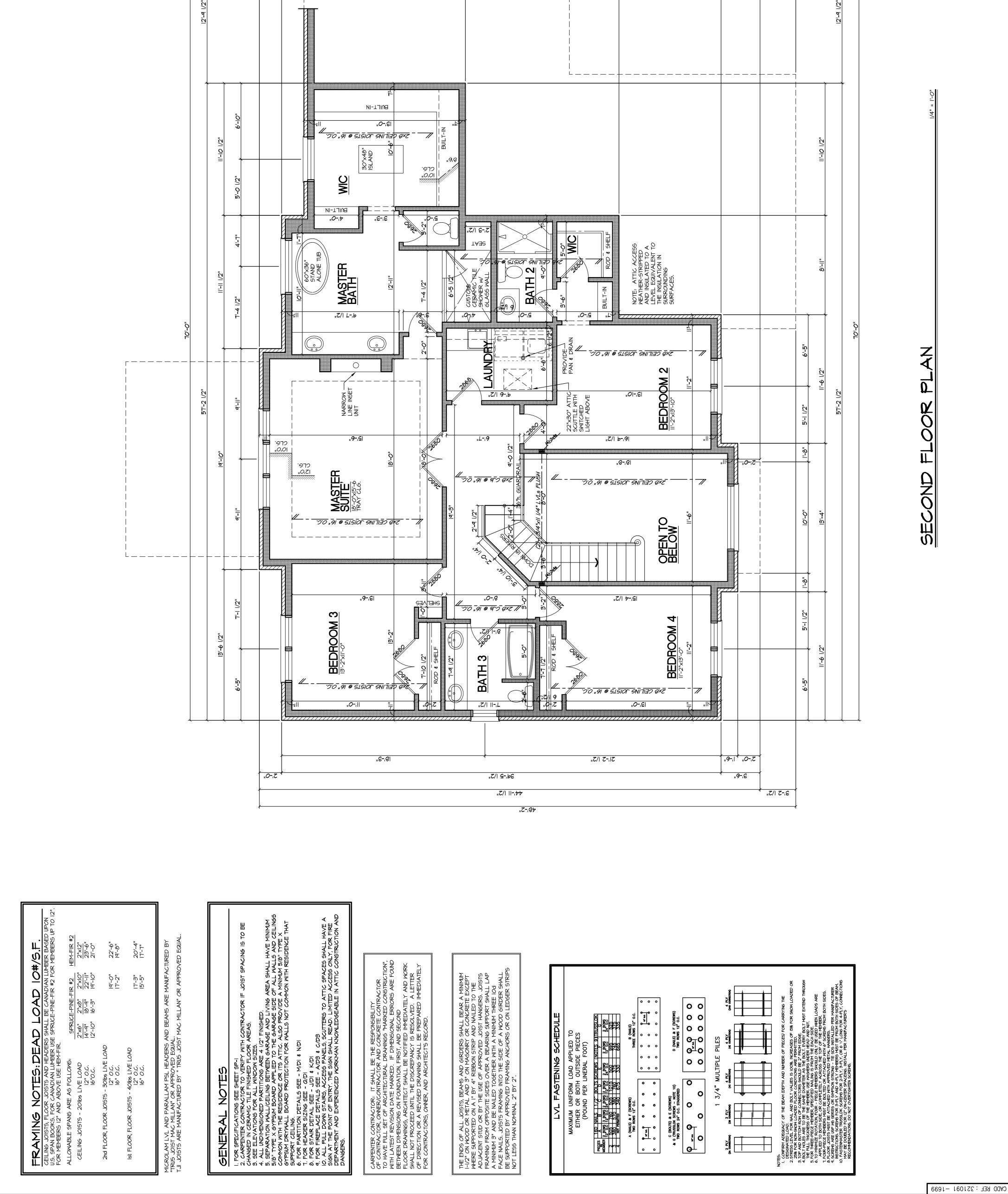


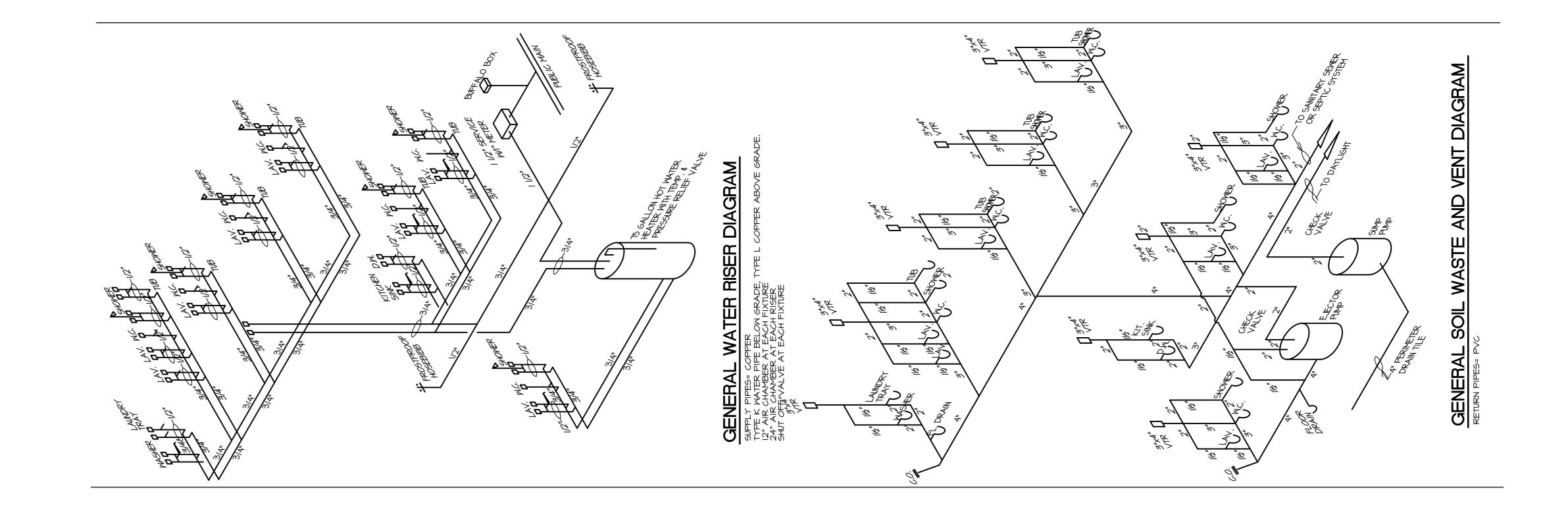


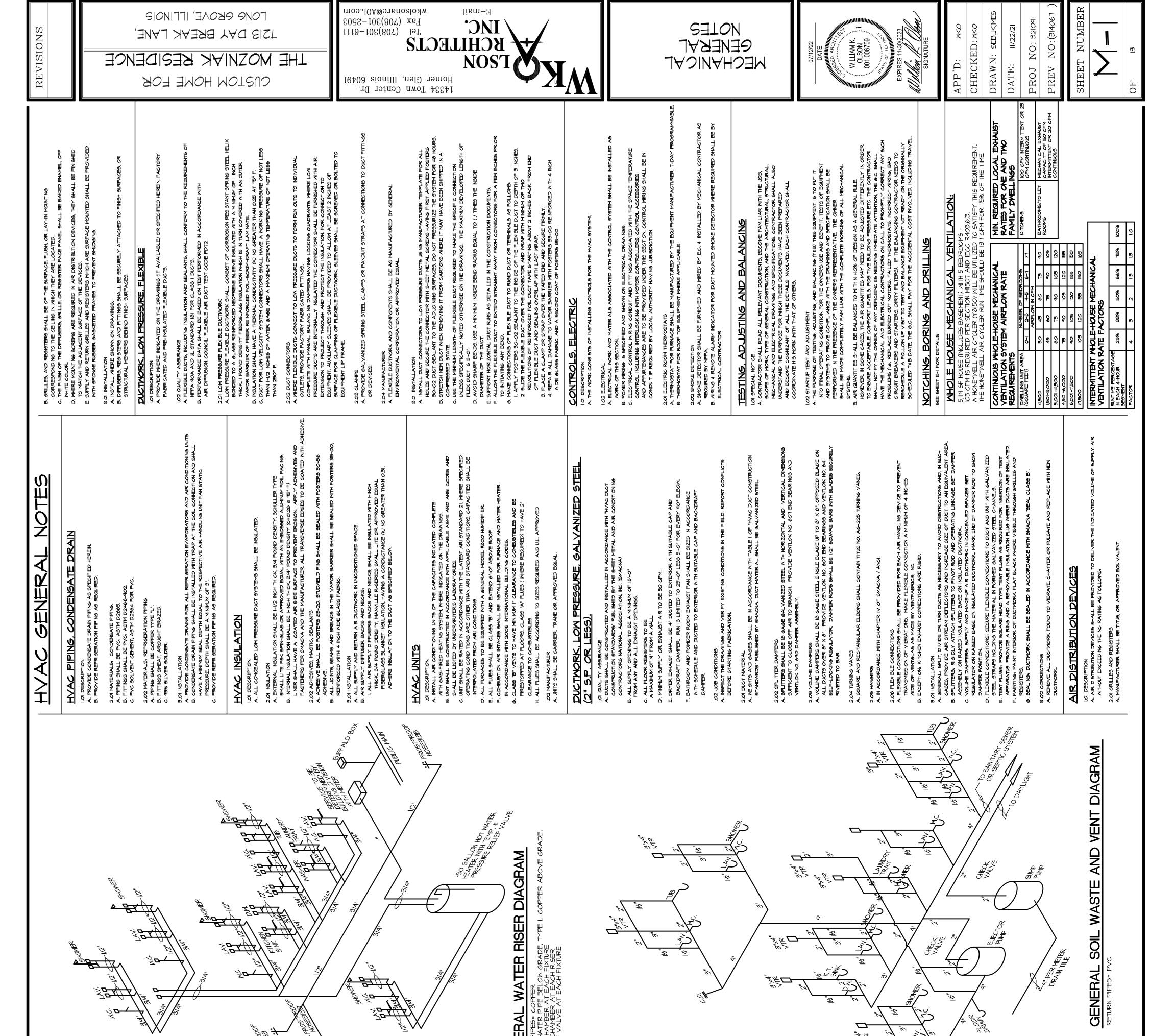
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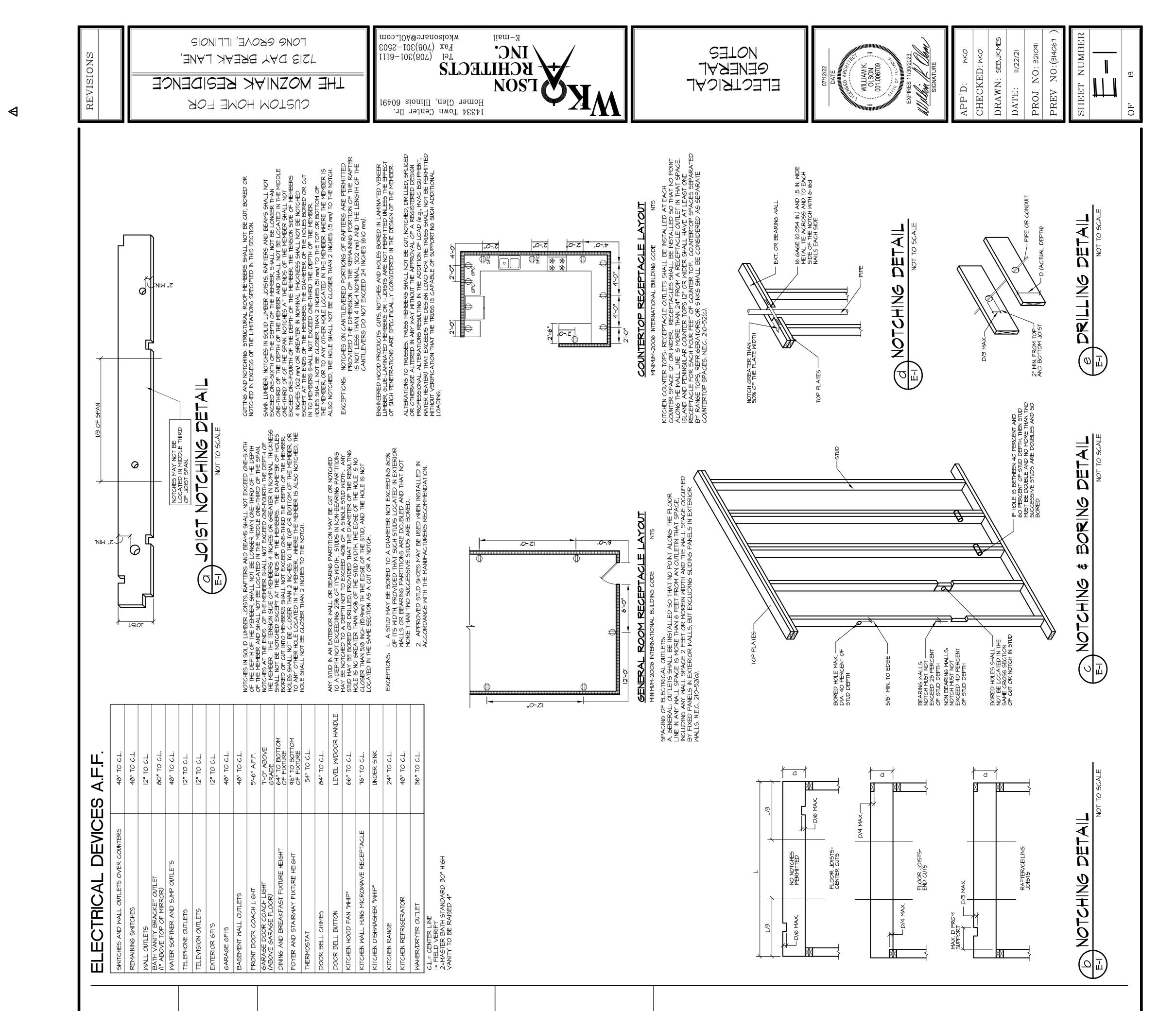




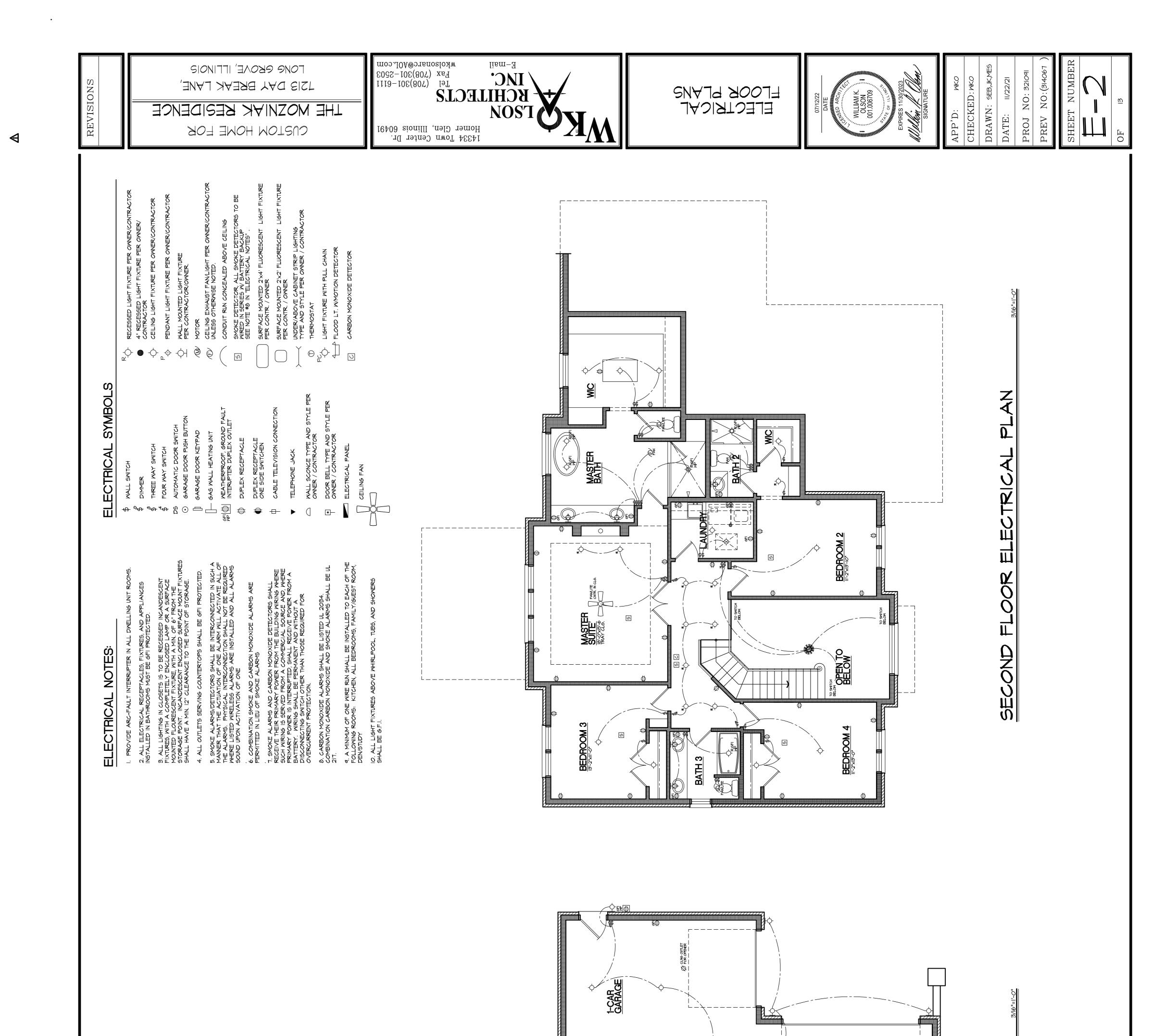


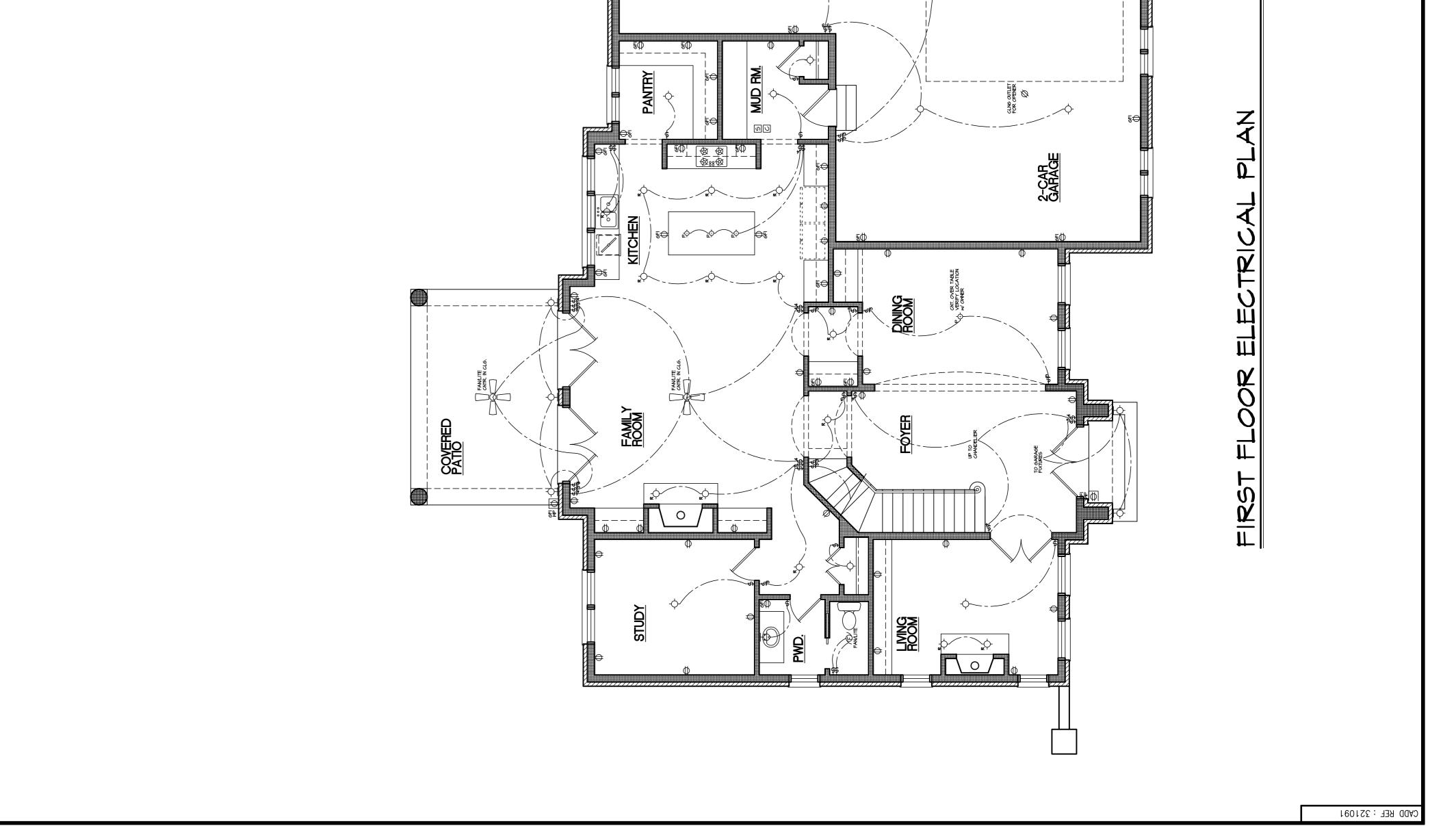
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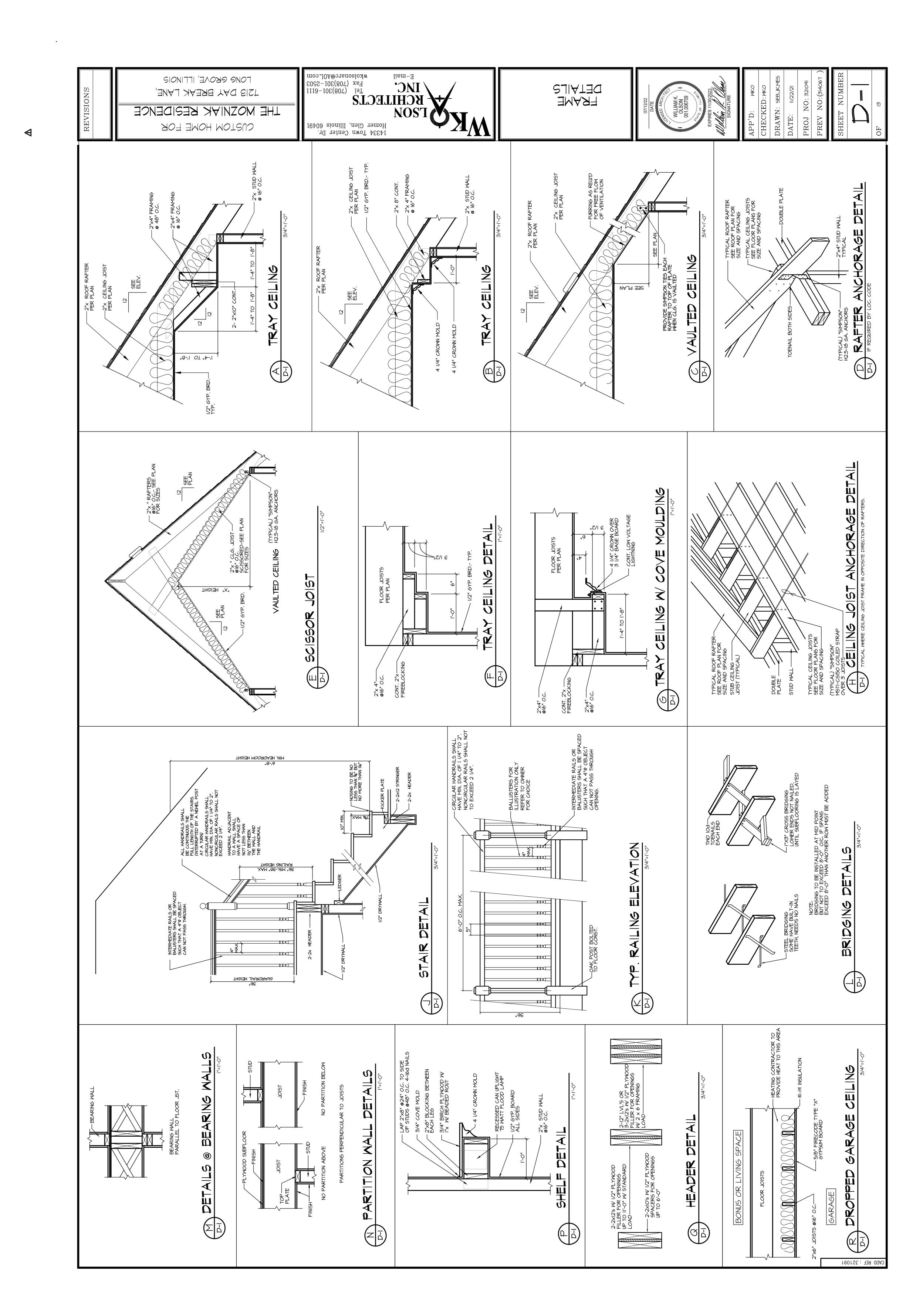
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PLUMBING, FIXTURES, TRIM AND DRAINS I.O.I. MANUFACTURER SHALL BE AS SPECIFIED HEREIN OR APPROVED EQUAL. 2.O.I. PIPING 2.O.I. PIPING A DIPING TO SERVE FIXTURES AND FOULDMENT AND EXPOSED TO VIEW IN FINISHED AREAS SHALL	 A. PIFING TO SERVE FIXTURES AND EQUIPMENT AND EXPOSED TO VIEW IN FINISHED AREAS SHALL. BE BRASS, CHROMIUM PLATED. 2.02 SUPPORTS A. PROVIDE ALL BRACKETS, PLATES, CARRIERS, ANCHORS AND FASTENING DEVICES REQUIRED FOR ANCHORING THE FIXTURES RIGIDLY IN PLACE. 2.03 FIXTURES 3.03 FIXTURES 3.03 FIXTURES 4. PROVIDE PLUMBING FIXTURES AS SCHEDULED ON THE ARCHITECTURAL DRAMINGS OR SPECIFICATIONS, AMERICAN STANDARD, KOHLER, ELLER OR APPROVED EQUAL. 	 B. MATER CLOSETS 3 1/2 GALLON PER FLUSH MAXIMUN, SHOWERS, LAVS AND SINKS 6.ALLON PER MINUTE FLOW CONTROL. 2.04 PLUMBING DRAINS A. FURNISH WITH SEEPAGE FLANGE WHERE INSTALLED WITH PANS OR FLASHING, FURNISH CLAMPING B. ALL DRAINS SHALL BE OF THE SAME MANUFACTURER. C. PROVIDE FLOOR DRAINS WITH 4 INCH DEEP SEAL TRAPS. 	 D. FROVIDE ALL DRAINS AS SHOWN ON DRAWINGS OR AS REQUIRED. E. FROVIDE GRAY BOX WITH SILL FAUCETS AND ONE STANDPIPE FOR CLOTHES WASHER AND 2" DRAIN. 3.01 INSTALLATION 3.02 INSTALLATION 3.02 INSTALLATION 3.02 INSTALLATION 3.03 INSTALLATION 3.04 INS	 B. CHROME PLATED PIPING REQUIRING THE USE OF WRENCH SHALL BE PROTECTED FROM DAMAGE. GAS PIPING I.OI PIPING I.OI PIPING A. SHALL COMPLY WITH THE REQUIREMENTS OF NFPA NO. 54 AND THE LOCAL GAS COMPANY. B. FIPE SHALL BE SCHEDULE 40 BLACK STEEL PIPE WITH MALLEABLE FITTINGS 2.01 INSTALLATION A. SHALL COMPLY WITH THE REQUIREMENTS OF NFPA NO. 54 AND THE LOCAL GAS COMPANY. B. FIPE SHALL BE SCHEDULE 40 BLACK STEEL PIPE WITH MALLEABLE FITTINGS 2.01 INSTALLATION A. SHALL COMPLY WITH THE REQUIREMENTS OF NFPA NO. 54 AND THE LOCAL GAS 2.01 INSTALLATION A. PIPING SHALL COMPLY WITH THE REQUIREMENTS OF NFPA NO. 54 AND THE LOCAL GAS 2.01 INSTALLATION B. INSTALL COMPLY WITH THE REQUIREMENTS OF NFPA NO. 54 AND THE LOCAL GAS C. PLIMBING CONTRACTOR SHALL FURNISH AND INSTALL GAS FIPING TO ALL APPLIANCES, HEATING APPARATUS, HOT WATER HEATERS FIREPLACES. 	 DOMESTIC HOT AND COLD MATER IC) DESCRIPTION IC) DESCRIPTION IC) DESCRIPTION IC) THE MORK INCLUERS FRANKHINK AND INSTALLING HOT AND COLD MATER FIPING AS SHOWN ON THE PREVISE AND SECIENCE HEREIN OR AS REQUIRED. IC) THE MORK INCLUERS FRANKHINK AND INSTALLING HOT AND COLD MATER FIPING AS SHOWN ON THE PREVISE AND SOLDER FITTINGS ELECOR AND SOLDER FITTINGS ABOVE FLOOR AND SOFT TEMPER. THE 'L' WITH MOUGHIT SOLDER FITTINGS ELECAN GRADE. IC) THINGS ELECAN GRADE. IC) AND COLD WATER PIPING ALALUES AND STOPS FOR EVERY THE 'L' WITH MOUGHIT SOLDER FITTINGS ELECAN GRADE. IC) AND COLD WATER PIPING ALALUES IF ROVIDE FIELE FRONT FLOOR AND SOFT TEMPER. THE 'L' WITH MOUGHIT SOLDER FITTINGS ELECAN GRADE. IC) RECHTLED IN SECTION, FLIMBING VALVES. IF ROVIDE FIELE FRONT FILLES AND STOPS FOR EVERY FIXTURE AUTHOR ON DECORD. IF ROVIDE CRECKE FLATED FIXTURE SUPPLIES AND STOPS FOR EVERY FIXTURE ON THE CREME FILL VIELD IN SECTION. FLIMBING AND THE PRANINGS WITH 'VIELD FILLATION. IF ROVIDE CRECKE FLATED FIXTURE SUPPLIES AND STOPS FOR EVERY FIXTURE ON THE CREME FOR TAKE-OFF. SUMING AND THE PRANINGS ON EVERTILE. IF ROVIDE OFFICE ON THE DRAIN TO THE SUPPLIES AND STOPS FOR EVERY FIXTURE ON THE CREME FOR TAKE-OFF. SUMING AND THE REVILLED BALL FILLED. IF ROVIDE OFFICE ON THE DRAIN TO THE SUPPLIES ON THE DRAINGS ON SPECIFIED IN SECTION. IF HOT WITH AND FILTURES INDICATED ON THE DRAINGS ON FROM THE RECOVER ON STALLED BALL. IF HOT WITH AND SHALL RECEIVE THO COATS OF FORFERS INDICATED ON THE DRAINGS ON SPECIFIED DRAGENS. IF HONG INFOLMED AND FILTURES INDICATED ON THE DRAINGS ON SPECIFIED DRAGENS. IF HONG INFOLUTION FOR ENDICATED DRAGEND FILLING AND SHALL BE TOP TAKE-OFF. SUMING JOINT TOP. IF HONG INFOLUTION FOR ENDICATED DRAGEND FILLING AND SHALL BE TOP TAKE-OFF. SUMING JOINT TOP. IF TO TO FREEMANT AND FILTURES INDICATED ON THE DRAVINGS ON TRANGENT TAKE-OFF	 FLIMENIKS INSULATION PLIMENIKS INSULATION I. DESCRIPTION I. DESCRI
PLUMBING GENERAL NOTES PLUMBING PIPING I DESCRIPTION	 A. FURNISH AND INSTALL PLUMBING PIPING WHERE SHOWN ON DRAWINGS AND AS SPECIFIED. B. WASTE, VENT, DOMESTIC WATER. 2.01 PIPING MATERIALS A. OPTIONS A. OPTIONS I. CAST IRON HUBLESS SANITARY PIPE AND FITTINGS. CISPI STD. 301. 2. CAST IRON SOIL PIPE AND FITTINGS, SERVICE WEIGHT: ASTM A 74. 3. CAST IRON SOIL PIPE AND FITTINGS, EXTRA HEAVY WEIGHT: ASTM A 74. 4. ATTHEI PLATE AND FITTINGS, EXTRA HEAVY WEIGHT: ASTM A 74. 	 Malleable Ron Fittings, ISO LB.: ASTM A 197. PIPE THREADS: ANSI B2.I. NIPPLES, PIPE (THREADED): FED SPEC. WW-N-351. COPPER WATER TUBE: ASTM B & 8. COPPER DRAINAGE TUBE DWY. ASTM B 306. COPPER DRAINAGE TUBE DWY. ASTM B 306. McUGHT COPPER AND BRONZE SOLDER-JOINT PRESSURE FITTINGS. ANSI B16.24. McUGHT COPPER AND WROUGHT COPPER ALLOY SOLDER-JOINT DRAINAGE FITTINGS. ANSI BL6.24. CAULKING LEAD: FED. SPEC. 00-L-201. SHEET LEAD: FED. SPEC. 00-L-201. 	 H. SHEET COPPER, ASTME B 152. NO-HUB STAINLESS STEEL COUPLING AND GASKETS: CISPI STD. 5-301. NO-HUB STAINLESS STEEL COUPLING: AND GASKETS: CISPI STD. 5-301. NC AND ABS DWV PIPE FITTINGS: ASTM D 2665 FOR PVC AND ASTM D 2235 2661 FOR ABS. PVC AND ABS SOLVENT CEMENTS: ASTM D 2564 FOR PVC AND ASTM D 2235 FOR ABS. PVC AND ABS SOLVENT CEMENTS: ASTM D 2564 FOR PVC AND ASTM D 2235 FOR ABS. PVC AND ABS SOLVENT CEMENTS: ASTM D 2564 FOR PVC AND ASTM D 2235 FOR ABS. A OPTIONS OPTIONS OPTIONS A OPTIONS A OPTIONS	s − ≤≦	onvection to Equipment. Lection to Equipment. I code and shall be ment water supply I code and shall be ment water supply I code and the inection I clated. I clated I cleaned inside and Es of the Building. Pitch High as possible, to conflicts with other I	

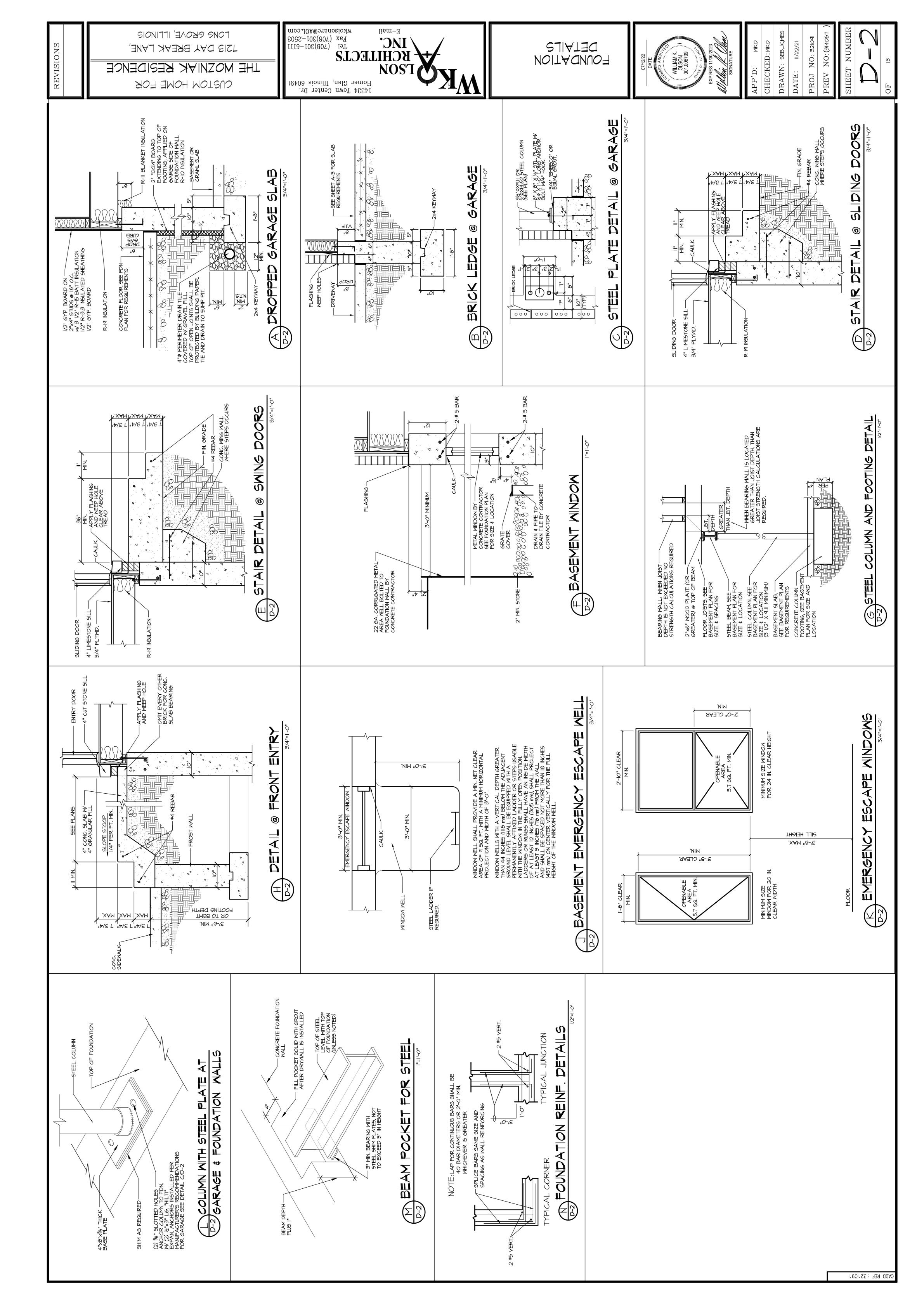


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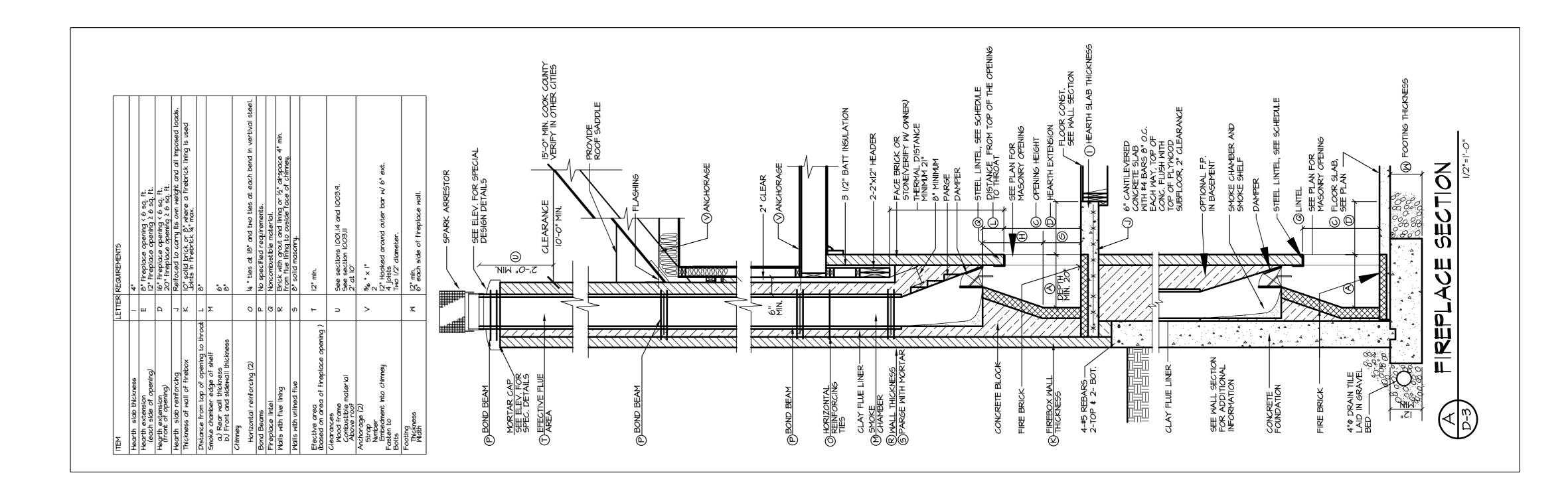


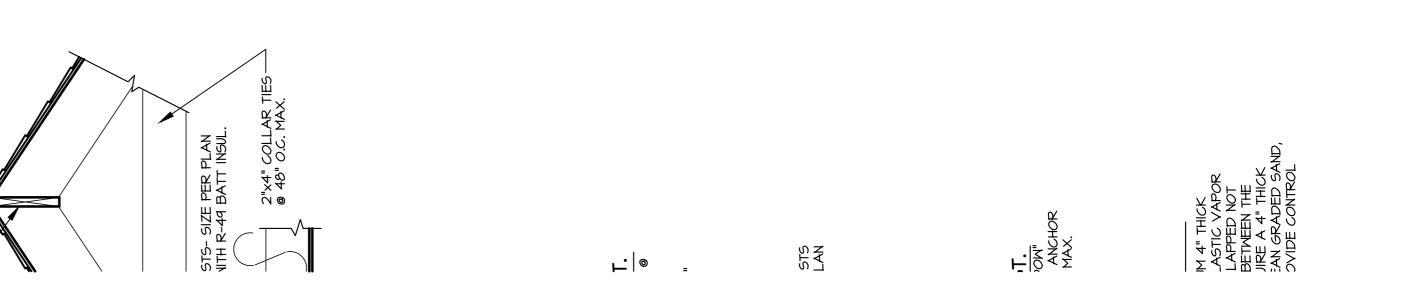




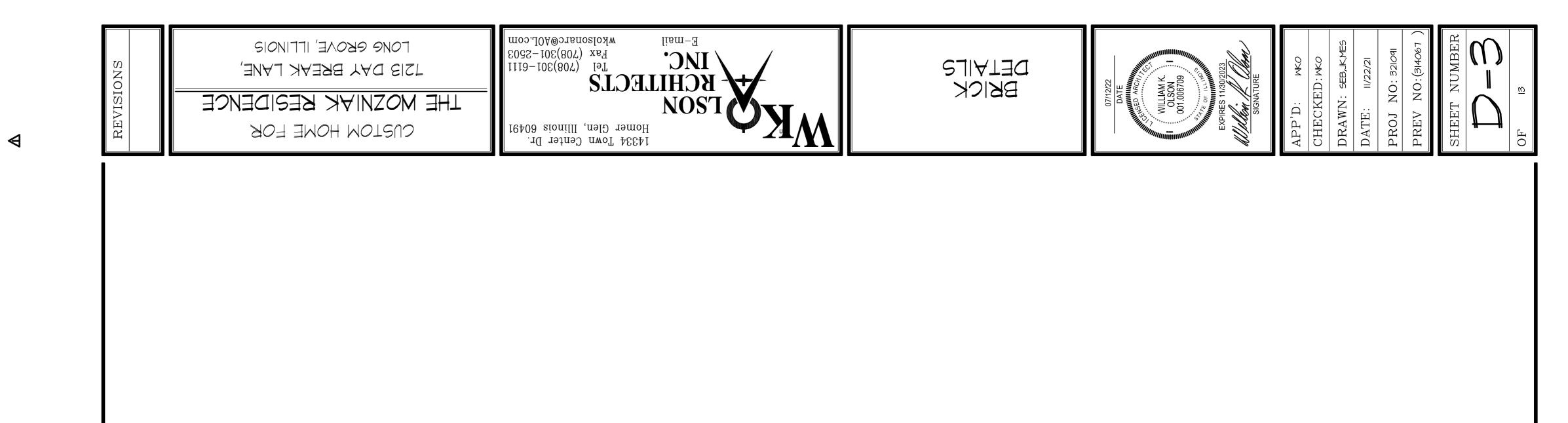


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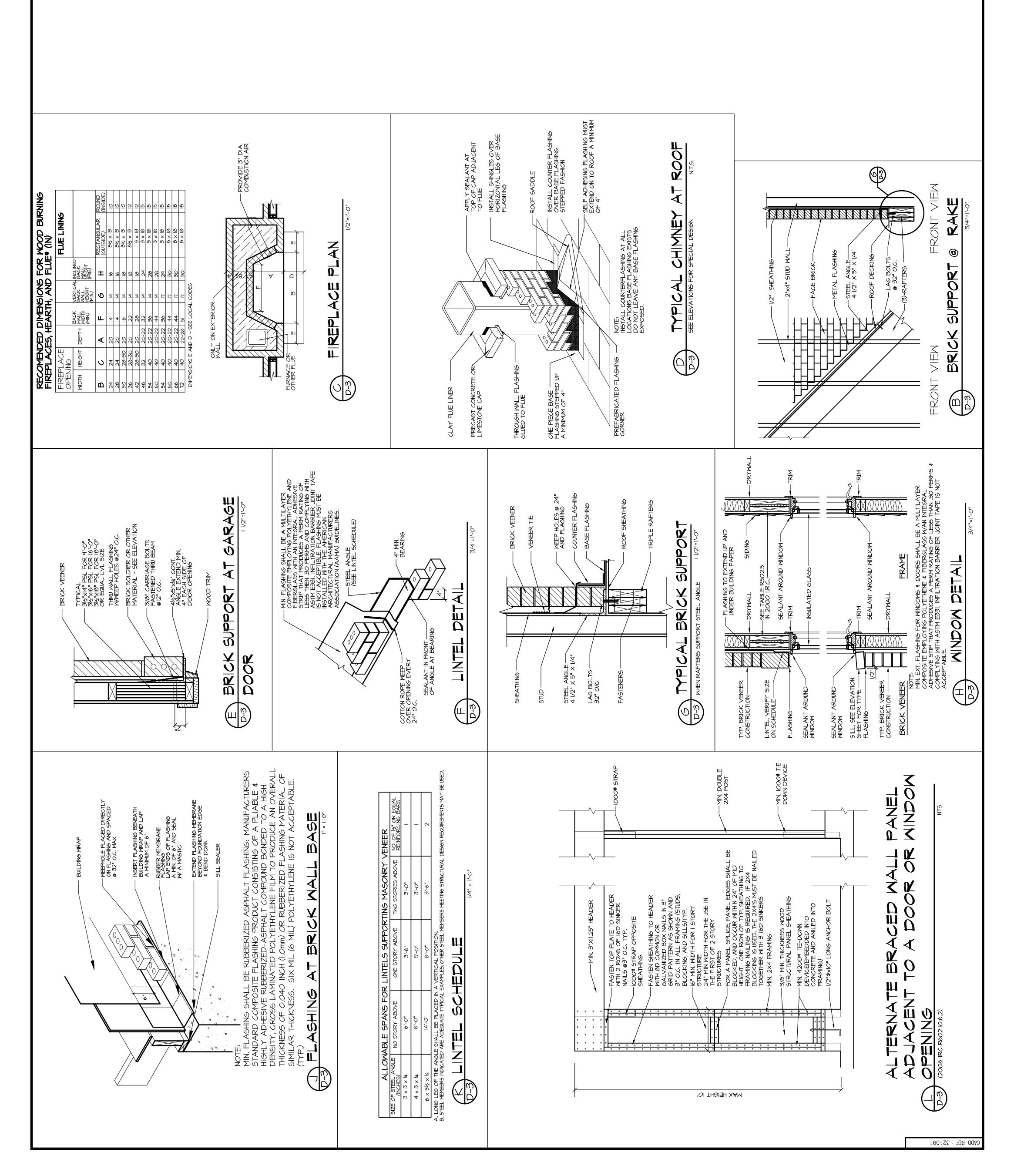


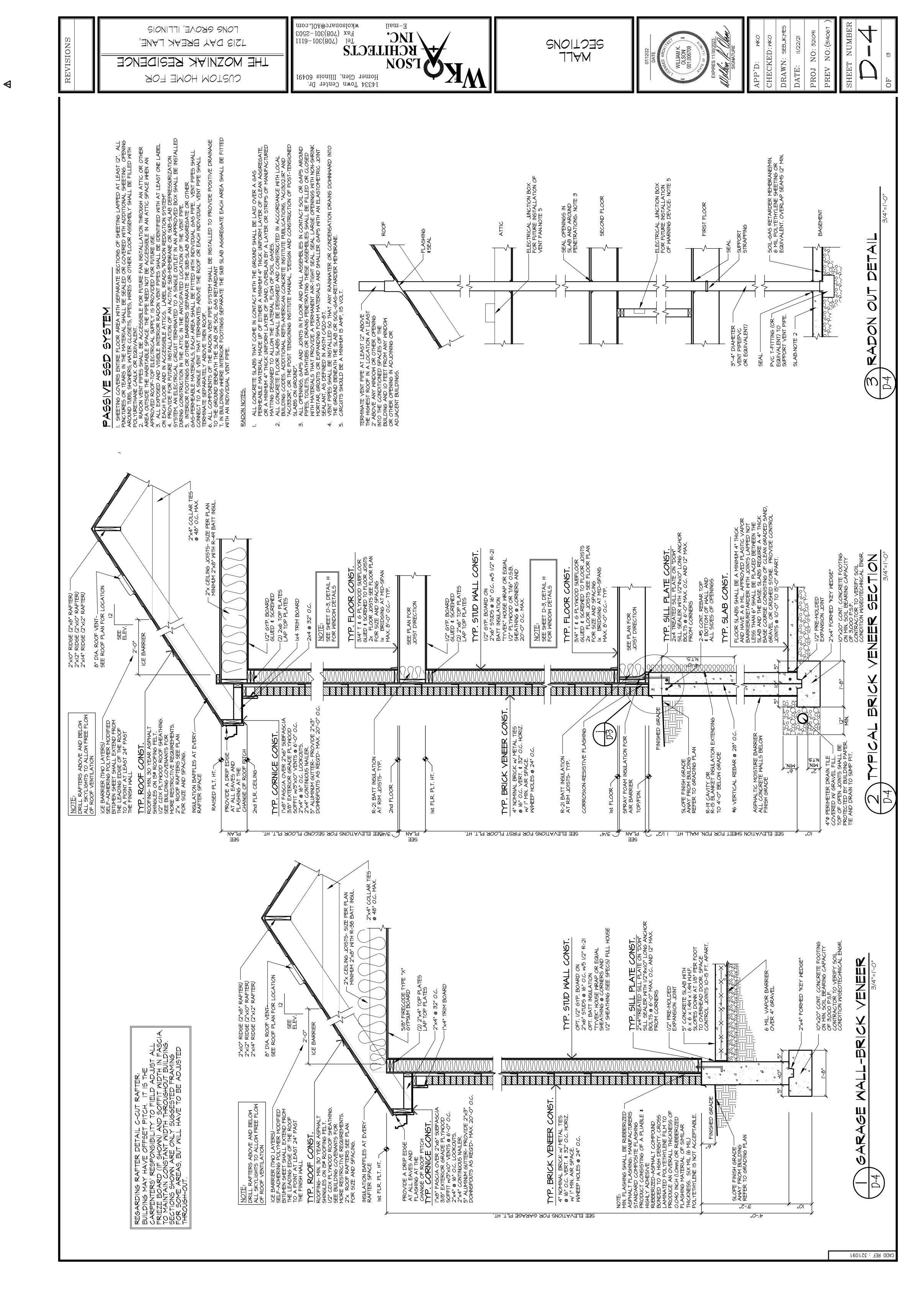


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Ravenna East Homeowners Association

February 04, 2022

Winter Bunnies 24, LLC 1600 A Vermont Drive Elk Grove Village, IL 60007

Reference: Architectural Modification Request Approval Letter 7213 RFD Daybreak Lane, Long Grove, IL 60060 XN1380399 Acct# 51978116

Dear Winter Bunnies 24, LLC,

Your request for an Architectural Modification for the Ravenna East Homeowners Association on your property at 7213 RFD Daybreak Lane has been approved. Specifically, you have approval to proceed with the following request as submitted: -Single family home, black windows, white brick, 3,500 sqft,

The above-mentioned alteration or addition must remain in compliance with the Association's guidelines and restrictions. Please do not deviate from the plans submitted unless otherwise noted. If your plans need to be changed, please contact management and submit a revised architectural request.

Owners are responsible to contact the City or Village to obtain any necessary or required approvalsor permits. The Association's approval is subject to the municipality's approval or permitting process

If applicable, please consider the safety of you and your neighbors and contact JULIE before you or a contractor, begin any digging projects, regardless of depth or project size. Today more electric, gas, water, sewer and telecommunication companies are delivering utility services underground. To avoid personal injury and damage to those lines, the state law requires you to contact JULIE before any digging projects.

Any debris, dirt excavated, and building material from the installation or alteration needs to be hauled offsite and NOT dumped in the common areas within the community. If any items located on common areas, public property and neighboring lots are damaged due to the construction of this alteration you, the owner and/or your contactor, must be responsible for any costs to repair the area.

We appreciate your cooperation in meeting the established guidelines as set forth in your community. It is recommended that you keep this approval letter with your other important home-related papers. If you have questions please contact Property Specialists, Inc. at (847) 806-6121 or email, <u>info@psimanagement.net</u>.

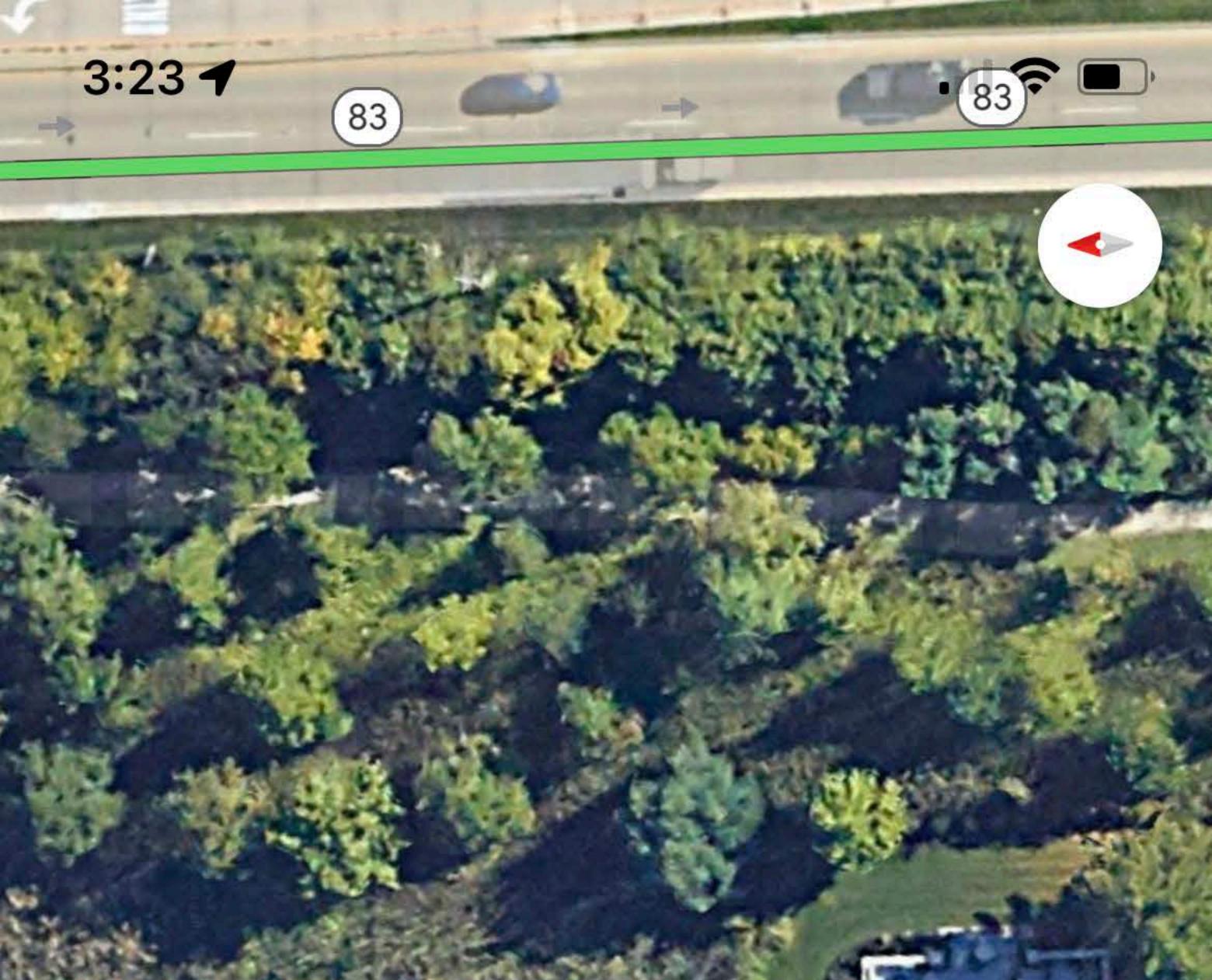
Please note that the Association reserves the right to make a final inspection to ensure that your project is compliant with the architectural design standards applicable to your neighborhood.

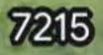
Sincerely,

Board of Directors Ravenna East Homeowners Association

Professionally Managed By:

2155 Point Boulevard, Suite 210 - Elgin, IL 60123 (847) 806-6121 - Fax (847) 806-6154 www.psimanagement.net





7213 Daybreak Ln Recently viewed

DaybreakLn

DaybreakLn

7200





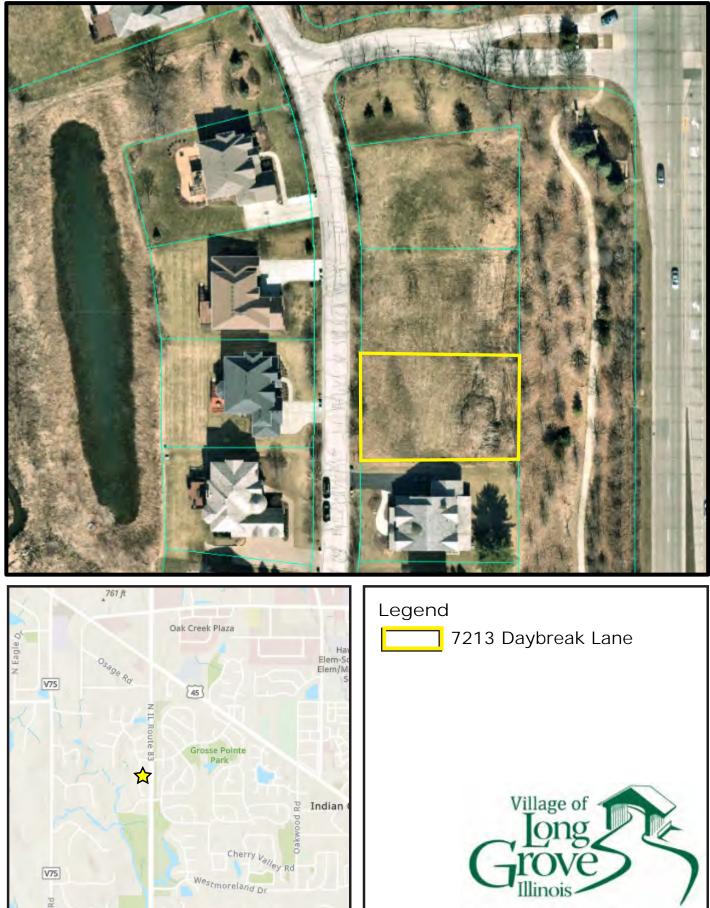








Location Map: 7213 Daybreak Lane



RESIDENTIAL REGULATIONS (Section 5-3-11):

The following are excerpts of applicable portions of the Village Sign Ordinance.

- (A) Purpose. The intent of this section is to ensure sufficient variety in detached single-family dwellings to prevent monotony, and to foster the quality and character of residential construction traditionally found in the Village. At the same time, these regulations are designed to provide freedom for homeowners to design detached single-family dwellings that meet their needs and choices and to encourage creativity.
- (B) *Mandatory Criteria*. The following criteria shall apply to all new detached single-family dwelling construction:
 - 1. *Similarity Regulated.* No detached single-family dwelling may be similar to any other detached single-family dwelling along a street or cul-de-sac, or within 1,500 feet (as measured from lot line to lot line), whichever is more restrictive.
 - 2. *Window, Door, and Trim.* Each detached single-family dwelling shall have similar style and quality window, door, trim, and decorative moldings on all exterior building elevations of the detached single-family dwelling.
 - 3. Building Materials. Identical or substantially similar siding materials or veneers shall be used on all exterior sides of the detached single-family dwelling. This does not prohibit the use of veneers or changes of materials on a facade where, for example, materials might change at the second floor or at a windowsill height. Where a wing or projection of the building is offset, the wing or projection may use different materials to give it emphasis, provided the materials are applied to the entire wing or projection.
 - 4. *Roof Overhangs.* An important element of design is the shadow lines that are created by roofs and help articulate the building. Any detached single-family dwelling having a pitched roof shall have eaves that extend a sufficient distance to create shadow lines. A variety of overhangs is desired. The following standards shall apply:
 - (a) *Variety.* Within a subdivision or planned unit development, the detached single-family dwellings shall have a variety of different roof overhang profiles.
 - (b) *Extension.* The overhang of a detached single-family dwelling, not including gutters, shall extend at least eight inches beyond the plane of the wall.
 - (c) *Exception.* The minimum overhang shall not apply to any individual detached single-family dwelling built in a historical style where overhangs were not part of the style (Cape Cod, for example) or in a unique individual design. The architectural board shall review the architectural plans for such dwellings.
 - 5. *Garage Placement and Orientation.* Within a particular subdivision or planned unit development, no more than 25 percent of garages may be front loads located at the front of the detached single-family dwelling. The following are preferred alternatives to front load garages, which alternatives are illustrated on appendix 1 on file in the village:
 - (a) Side load garages.
 - (b) Side loading front garages. These are garages located in wings in front of the principal facade or entrance facade.
 - (c) Recessed front loading garages. Where the two-car garage is in a wing that is recessed 20 feet or more behind the front elevation, it shall not be considered a front-loaded garage.
 - (d) Rear garages. These are either freestanding or attached garages that are located to the rear and that have the view from the street screened by a wing of the building.

- (C) *Multiple Dwellings.* An owner who builds more than one detached single-family dwelling must utilize four or more of the following techniques to avoid monotony and ensure quality:
 - 1. *Roof Heights.* Utilize dissimilar roof heights. One or a combination of the following shall be used to achieve the desired effect:
 - (a) Vary the number of stories on adjoining lots.
 - (b) Vary the roof pitches on otherwise similar detached single-family dwellings.
 - (c) Vary the roofline height on the individual detached single-family dwelling. The number of stories can be varied on the dwelling. Where the width of the dwelling is changed, the roof can be stepped down even though the stories remain similar. Wings should be of different heights based on different stories or widths.
 - 2. *Roof Orientation.* Vary roof orientation so that the gable ends are oriented in a different direction than an otherwise similar detached single-family dwelling.
 - 3. *Floor Plans.* Utilize different floor plans with distinctive shapes, such as wings or elements that sharply contrast with adjoining dwellings or significant (at least 20 percent) changes in width of the central dwelling. Repetitive use of a similar form and floor plans having similar masses on different models is not permitted. A wing must protrude from the front of the building a minimum of eight feet to be considered a wing.
 - 4. *Placement on Lots.* Vary the location of the detached single-family dwellings in relation to the required front and side yard setbacks.
 - 5. *Rotation or Flipping.* Rotate the floor plan by 90 degrees or utilize a 180-degree flip combined with major differences in the plane of the front elevation.
 - 6. *Lot Frontage and Size.* Utilize significant variation in the width of detached single-family dwellings which results in clearly different modules of windows and doors.
 - 7. *Architectural Style.* Utilize different architectural styles for similar floor plans, which employ all the elements of a given style and are applied consistently throughout the dwelling.
 - 8. Architectural Details and Features. Utilize different details for the chimney, entrance, garage design, dormers, porches, and building materials to significantly alter the appearance of a detached single-family dwelling to make it visually very different.
- (D) Individual Review. The owner shall submit a separate plan for each detached single-family dwelling to the Building Superintendent for individual review and approval prior to issuance of a building permit. Applications shall include photos of the facades of the buildings or architectural elevations of existing dwellings along the same street or cul-de-sac or within 1,500 feet of the lot line of the proposed lot, whichever is more restrictive. The Building Superintendent may, when he deems it necessary to ensure compliance with this section, refer any such application to the Architectural Board for review and comments.
- (E) Appeals.
 - 1. If the Building Superintendent denies an application, the owner can appeal that decision to the Architectural Board within ten days of the denial by filing a written notice of appeal with the Village Clerk. The Architectural Board may affirm, modify, or reverse the decision of the Building Superintendent.
 - 2. The owner can appeal a decision of the Architectural Board to the Village Board within ten days of the denial by filing a written notice of appeal with the Village Clerk. The Village Board may affirm, modify, or reverse the decision of the Architectural Board.

- 3. Any appeal under this subsection (E) shall be reviewed in light of the criteria in subsections (B) and (C) of this section and the purposes in subsection (A) of this section.
- (F) *Responsibility.* It is the responsibility of the owner to establish to the satisfaction of the Village that the application fully complies with the provisions of this section.
- (G) *Deviations.* for good cause shown, the Village Board may approve deviations from strict conformity with this section when the owner establishes to the satisfaction of the Village Board that any such deviations are reasonably necessary and are not contrary to the purpose and intent of this section.

5-20-1

CHAPTER 20

ARCHITECTURAL CONTROL

SECTION:

5-20-1: Prohibition, Criteria

5-20-1: **PROHIBITION, CRITERIA:** No building permits shall be issued for any new building or for remodeling or alteration of an existing building which if erected, remodeled or altered would produce one or more of the harmful effects set forth in section 2-3-1 of this code. In considering whether the erection, remodeling or alteration of a building, awning, sign, fence or other structure will produce one or more of the harmful effects set forth in section 2-3-1 of this code, the architectural board shall consider whether there exists one or more of the following:

- (A) Excessive similarity or dissimilarity in design in relation to any other structure existing or for which a permit has been issued within a distance of one thousand feet (1,000') of the proposed site or in design generally prevailing in the area in respect to one or more of the following features:
 - 1. Apparently identical facade;

2. Substantially identical size and arrangement of either doors, windows, porticoes or other openings or breaks in the facade facing the street, including a reverse arrangement thereof;

3. Cubical contents;

4. Gross floor area;

5. Other significant design features, such as, but not limited to, roofline, height of building, construction or quality of architectural design; or

Village of Long Grove

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6. Location and elevation of building upon the site in relation to contiguous properties.

(B) Inappropriateness in relation to any other property in same or any adjoining district of design, landscaping, building materials, and use thereof, orientation to site, or placement of parking, storage or refuse areas. (Ord. 98-O-14, 5-26-1998) 5-22-1

5-22-2

CHAPTER 22

ANTIMONOTONY STANDARDS

SECTION:

5-22-1:	Purpose
5-22-2:	Mandatory Criteria
5-22-3:	Multiple Homes
5-22-4:	Individual Review
5-22-5:	Appeals
5-22-6:	Responsibility
5-22-7:	Deviations

5-22-1: **PURPOSE:** The intent of this chapter is to ensure sufficient variety in residential homes to prevent monotony and to foster the quality and character of residential construction traditionally found in the village. At the same time, these regulations are designed to provide freedom for homeowners to design homes that meet their needs and choices and to encourage creativity. (Ord. 2002-O-6, 2-12-2002)

- 5-22-2: **MANDATORY CRITERIA:** The following criteria shall apply to all new single-family residence construction:
- (A) Similarity Regulated: No home may be similar to any other home along a street or cul-de-sac, or within one thousand five hundred feet (1,500') (as measured from property line to property line), whichever is more restrictive.
- (B) Window, Door, And Trim: The home shall have similar style and quality window, door, trim, and decorative moldings on all exterior building elevations of the home.
- (C) Building Materials: Identical or substantially similar siding materials or veneers shall be used on all exterior sides of the home. This does not prohibit the use of veneers or changes of materials on a facade where, for example, materials might change at the second floor or at

Village of Long Grove

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5-22-2

a windowsill height. Where a wing or projection of the building is offset, the wing or projection may use different materials to give it emphasis, provided the materials are applied to the entire wing or projection.

(D) Roof Overhangs: An important element of design is the shadow lines which are created by roofs and help articulate the building. All homes having pitched roofs shall have eaves that extend a sufficient distance to create shadow lines. A variety of overhangs is desired. The following standards shall apply:

1. Variety: The subdivision or planned unit development as a whole shall have a variety of different roof overhang profiles.

2. Extension: The overhang, not including gutters, shall extend at least eight inches (8") beyond the plane of the wall.

3. Exception: The minimum overhang shall not apply for individual homes built in an historical style where overhangs were not part of the style (Cape Cod, for example) or in a unique individual design. The architectural board shall review the architectural plans for such buildings.

(E) Garage Placement And Orientation: Within a particular subdivision or planned unit development, no more than twenty five percent (25%) of garages may be front loads located at the front of the house. The following are preferred alternatives to front load garages:

1. Side load garages.

2. Side loading front garages. These are garages located in wings in front of the principal facade or entrance facade.

3. Recessed front loading garages. Where the two (2) car garage is in a wing that is recessed twenty feet (20') or more behind the front elevation, it shall not be considered a front loaded garage.

4. Rear garages. These are either freestanding or attached garages that are located to the rear and that have the view from the street screened by a wing of the building. (Ord. 2002-O-6, 2-12-2002)

5-22-3: **MULTIPLE HOMES:** Applicants who build more than one home within a subdivision or planned unit development must

utilize four (4) or more of the following techniques to avoid monotony and ensure quality:

- (A) Roof Heights: Utilize dissimilar roof heights. One or a combination of the following shall be used to achieve the desired effect:
 - 1. Vary the number of stories on adjoining lots.
 - 2. Vary the roof pitches on otherwise similar homes.

3. Vary the roofline height on the individual house. The number of stories can be varied on the dwelling. Where the width of the home is changed, the roof can be stepped down even though the stories remain similar. Wings should be of different heights based on different stories or widths.

- (B) Roof Orientation: Vary roof orientation so that the gable ends are oriented in a different direction than an otherwise similar home.
- (C) Floor Plans: Utilize different floor plans with distinctive shapes, such as wings or elements that sharply contrast with adjoining units or significant (at least 20 percent) changes in width of the central building. Repetitive use of a similar form and floor plans having similar masses on different models is not permitted. A wing must protrude a minimum of eight feet (8') to be considered a wing.
- (D) Placement On Lots: Vary the location of the homes in relation to the required front and side yard setbacks.
- (E) Rotation Or Flipping: Rotate the floor plan by ninety degrees (90°) or utilize a one hundred eighty degree (180°) flip combined with major differences in the plane of the front elevation.
- (F) Lot Frontage And Size: Utilize significant variation in the width of homes which results in clearly different modules of windows and doors.
- (G) Architectural Style: Utilize different architectural styles for similar floor plans, which employ all the elements of a given style and are applied consistently throughout the home.
- (H) Architectural Details And Features: Utilize different details for the chimney, entrance, garage design, dormers, porches, and building materials to significantly alter the appearance of a home to make it visually very different. (Ord. 2002-O-6, 2-12-2002)

5-22-4

5-22-4: **INDIVIDUAL REVIEW:** The applicant shall submit a separate plan for each home to the village superintendent for individual review and approval prior to issuance of a building permit. Applications shall include photos of the facades of the buildings or architectural elevations of existing homes along the same street or cul-de-sac or within one thousand five hundred feet (1,500') of the property line of the proposed homesite, whichever is more restrictive. The village superintendent may, when he deems it necessary to ensure compliance with this chapter, refer any such application to the architectural board for review and comments. (Ord. 2002-O-6, 2-12-2002)

5-22-5: APPEALS:

- (A) If the village superintendent denies an application, the applicant can appeal that decision to the architectural board within ten (10) days of the denial by filing a written notice of appeal with the village clerk. The architectural board may affirm, modify, or reverse the decision of the village superintendent.
- (B) The applicant can appeal a decision of the architectural board to the village board within ten (10) days of the denial by filing a written notice of appeal with the village clerk. The village board may affirm, modify, or reverse the decision of the architectural board. (Ord. 2002-O-6, 2-12-2002)

5-22-6: **RESPONSIBILITY:** It is the responsibility of the applicant to establish to the satisfaction of the village that the application fully complies with the provisions of this chapter. (Ord. 2002-O-6, 2-12-2002)

5-22-7: **DEVIATIONS:** For good cause shown, the village board may approve deviations from strict conformity with this chapter when the applicant establishes to the satisfaction of the village board that any such deviations are reasonably necessary and are not contrary to the purpose and intent of this chapter. (Ord. 2002-O-6, 2-12-2002)

2023 DRAFT MEETING SCHEDULE



2023 ARCHITECTURAL COMMISSION (AC) REGULAR MEETING DATES

REGULAR MEETING DATE (3RD Monday of the Month)

January 16, 2023 *

February 20, 2023 March 20, 2023 April 17, 2023 May 15, 2023 June 19, 2023 July 17, 2023 August 21, 2023 September 18, 2023 October 16, 2023 November 20, 2023 December 18, 2023

* Martin Luther King Day – No AC Meeting

- The Village of Long Grove AC regularly meets at 7:00 PM at the Village Hall every 3rd Monday of each month unless otherwise noticed.
- Complete applications must be submitted at least ten (10) days <u>prior</u> to the scheduled meeting date.