



**AGENDA
ARCHITECTURAL COMMISSION
REGULAR MEETING**

Monday, September 19, 2022 at 7:00 P.M.

**Location: Long Grove Village Hall
3110 Old McHenry Road, Long Grove, IL 60047**

- 1. CALL TO ORDER**
- 2. ATTENDANCE**
- 3. VISITOR BUSINESS / PUBLIC COMMENTARY**
- 4. APPROVAL OF MINUTES**
 - a. Approval of the August 29, 2022 Draft Meeting Minutes
- 5. OLD BUSINESS**

None
- 6. NEW BUSINESS**
 - a. AC-14-2022 – Review of a proposed single-family residence at 7213 Daybreak Lane.
 - b. 2023 Draft Meeting Schedule
- 7. QUESTIONS AND COMMENTS**
- 8. ADJOURNMENT**

Next Scheduled Meeting: October 17, 2022 @ 7:00 PM

The Village of Long Grove is subject to the requirements of the Americans with Disabilities Act of 1990. Individuals with disabilities who plan to attend this meeting and who require certain accommodations in order to allow them to observe and/or participate in this meeting, or who have questions regarding the accessibility of the meeting or the facilities, are requested to phone the Long Grove Village Manager at 847-634-9440 or TDD 847-634-9650 promptly to allow the Village of Long Grove to make reasonable accommodations for those persons.

DRAFT MEETING MINUTES

**MEETING MINUTES OF THE
LONG GROVE ARCHITECTURAL COMMISSION
SPECIAL MEETING
August 29, 2022
6:00 P.M.**

Chairwoman Sylvester called the special meeting of the Long Grove Architectural Commission (AC) Workshop to order at 6:00 p.m. with the following members present.

Members Present: Allen Roiter; John Marshall; Matthew Akins; Jeanne Sylvester; Laura Mikolajczak; and John Plunkett.

Members Absent: None.

Also Present: Greg Jackson, Long Grove's Village Manager, Amanda Orenchuk and Jessica Marvin, Community Development Services.

Staff held a training workshop with the Architectural Commission going over the history and roles of the commission.

Meeting Adjourned at 6:59 p.m.

Respectfully Submitted,

Jessica Marvin
Associate Planner

**MEETING MINUTES OF THE
LONG GROVE ARCHITECTURAL COMMISSION
REGULAR MEETING
August 29, 2022
7:00 P.M.**

Chairwoman Sylvester called the meeting of the Long Grove Architectural Commission (AC) to order at 7:08 p.m. with the following members present.

Members Present: Allen Roiter; John Marshall; Matthew Akins; Jeanne Sylvester; Laura Mikolajczak; and John Plunkett.

Members Absent: None.

Also Present: Amanda Orenchuk and Jessica Marvin, Community Development Services, and members of the public.

VISITORS BUSINESS

None.

APPROVAL OF MINUTES

1) Approval of the July 18, 2022 Draft Meeting Minutes.

Multiple commissioners provided corrections to various typographical errors on page two of the minutes.

A motion was made by Commissioner Marshall, seconded by Commissioner Plunkett, to recommend approval of the July 18, 2022, meeting minutes, as amended.

Ayes: J. Marshall; A. Roiter; J. Plunkett; J. Sylvester; M. Akins; L. Mikolajczak

Nays: None

Absent: None

NEW BUSINESS

1) Consideration of a request for a new single-family home, 7237 Greywall Court and within the Concord Homes' Ravenna Planned Unit Development, submitted by Muhammad Khan, the future homeowner.

The Architectural Commission revisited the project initially presented at the July 18, 2022, Architectural Commission meeting. Associate Planner Marvin provided an overview of the modifications to the proposed new single-family residence. The general contractor, Uriel Oropeza, was present on behalf of the future homeowner. The commission reviewed the revised plans and had minor changes to the proposed new single-family residence.

A motion was made by Commissioner Roiter, seconded by Commissioner Akins, to recommend approval of a new single-family home located at 7237 Greywall Court, which will be evaluated by staff and the AC Chair to incorporate the following conditions:

- Add a masonry band around all the façades.
- Install stucco on both sides of the recessed portion of the rear façade near the chimney.
- The front rectangular window lintels are to be widened to three (3) inches on both sides.
- The front arched window lintels to be widened to one and a half (1 ½) inches on both sides.
- The single windows are to be replaced with double windows, and a double window is to be added to the east façade.

Ayes: A. Roiter; M. Akins; J. Marshall; J. Plunkett; J. Sylvester; L. Mikolajczak

Nays: None

Absent: None

2) Consideration of a request for a new single-family home, 7234 Roxbury Court and within the Concord Homes' Ravenna Planned Unit Development, submitted by Joon Kim on behalf of Hyung Yun Park, the future homeowner.

Associate Planner Marvin provided an overview of the proposed new single-family residence. The architect, Joon Kim, was present on behalf of the future homeowner. After the commission reviewed the plans, Chairwoman Sylvester requested to continue this case. She asked the petitioners to revise and resubmit their application due to the proposed residence not fitting within the Long Grove and Ravenna of Long Grove HOA Architectural Style.

A motion was made by Commissioner Plunkett, seconded by Commissioner Roiter, to send the application back to the applicant for revisions based on the following:

- Indicate a cedar shake roof, asphalt shingles are not a permitted material.
- Replace the building material siding with hardie board.
- Only 6-8" of the foundation maximum should be exposed.
- Optional masonry band requested along the rear façade.
- Stack the four north façade windows so they are in a line.
- Add two windows on the north façade where the garage is located.
- Break up the roofline or setback the siding so the façade has a less harsh defined line where the building materials meet on the north façade.

Ayes: J. Plunkett; A. Roiter; M. Akins; J. Marshall; J. Sylvester; L. Mikolajczak

Nays: None

Absent: None

OTHER BUSINESS

No other business was discussed. The next scheduled Architectural Commission meeting is for September 19, 2022 7:00 P.M.

ADJOURNMENT

With no further business, a motion to adjourn the meeting was made by Commissioner Marshall, seconded by Commissioner Roiter.

Ayes: J. Marshall; A. Roiter; J. Plunkett; J. Sylvester; M. Akins; L. Mikolajczak

Nays:

Absent:

Meeting Adjourned at 8:36 p.m.

Respectfully Submitted,

Jessica Marvin
Associate Planner

AC-14-2022
7213 Daybreak Lane



ARCHITECTURAL COMMISSION STAFF REPORT

To: Jeanne Sylvester, Chair
Architectural Commission Members

From: Taylor Wegrzyn, Community Development Services

Subject: 7213 Daybreak Lane

Requests: New Single-Family Residence

Public Meeting Date: September 19, 2022

Attachments:

1. Petitioner's Application
2. Location Map
3. Current Architectural Standards
4. Previous Zoning Code Sections 5-20 and 5-22

PETITIONER Winter Bunnies 24 LLC
1600a Vermont Drive
Elk Grove Village, IL 60007

REQUEST

Review of material and design of a new single-family residence at 7213 Daybreak Lane.

HISTORY

In 2001, the Village of Long Grove entered into a Settlement Agreement with the owner of a 113.5-acre property which would eventually become the Ravenna subdivision. This Settlement Agreement stipulated that the property would be zoned R-3 Single Family Residential and developed as a planned unit development. In accordance with the Agreement, a final PUD for the Ravenna subdivision was approved on September 14, 2004 and included a provision that all new homes would require approval by the Architectural Commission.

Most of the 133 lots in the subdivision were developed between 2006-2014. Of these lots, fifteen (15) remain unimproved including the Subject Property at 7213 Daybreak Lane. Two other homes within the subdivision have appeared before the Architectural Commission this year (7234 Roxbury Court and 7237 Greywall Court).

The Concord Homes' Ravenna Planned Unit Development requires that all new buildings in the subdivision comply with section 5-20-1 of the Long Grove Zoning Code (2004 edition):

Section 5-20-1 of the 2004 Long Grove Zoning Code

Prohibition, Criteria: No building permit shall be issued for any new building or for remodeling or alteration of an existing building which if erected, remodeled or altered would produce one or more of the harmful effects set forth in section 2-3-1 of this code. In awning, sign, fence, or other structure will produce one or more of the harmful effects set forth in section 2-3-1 of this code, the architectural board shall consider whether there exists one or more of the following:

- A. *Excessive similarity or dissimilarity in design in relation to any other structure existing or for which permit has been issued within a distance of one thousand feet (1,000') of the proposed site or in design generally prevailing in the area in respect to one or more of the following features:*
 1. *Apparently identical façade.*
 2. *Substantially identical size and arrangement of either doors, windows, porticoes or other openings or breaks in the façade facing the street, including a reverse arrangement thereof.*
 3. *Cubical contents.*
 4. *Gross floor area.*
 5. *Other significant design features, such as but not limited to, roofline, height of building, construction or quality of architectural design; or*
 6. *Location and elevation of building upon the site in relation to contiguous properties.*

- B. *Inappropriateness in relation to any other property in same or any adjoining district of design, landscaping, building material, and use thereof, orientation to site, or placement of parking, storage or refuse areas.*

PROPOSED PROJECT

Winter Bunnies 24 LLC is proposing a 3,500 square foot, single-family residence. The Subject Property is located at 7213 Daybreak Lane: a 12,159 square foot lot within the Ravenna subdivision. The proposed structure is two-stories (~30ft) in height with a hip roof. It includes a three-car garage in which one double-wide overhead door faces the south and a second, single-wide door faces the front of the lot (west). The second garage door is recessed 20 feet from the front of the home. The rear of the home prominently features a 17'6"x12' covered patio with Tuscan columns, pendant wall lights, and arched glass double doors. The exterior of the home is treated with a white brick veneer from the ground level up to the eaves.

Materials of the two-story home include:

- Facades:
 - Brick Veneer (white) on all four sides, from ground to the frieze board
 - Cut Limestone entryway
- Roof:
 - Architectural Asphalt Shingles or "Per Covenants"
 - 10:12 pitch roof slope
- Aluminum gutters and downspouts
- Front Windows:
 - Stucco headers with keystones
 - 7" stucco sills
- Rear and Side Windows:

- Brick soldier courses
- 4" stone sills on rear and side windows

The proposed residence incorporates a variety of rectangular windows on all façades. Windows on the ground floor of the front façade are up to seven feet in height and significantly contribute to the architectural style of the building. The windows, window molding, limestone entryway, and white brick come together to create a modern take on traditional French Chateau architecture.

The residences along Daybreak Lane all use similar materials such as: brick veneer, vinyl siding, natural stone, and asphalt shingles. Some of the homes feature shake shingles, turrets, and eave brackets. Most of these homes use natural-colored stone, red brick, and neutral-colored vinyl, however, there are some examples of grey, blue, and yellow color palettes in the neighborhood. Gable roofs and dormer windows are also prevalent in the neighborhood. The proposed residence is relatively unique in comparison to these homes due to its use of white brick and a hip roof.

ARCHITECTURAL COMMISSION DECISION

The AC should review the single-family residence against the anti-monotony regulations and render a determination based upon those criteria as well as the appropriateness of the new single-family residence at this location in relation to other residences in the area. An excerpt from the Long Grove Zoning Ordinance "Residential Chapter" and an excerpt from the 2004 Zoning Code, both regarding the anti-monotony regulations, are included for consideration by the Commission.

STAFF RECOMMENDATION

The AC should consider whether the materials used, and overall design of the proposed structure aligns with the character of new construction projects for the Village of Long Grove. The AC should also comment on the overall design as presented. The comments of the AC will be taken into consideration with any other required action.

The subdivision is subject to all standards within the Ravenna East Planned Unit Development Ordinance. Staff have reviewed the proposed structure against these standards and have determined that it conforms to the Ordinance. This includes compliance with Section 5-20-1 of the 2004 Zoning Code referenced earlier in this report.

The residence utilizes more than four (4) techniques to differentiate houses in the Ravenna of Long Grove neighborhood as required by the anti-monotony regulations. These techniques include different floor plan, roof orientation, architectural style, and architectural details. For these reasons, the proposed home satisfies the intent of the Village's anti-monotony standards. While the structure is dissimilar to the existing homes in a variety of ways, it still maintains a consistency with the style of the neighborhood through its use of brick, over-sized windows, lentils, and recessed garage. The Commission should consider whether the proposed structure delivers an acceptably similar style and quality to that of the existing homes in the subdivision.

TW



**STRUCTURE/FIXTURE
ARCHITECTURAL COMMISSION APPLICATION**

DATE:

APPLICANT'S NAME:

E-MAIL angie_wozniak@yahoo.com

ADDRESS: 7213 Daybreak Lane, Long Grove Illinois 60060 PHONE: 312 608 3560

NAME OF BUSINESS: Winter Bunnies 24 LLC

BUSINESS ADDRESS: 1600a Vermont Drive , Elk Grove Village Illinois 60007 PHONE: 717 379 6979

TYPE OF STRUCTURE/FIXTURE: Single Family Home

1. LOCATION OF STRUCTURE/FIXTURE ON PROPERTY:

- A. PROVIDE SITE PLAN.
- B. PROVIDE PHOTOGRAPH OF SITE.
- C. SQUARE FOOTAGE OF STRUCTURE 3500 SQUARE FEET.

2. DRAWING OF PLANNED STRUCTURE/FIXTURE:

- A. DIMENSIONS.
- B. ELEVATIONS (ALL DIRECTIONS).
- C. LIST MATERIALS TO BE USED/SAMPLE OF COLORS.

3. NAME, ADDRESS, AND PHONE NUMBER OF FIRM ERECTING OR MANAGING STRUCTURE:

Winter Bunnies 24 LLC PHONE: 312 608 3560

1600 a Vermont Drive , Elk Grove Village Illinois 60007 E-MAIL angie_wozniak@yahoo.com

The property owner's signature is required below before any application may be processed. It is understood by the property owner(s) that he or she has read and understands the regulations governing the commercial property under this application in the Village of Long Grove, accepts and is liable for any corrections or modifications required to meet the standards of the Village, and further approves the work to be done on their property.

Winter Bunnies 24 LLC

Angelica and Nikolay Kitanov

BUSINESS OWNER(S)

Winter Bunnies 24 LLC

Angelica and Nikolay Kitanov

PROPERTY OWNER(S)

APPLICATION APPROVAL: _____ DATE: _____

WINTER BUNNIES 24 LLC

Building Proposal for New Construction Home in Ravenna Community
7213 Daybreak Lane, Long Grove 60060 Illinois

Based on the project plans through of the review of the property , we have developed this proposal. Our total cost for this project will be \$600,000. Please see breakdown below :

MATERIALS :

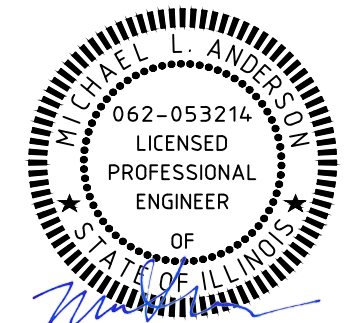
- Concrete foundation
- Framing material
- Exterior brick
- Roofing
- Windows
- HVAC
- Plumbing
- Electric
- Insulation
- Drywall
- Driveway

COSTS :

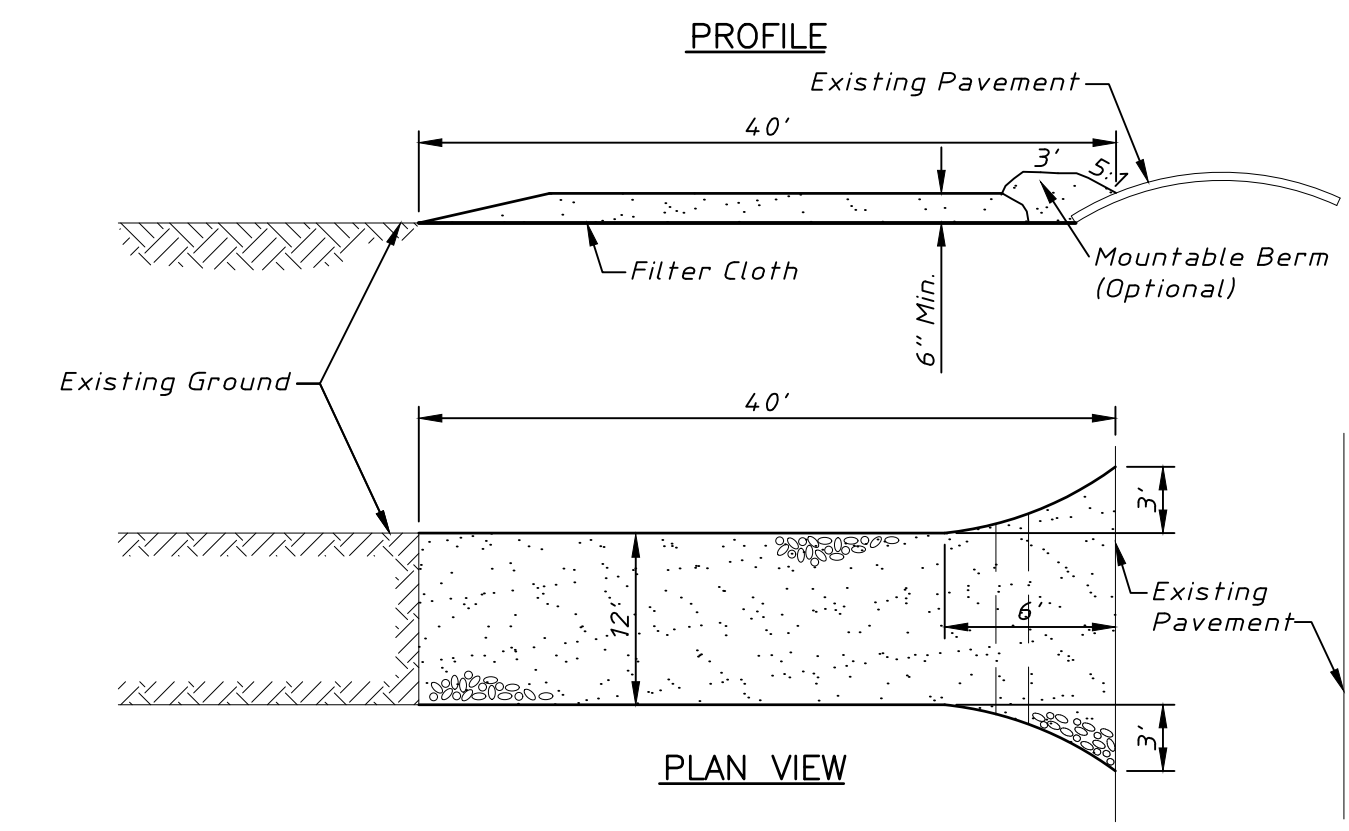
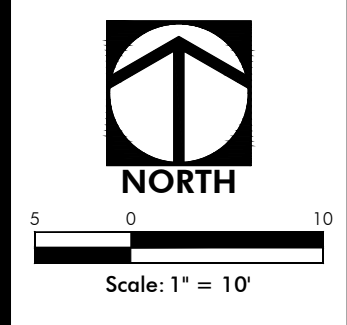
- | | |
|--------------|------------|
| • MATERIAL : | \$ 380,000 |
| • LABOR : | \$ 200,000 |
| • OTHERS: | \$ 20,000 |

TOTAL COST : \$ 600,000

WINTER BUNNIES 24 LLC Angelica and Nikolay Kitanov
1600a Vermont Drive , Elk Grove Village 60007 Illinois
Phone number : 312 608 3560



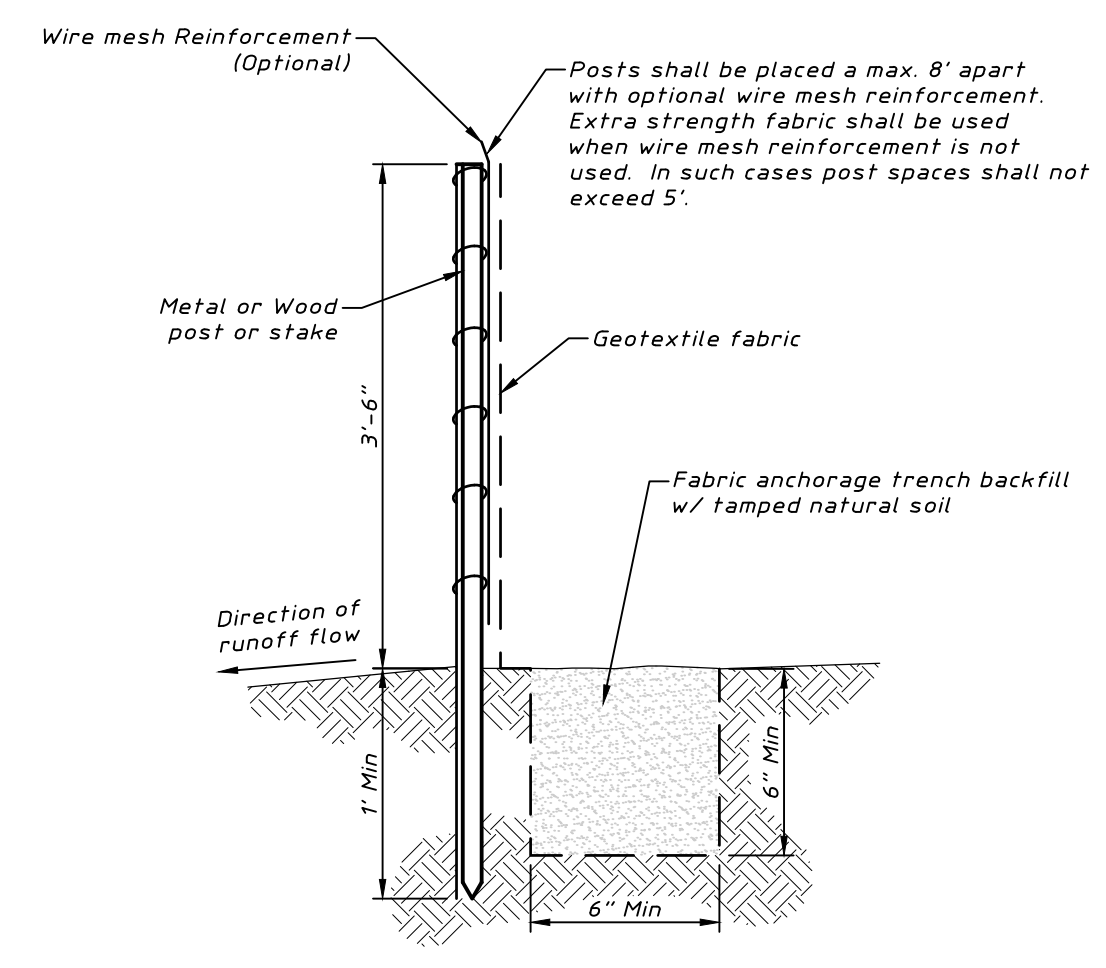
EXPIRES 11-30-23



CONSTRUCTION SPECIFICATIONS:

1. Stone Size - Use 2" stone, or reclaimed or recycled concrete equivalent.
2. Length - As required, but not less than 40 feet.
3. Thickness - Not less than six (6) inches.
4. Width - Twelve (12) feet minimum, but not less than the full width at points where ingress or egress occurs.
5. Filter Cloth - Will be placed over the entire area prior to placing of stone. Filter will not be required on a single family residence lot.
6. Surface Water - All surface water flowing or diverted toward construction entrances shall be piped across the entrance. If piping is impractical, a moundable berm with 5:1 slopes will be permitted.
7. Maintenance - The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand and repair and/or cleanout of any measures used to trap sediment. All sediment spilled, dropped, washed or tracked onto public rights-of-way must be removed immediately.
8. Washing - Wheels shall be cleaned to remove sediment prior to entrance onto public rights-of-way. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.
9. Periodic inspection and needed maintenance shall be provided after each rain.

STABILIZED CONSTRUCTION ENTRANCE



LEGEND

- Manhole
- Valve Vault
- B-Box
- Storm Sewer Atlas
- Sanitary Sewer Atlas
- Water Main Atlas
- Electrical Pedestal
- Telephone Pedestal
- Cable TV Pedestal
- Curb & Gutter
- Depressed Curb
- Curb Elevation and Pavement Elevation
- Sidewalk Elevation
- Ground Elevation
- Contour Line
- Deciduous Tree
- B.S.L.
- Building Setback Line
- Record

NOTES: Depending upon configuration, attach fabric to wire mesh w/ hog rings, steel posts w/ tie wires, wood posts w/ nails.

SILT FENCE

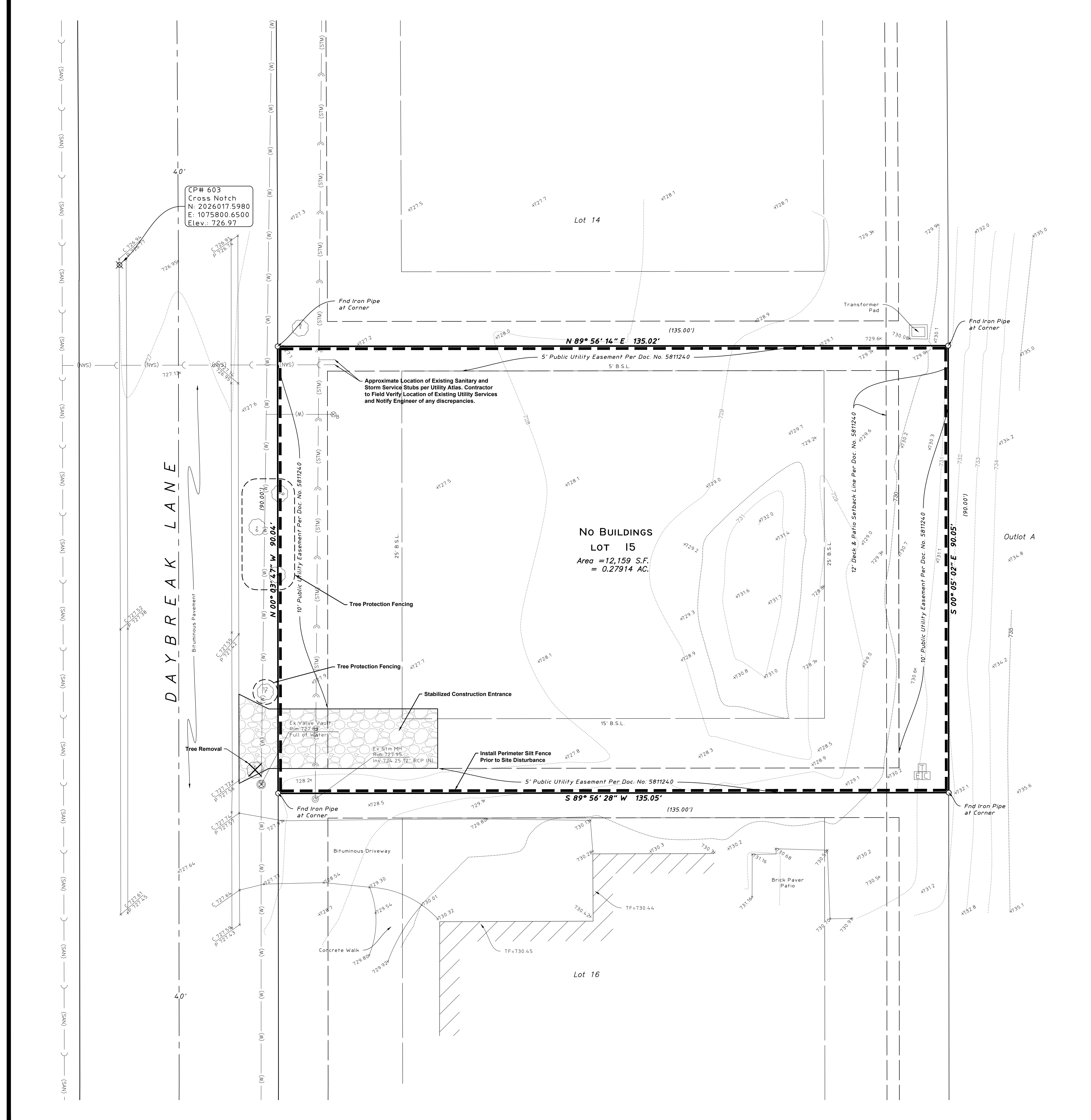
LEGAL DESCRIPTION

LOT 15 IN PLANNED UNIT DEVELOPMENT RAVENNA EAST ONE, BEING A SUBDIVISION OF PART OF GOVERNMENT LOT 1 IN THE SOUTHWEST QUARTER OF SECTION 6, TOWNSHIP 43 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 5, 2005 AS DOCUMENT NUMBER 5811240, IN LAKE COUNTY, ILLINOIS.

Benchmark	
Site Benchmark	
CP # 603 (see survey)	
Description: Cross Notch	
Elevation: 726.97	NAVD 88 (Geoid 12A)



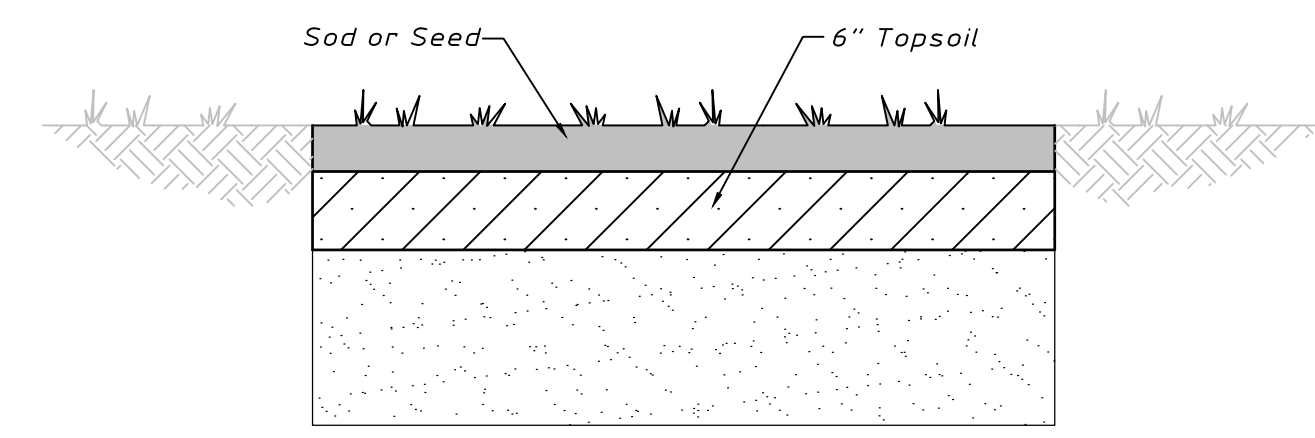
Note: Call 811 at least 48 hours, excluding weekends and holidays, before you dig.



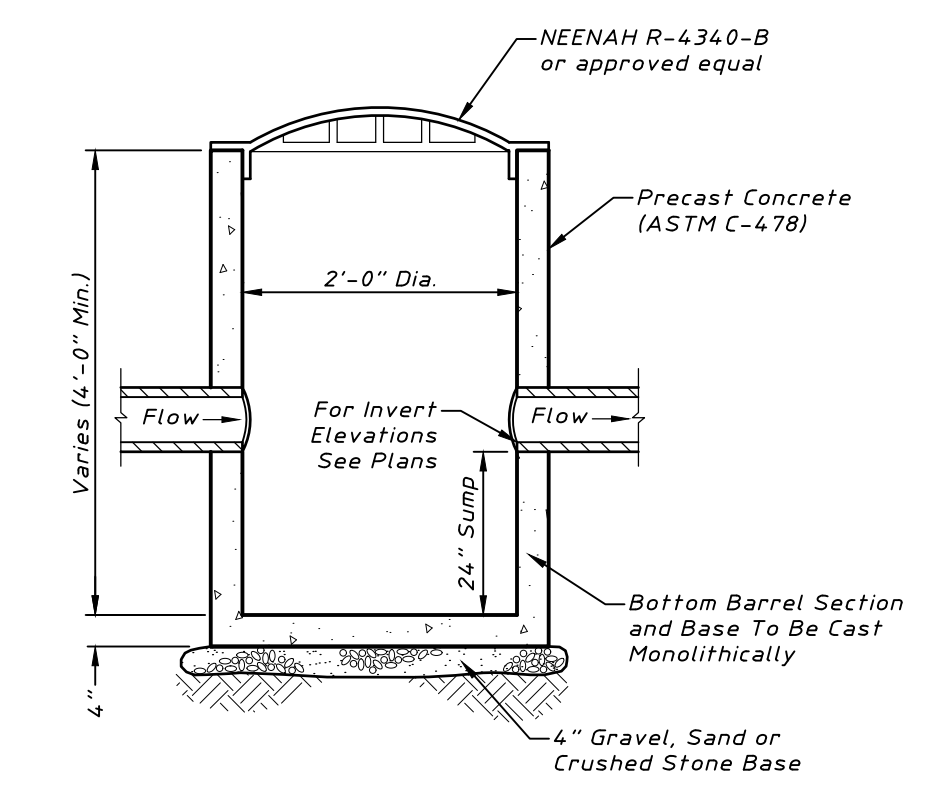
HAEGER ENGINEERING
consulting engineers • land surveyors
100 East State Parkway, Schaumburg, IL 60173 • Tel: 847.394.6600 Fax: 847.394.6698
Illinois Professional Design Firm License No. 184-003152
www.haegerengineering.com

EXISTING CONDITIONS & DEMOLITION PLAN
7213 DAYBREAK LANE
SINGLE-FAMILY RESIDENCE
VILLAGE OF LONG GROVE, LAKE COUNTY, ILLINOIS

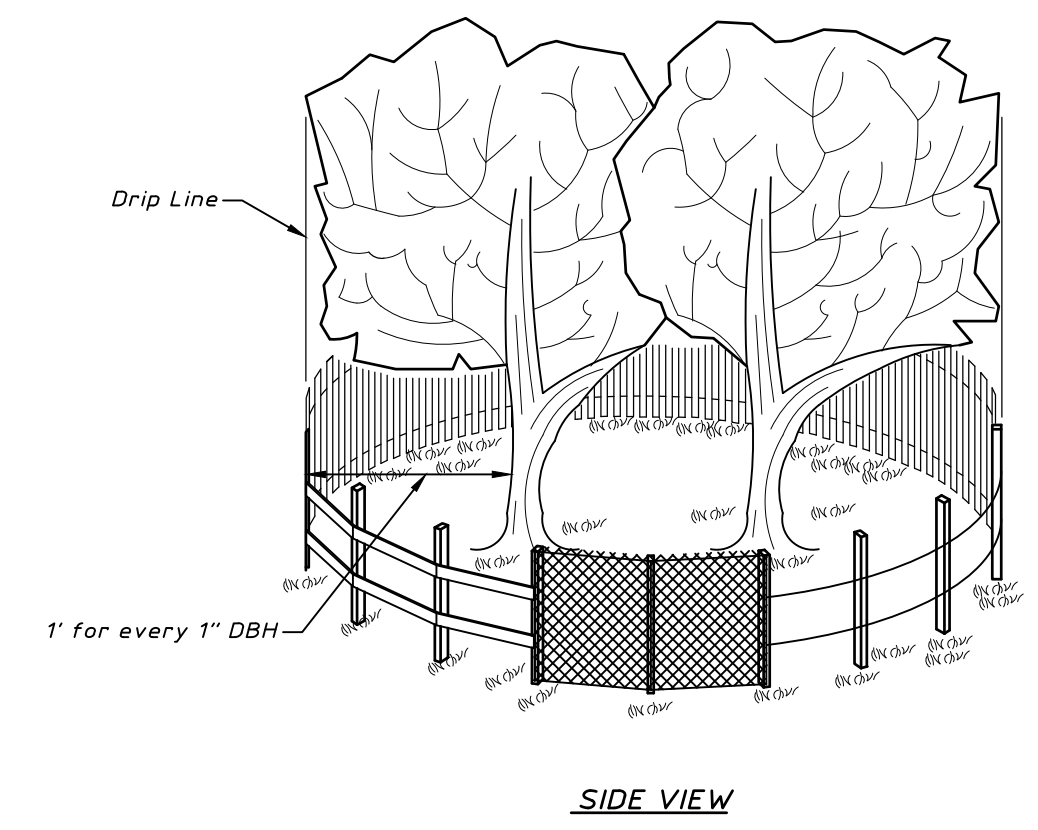
Project Manager: M.L.A.
Engineer: M.D.M.
Date: 01.04.2022
Project No. 21-284
Sheet 1/2



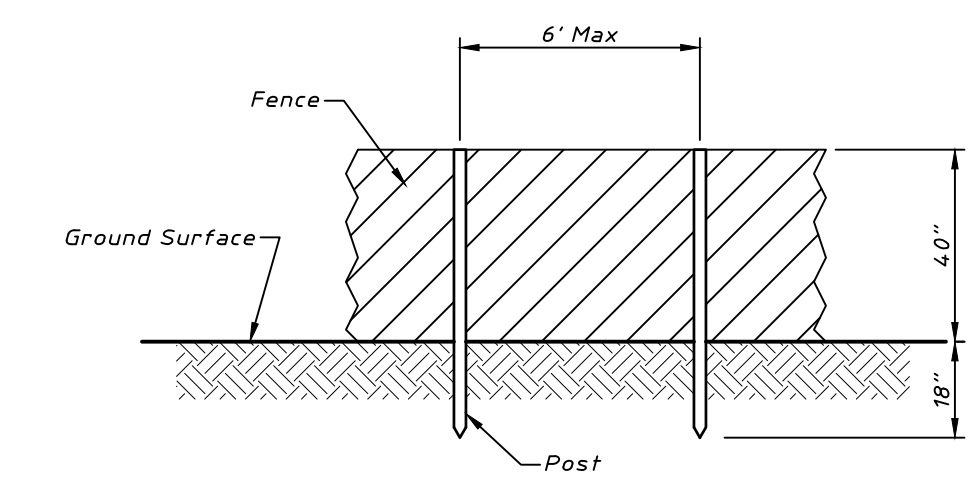
LANDSCAPING RESTORATION



CATCH BASIN - TYPE C



SIDE VIEW



POST AND FENCE DETAIL

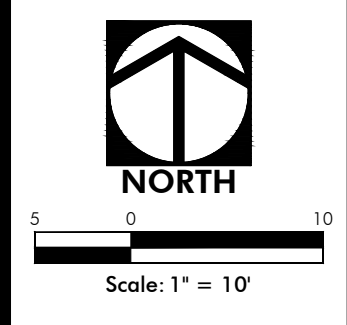
- NOTES:**
- The fence shall be located outside the drip line of the tree to be saved and in no case closer than 1 foot for every 1" DBH to the trunk of any tree.
 - Fence posts shall be either standard steel posts or wood posts with a minimum cross sectional area of 3.0 sq. in.
 - The fence may be either 40" high snow fence, 40" plastic web fencing or any other material as approved by the engineer.

TREE PROTECTION - FENCING

Proposed Coverage Summary

	Area (Sq. Ft.)	Area (Ac.)	C-Factor	%
House, Garage, and Covered Patio	2,980	0.068	0.95	25%
Driveway	810	0.019	0.95	7%
Sidewalks & Hardscapes	430	0.010	0.95	4%
Impervious Area	4,220	0.097	0.95	35%
Pervious Area	7,939	0.182	0.50	65%
Total Area	12,159	0.279	0.66	100%

- LEGEND**
- Catch Basin
 - Clean Out
 - Storm Sewer
 - Sanitary Sewer Service
 - Water Main Service
 - Sump Pump Discharge
 - B-Box
 - ▲ Pop-Up Emitter
 - ▬ Depressed Curb
 - ▬ Curb Elevation and Gutter/Pavement Elevation
 - ▬ Pavement Elevation
 - ▬ Sidewalk Elevation
 - ▬ Ground Elevation
 - ▬ Open Lid Frame & Grate
 - ▬ Finish Grade
 - ▬ Garage Floor
 - ▬ Top of Foundation
 - ▬ Softscape Flow
 - ▬ Contour Line
 - ▬ Bituminous Pavement
 - ▬ Concrete



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 100 East State Parkway, Schaumburg, IL 60173 • Tel: 847.394.6600 Fax: 847.394.6608
 Illinois Professional Design Firm License No. 184-003152
 www.haegerengineering.com

PROPOSED CONDITIONS
7213 DAYBREAK LANE
SINGLE-FAMILY RESIDENCE
 VILLAGE OF LONG GROVE, LAKE COUNTY, ILLINOIS

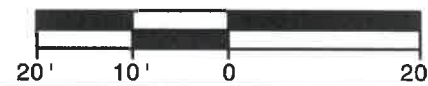
Project Manager: M L A
 Engineer: M D M
 Date: 01.06.2022
 Project No. 21-284
 Sheet

LEGEND

A = ASSUMED
 C = CALCULATED
 CH = CHORD
 CL = CENTERLINE
 D = DEED
 E = EAST
 F.I.P. = FOUND IRON PIPE
 F.I.R. = FOUND IRON ROD
 FT. = FEET/FOOT
 L = ARC LENGTH
 M = MEASURED
 N = NORTH
 NE = NORTHEAST
 NW = NORTHWEST
 P.O.B. = POINT OF BEGINNING
 P.O.C. = POINT OF COMMENCEMENT
 R = RECORD
 RAD = RADIUS
 R.O.W. = RIGHT OF WAY
 S = SOUTH
 S.I.P. = SET IRON PIPE
 S.I.R. = SET IRON ROD
 SE = SOUTHEAST
 SW = SOUTHWEST
 W = WEST

PLAT OF SURVEY

OF



BASIS OF BEARING:
 EAST LINE OF DAYBREAK LANE AS FOUND
 MONUMENTED AND OCCUPIED PER RECORD
 SUBDIVISION.
 N 00°03'29" W (R)

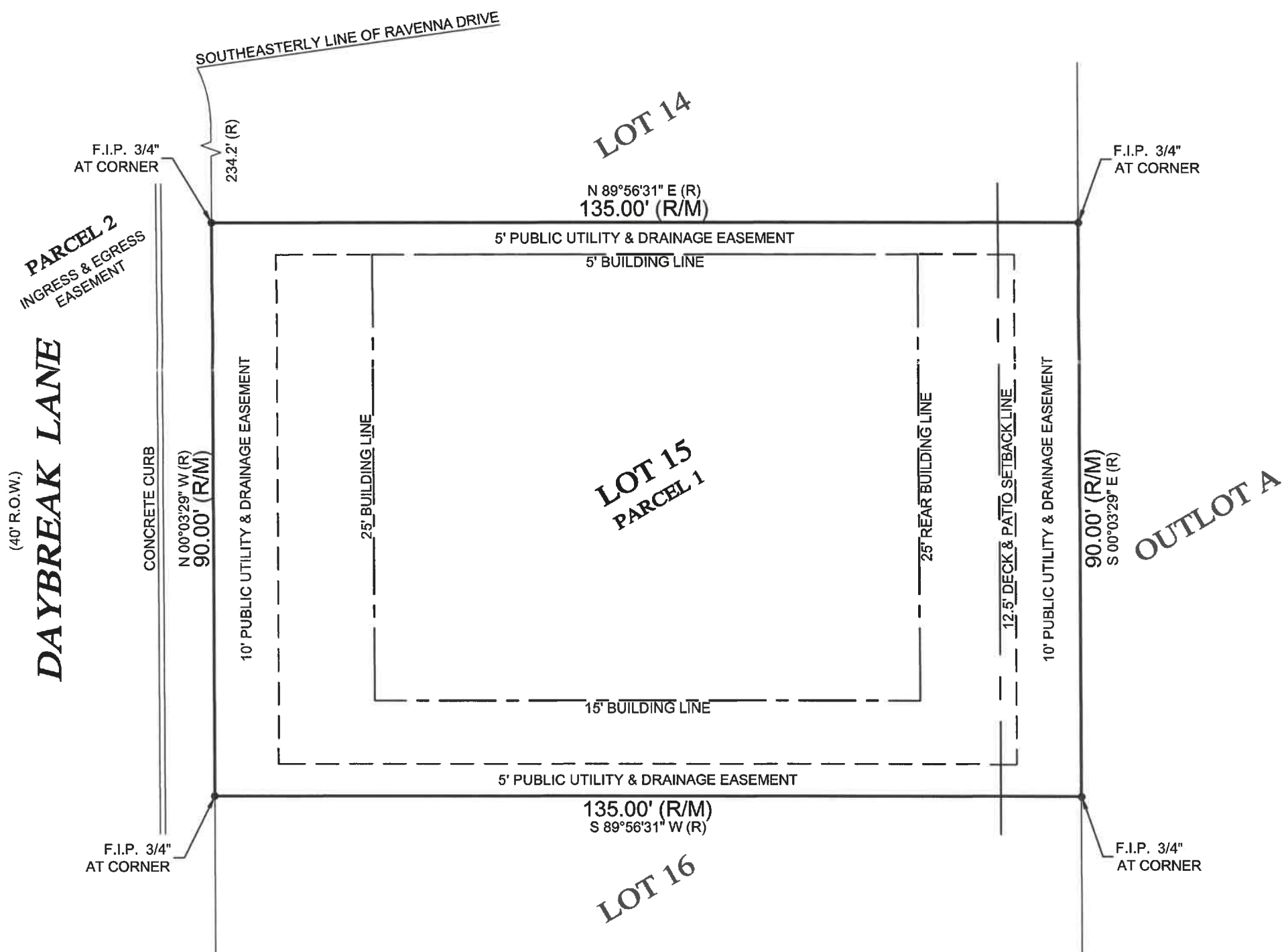
PARCEL ONE: LOT 15 IN P.U.D. RAVENNA EAST ONE, BEING A RESUBDIVISION OF PART OF GOVERNMENT LOT 1 IN BRAEBURN-WEST IN THE SOUTHWEST 1/4 OF SECTION 6, TOWNSHIP 43 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF SAID P.U.D. RAVENNA EAST ONE RECORDED JULY 6, 2005 AS DOCUMENT NO. 5811240 AND CERTIFICATE OF CORRECTION THERETO RECORDED AUGUST 2, 2005 AS DOCUMENT NO. 5827925 ALL IN LAKE COUNTY, ILLINOIS.

PARCEL TWO: EASEMENT FOR INGRESS AND EGRESS FOR THE BENEFIT OF PARCEL ONE OVER PRIVATE ROAD(S) IN SAID RAVENNA EAST ONE, AFORESAID, AS CREATED BY SECTION 2.05 OF DECLARATION RECORDED JULY 18, 2005 AS DOCUMENT NO. 5817846, IN LAKE COUNTY, ILLINOIS.

PARCEL THREE: EASEMENT FOR INGRESS AND EGRESS FOR THE BENEFIT OF PARCEL ONE OVER PRIVATE ROAD(S) IN RAVENNA EAST TWO RECORDED JULY 6, 2005 AS DOCUMENT NO. 5811241 AND IN RAVENNA EAST THREE RECORDED JULY 6, 2005 AS DOCUMENT NO. 5811242 AND AS CREATED BY SECTION 2.05 OF DECLARATION RECORDED JULY 18, 2005 AS DOCUMENT NO. 5817846, IN LAKE COUNTY, ILLINOIS.

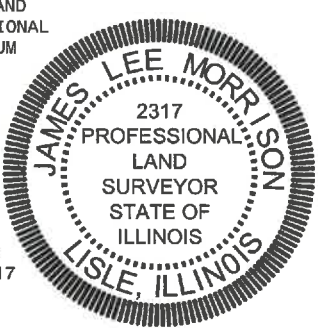
AREA OF SURVEY:

"CONTAINING 12,150 SQ. FT. OR 0.27 ACRES MORE OR LESS"



Morris Engineering, Inc.
 515 Warrenville Road, Lisle, IL 60532
 Phone: (630) 271-0770
 FAX: (630) 271-0774
 WEBSITE: WWW.ECIVIL.COM

STATE OF ILLINOIS }
 COUNTY OF DUPAGE }
 I, THE UNDERSIGNED, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT "THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY," AND THAT THE PLAT HEREON DRAWN IS A CORRECT REPRESENTATION OF SAID SURVEY.
 DATED, THIS 9TH DAY OF SEPTEMBER, A.D., 2021, AT LISLE, ILLINOIS.
J. Lee Morrison
 ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035-2317
 LICENSE EXPIRATION DATE NOVEMBER 30, 2022
 ILLINOIS BUSINESS REGISTRATION NO. 184-001245



NOTE:
 1. ALL TIES SHOWN ON THIS SURVEY ARE MEASURED TO THE BUILDING'S SIDING (BRICK, FRAME, STUCCO, METAL, ETC.) AND NOT TO THE FOUNDATION, UNLESS NOTED OTHERWISE.
 2. ROOF LINES AND OVERHANGS ARE TYPICALLY NOT SHOWN HEREON.
 3. COMPARE ALL DISTANCES AND POINTS IN FIELD AND REPORT ANY DISCREPANCIES TO SURVEYOR AT ONCE.
 4. NO DIMENSIONS SHALL BE ASSUMED BY SCALING.

ADDRESS COMMONLY KNOWN AS 7213 DAYBREAK LANE
 LONG GROVE, ILLINOIS

CLIENT TENENBAUM LAW GROUP

FIELDWORK DATE (CREW) 09/03/2021 (MM/JB)
 DRAWN BY: RE.S. REVISED: JOB NO. 21-09-0015

2018 IECC COMPLIANCE REQUIREMENTS AS AMENDED BY THE STATE OF ILLINOIS

1. A PERMANENT IDENTIFIER SHALL BE COMPLETED AND POSTED ON THE ELECTRICAL PANELS OF ALL NEW INSTALLATIONS. THE IDENTIFIER SHALL BE A PERMANENT IDENTIFIER (PANEL IDENTIFICATION TAG) THAT IS EASILY ACCESSIBLE TO THE ELECTRICAL CONTRACTOR AND THE ELECTRICAL INSPECTOR. THE IDENTIFIER SHALL BE A PERMANENT IDENTIFIER (PANEL IDENTIFICATION TAG) THAT IS EASILY ACCESSIBLE TO THE ELECTRICAL CONTRACTOR AND THE ELECTRICAL INSPECTOR.

2. ALL ELECTRICAL PANELS SHALL BE INSTALLED IN A LOCATION THAT IS EASILY ACCESSIBLE TO THE ELECTRICAL CONTRACTOR AND THE ELECTRICAL INSPECTOR. THE PANEL SHALL BE INSTALLED IN A LOCATION THAT IS EASILY ACCESSIBLE TO THE ELECTRICAL CONTRACTOR AND THE ELECTRICAL INSPECTOR.

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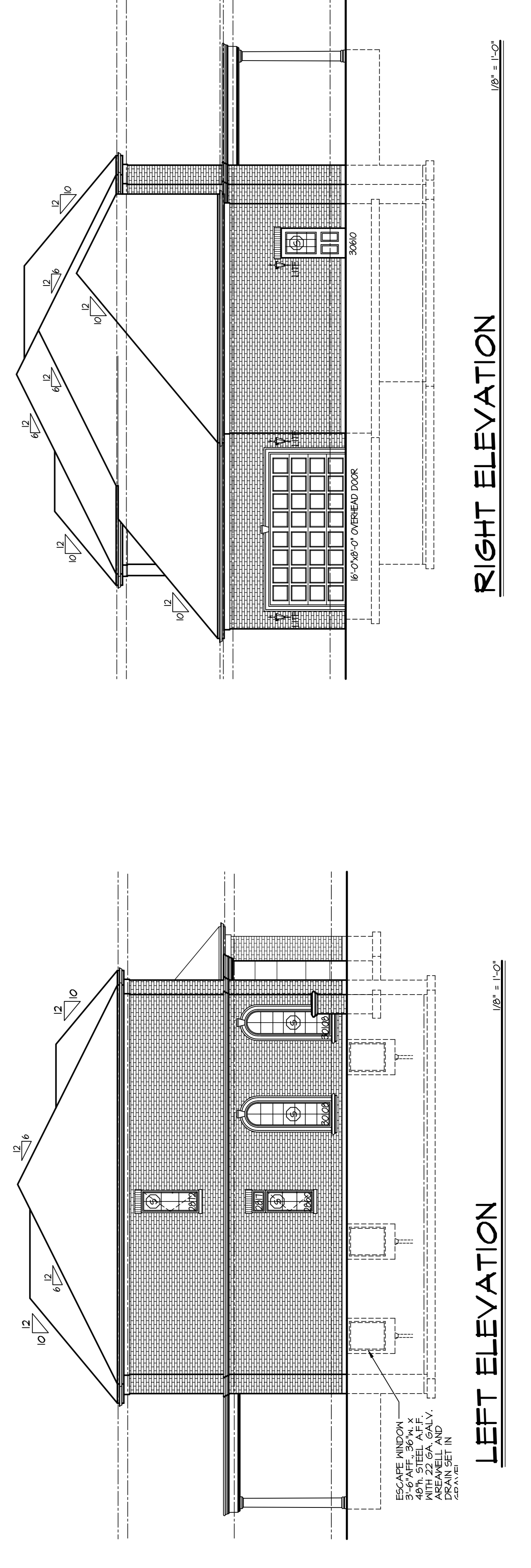
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REAR ELEVATION
REFER TO SHEET A-1 FOR ELEVATION NOTES

LEFT ELEVATION

RIGHT ELEVATION

ELEVATIONS

APP'D: PKG
CHECKED: PKG
DRAWN: SB, AFE
DATE: 10/22/18
PROJ. NO: 2018091
PREV. NO: (04097)

WKSOLSON ARCHITECTS INC.
1434 Town Center Dr.
Hoffman, Illinois 60491
Tel: (708) 301-6111
Fax: (708) 301-2503
www.wksolson.com

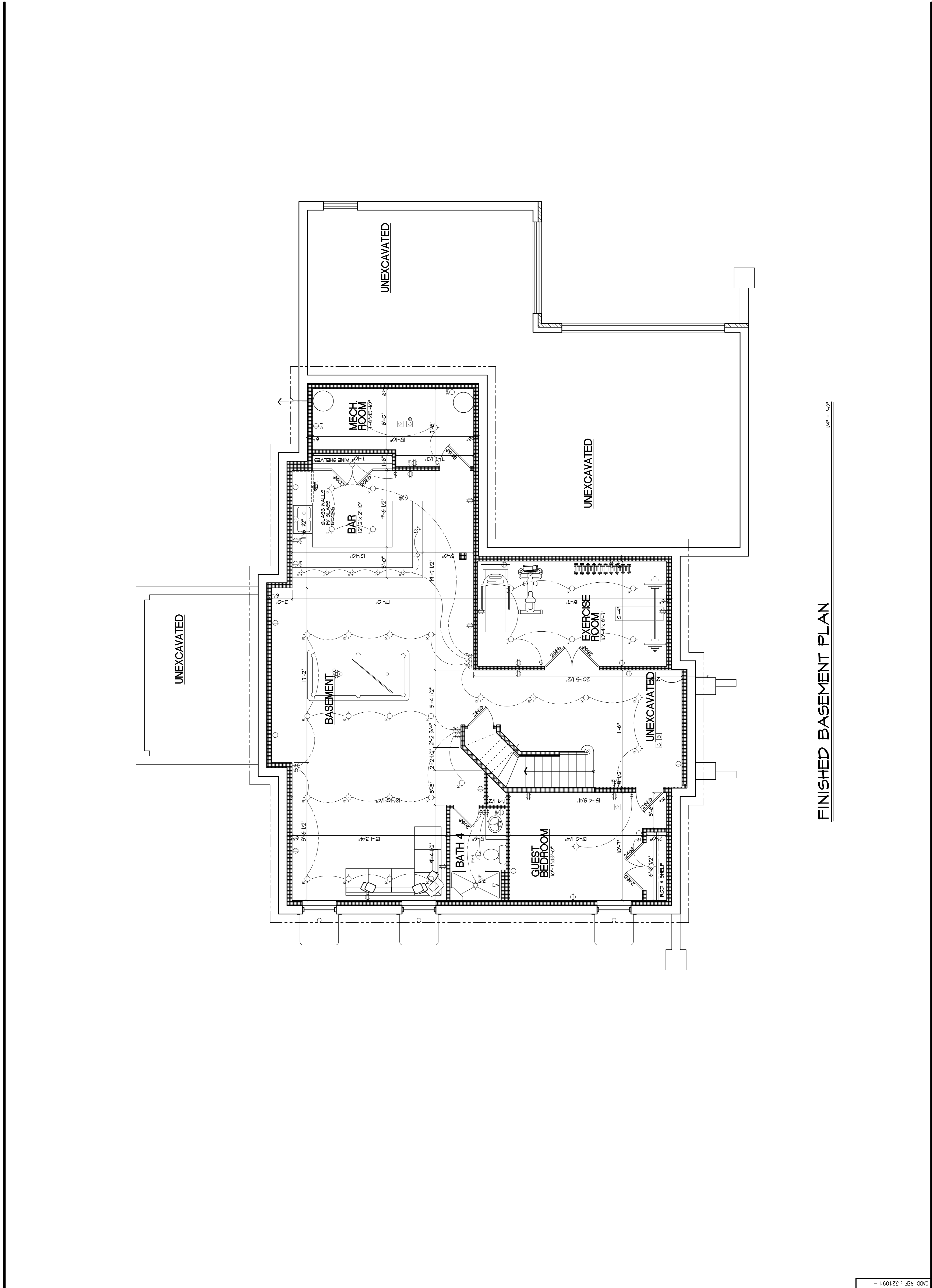
THE WOZNAK RESIDENCE
1213 DAY BREAK LANE
LONG GROVE, ILLINOIS

SHEET NUMBER **A-2**
OF 8

REVISIONS

A

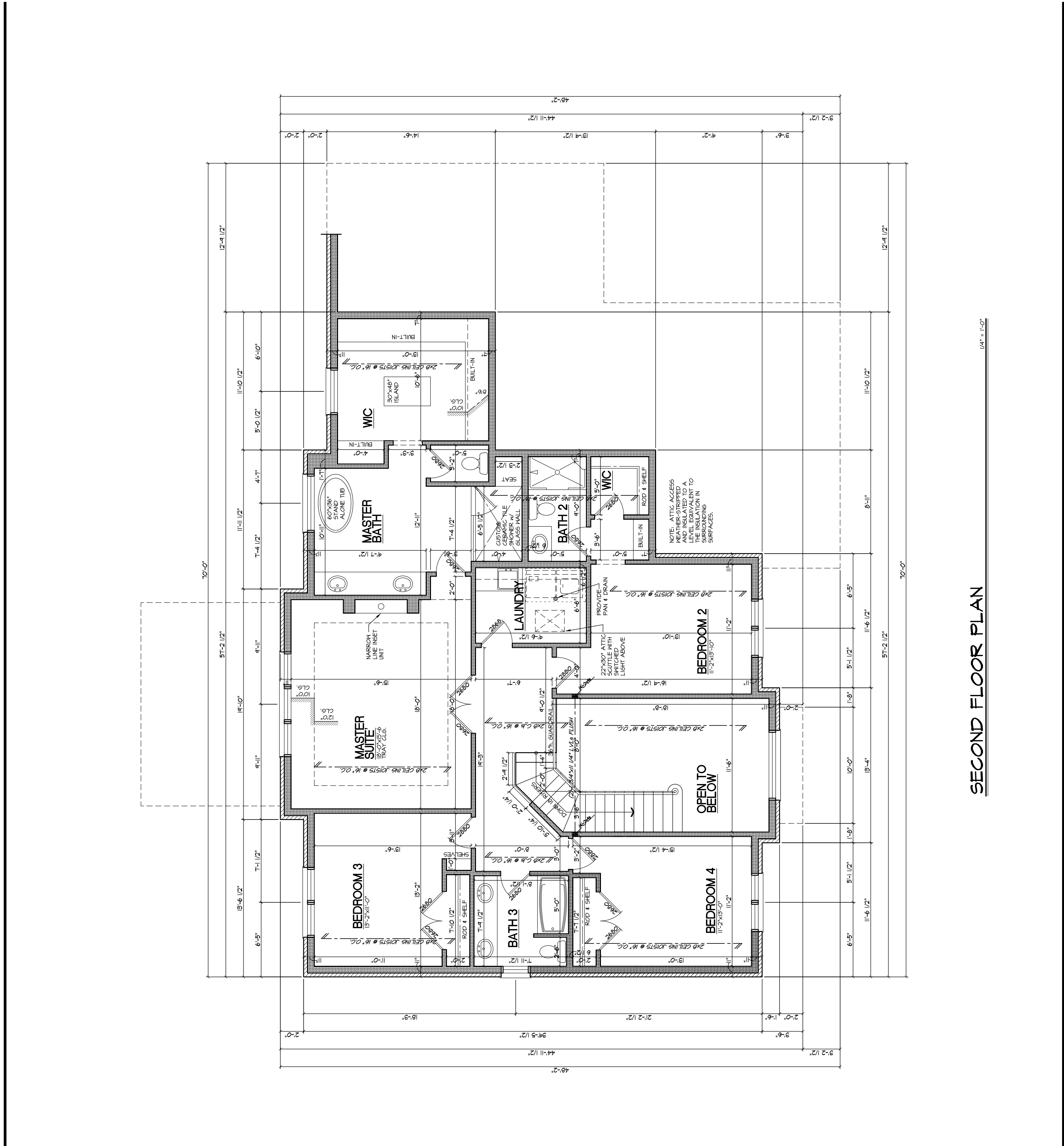
REVISIONS		WKO OLSON ARCHITECTS INC. 14324 Town Center Dr. Homer Glen, Illinois 60439 P: (708) 301-2503 F: (708) 301-2503 wkoarch@aol.com	CUSTOM HOME FOR THE MOZNAK RESIDENCE 1213 DAY BREAK LANE LONG GROVE ILLINOIS
	APP'D: PKG CHECKED: PKG DRAWN: SB, PFE DATE: 10/22/11 PROJ. NO. 33029 PREV. NO. (64697)	FINISHED BASEMENT PLAN	SHEET NUMBER A-30a OF 3
	UNEXCAVATED		
	UNEXCAVATED		
	UNEXCAVATED		



FINISHED BASEMENT PLAN

10/22/11

REVISIONS	<p>CUSTOM HOME FOR THE WOZNAK RESIDENCE 1213 DAY BREAK LANE LONG GROVE, ILLINOIS</p>	<p>WKO ARCHITECTS 14326 Town Center Dr. Hoffert Glen, Illinois 60491 Tel: (708) 301-6111 Fax: (708) 301-2503 www.wkoarchitects.com</p>	<p>SECOND FLOOR PLAN</p>		<p>APP'D: PKG CHECKED: PKG DRAWN: SB, PK, ES DATE: 10/22/19 PROJ. NO. 330291 PREV. NO. (64697)</p>	<p>SHEET NUMBER A-5 OF 8</p>
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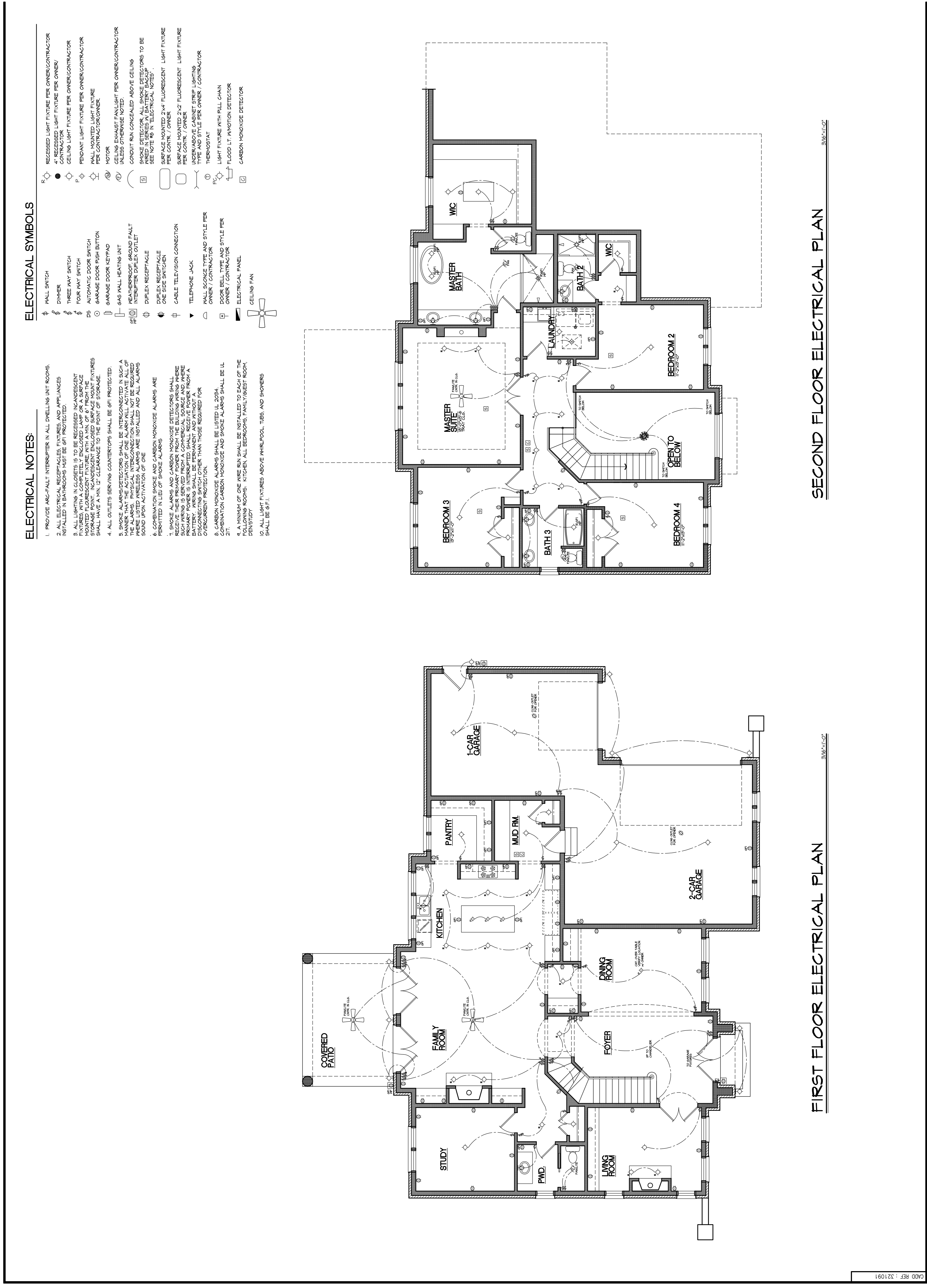
FRAMING NOTES: DEAD LOAD 10W/SF.
 1. US UNIFORM CODE FOR LATHING AND FINISHES SHALL APPLY TO THE ENTIRE FLOOR UP TO 12" ABOVE FINISH FLOOR.
 2. ALL JOISTS SHALL BE SPACED AT 16" O.C. UNLESS OTHERWISE NOTED.
 3. ALL JOISTS SHALL BE SPACED AT 16" O.C. UNLESS OTHERWISE NOTED.
 4. ALL JOISTS SHALL BE SPACED AT 16" O.C. UNLESS OTHERWISE NOTED.
 5. ALL JOISTS SHALL BE SPACED AT 16" O.C. UNLESS OTHERWISE NOTED.
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 9. ALL JOISTS SHALL BE SPACED AT 16" O.C. UNLESS OTHERWISE NOTED.
 10. ALL JOISTS SHALL BE SPACED AT 16" O.C. UNLESS OTHERWISE NOTED.

GENERAL NOTES
 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT AND ENGINEERED PROFESSIONAL KNOWLEDGE IN ALL CONSTRUCTION AND FINISHES.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT AND ENGINEERED PROFESSIONAL KNOWLEDGE IN ALL CONSTRUCTION AND FINISHES.
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 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT AND ENGINEERED PROFESSIONAL KNOWLEDGE IN ALL CONSTRUCTION AND FINISHES.

LVL FASTENING SCHEDULE
 MINIMUM UNIFORM LOAD APPLIED TO LVL (GRADE PER UNIFORM CODE)
 1. LVL FASTENING SCHEDULE
 2. LVL FASTENING SCHEDULE
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 8. LVL FASTENING SCHEDULE
 9. LVL FASTENING SCHEDULE
 10. LVL FASTENING SCHEDULE

SECOND FLOOR PLAN

REVISIONS	<p>1326 YORK CENTER DR HOMER GLEN, ILLINOIS 60439 WKS@WKSARCHITECTS.COM TEL: (708) 301-6111 FAX: (708) 301-2503 E-MAIL: E-MAIL</p>	<p>WKS ARCHITECTS INC.</p>	<p>1213 DAY BREAK LANE LONG GROVE ILLINOIS</p>	<p>APP'D: PKG CHECKED: PKG DRAWN: SB, P, KE DATE: 10/22/11 PROJ. NO: 310291 PREV. NO: (64697)</p>	<p>EXPERIMENTAL ILLINOIS STATE BOARD OF EXAMINERS OF ELECTRICAL ENGINEERS NO. 010000010</p>	<p>ELECTRICAL FLOOR PLANS</p>	<p>THE WOZNAK RESIDENCE CUSTOM HOME FOR</p>
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3/20/12

3/20/12

FIRST FLOOR ELECTRICAL PLAN

SECOND FLOOR ELECTRICAL PLAN

E-2

OF 3

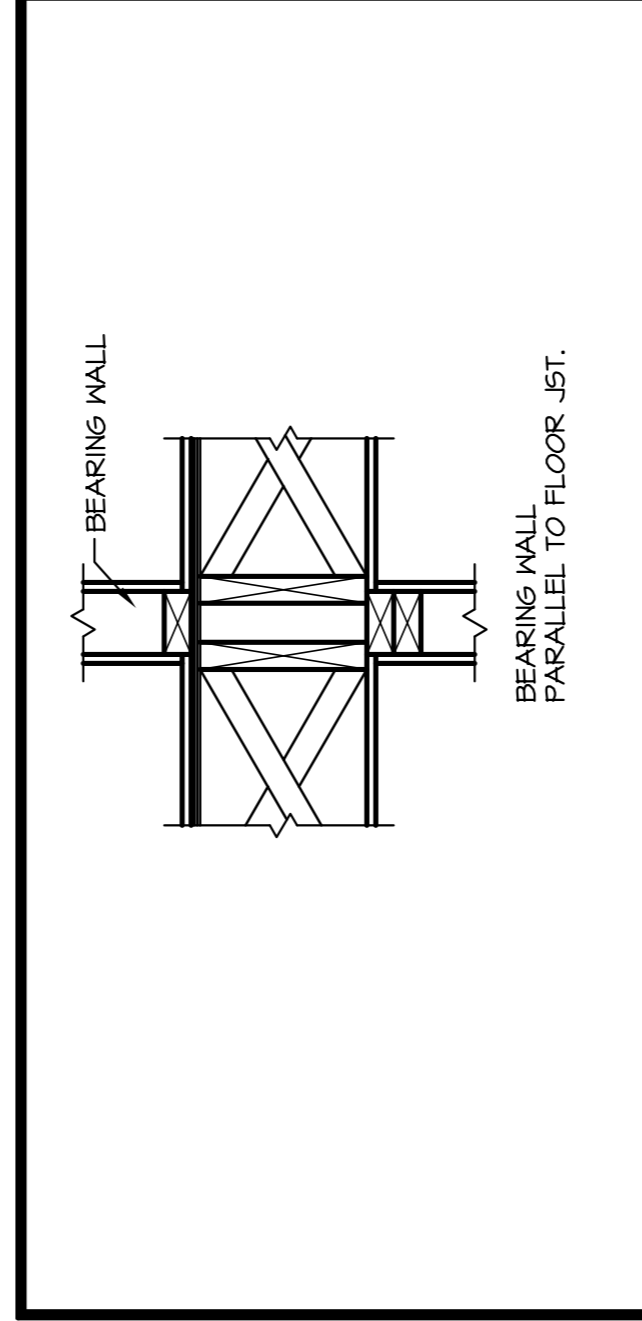
ELECTRICAL NOTES:

1. PROVIDE ALL PANTY INTERFERENCE IN ALL DRINKING WATER ROOMS.
2. ALL ELECTRICAL RECEPTACLES, SWITCHES AND APPLIANCES INSTALLED IN BATHROOMS MUST BE GFI PROTECTED.
3. ALL ELECTRICAL RECEPTACLES, SWITCHES AND APPLIANCES INSTALLED IN KITCHENS MUST BE GFI PROTECTED.
4. ALL ELECTRICAL RECEPTACLES, SWITCHES AND APPLIANCES INSTALLED IN BATHROOMS MUST BE GFI PROTECTED.
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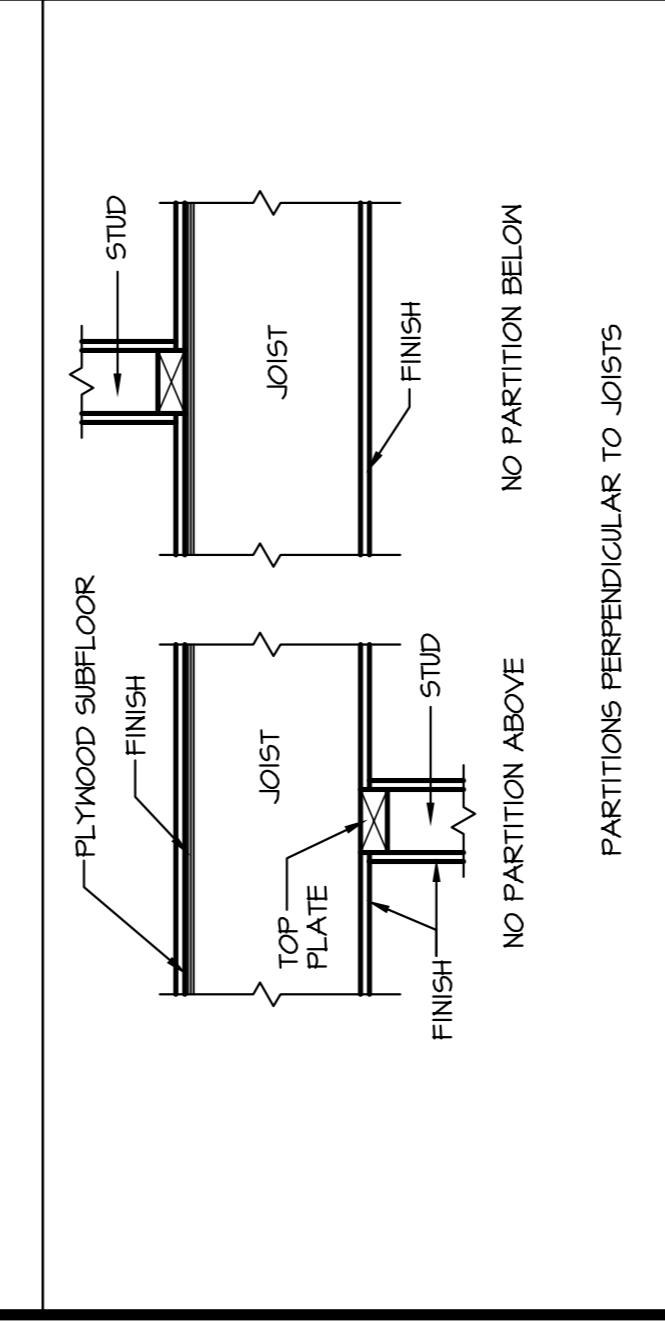
ELECTRICAL SYMBOLS:

- 1. WALL SWITCH
- 2. DIMMER
- 3. THREE WAY SWITCH
- 4. FOUR WAY SWITCH
- 5. AUTOMATIC DOOR SWITCH
- 6. REFRIGERATOR
- 7. GARAGE DOOR RELEASER
- 8. GAS WALL HEATING UNIT
- 9. REFRIGERATOR GROUND FAULT INTERRUPTER (GFI)
- 10. GFI RECEPTACLE
- 11. ONE SIZE SWITCH
- 12. CABLE TELEVISION CONNECTION
- 13. TELEPHONE JACK
- 14. WALL SOCKET, TYPE AND STYLE PER OWNER'S SPECIFICATION
- 15. DOWN WALL TYPE AND STYLE PER OWNER'S SPECIFICATION
- 16. ELECTRICAL PANEL
- 17. CEILING FAN
- 18. RECESSED LIGHT FIXTURE PER OWNER/CONTRACTOR
- 19. TRACK LIGHTING PER OWNER/CONTRACTOR
- 20. PENDANT LIGHT FIXTURE PER OWNER/CONTRACTOR
- 21. WALL MOUNTED LIGHT FIXTURE PER OWNER/CONTRACTOR
- 22. WALL MOUNTED LIGHT FIXTURE PER OWNER/CONTRACTOR
- 23. CEILING MOUNTED LIGHT FIXTURE PER OWNER/CONTRACTOR
- 24. GELING CHANGING WALLS PER OWNER/CONTRACTOR
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- 99. WALL MOUNTED LIGHT FIXTURE PER OWNER/CONTRACTOR
- 100. CEILING MOUNTED LIGHT FIXTURE PER OWNER/CONTRACTOR

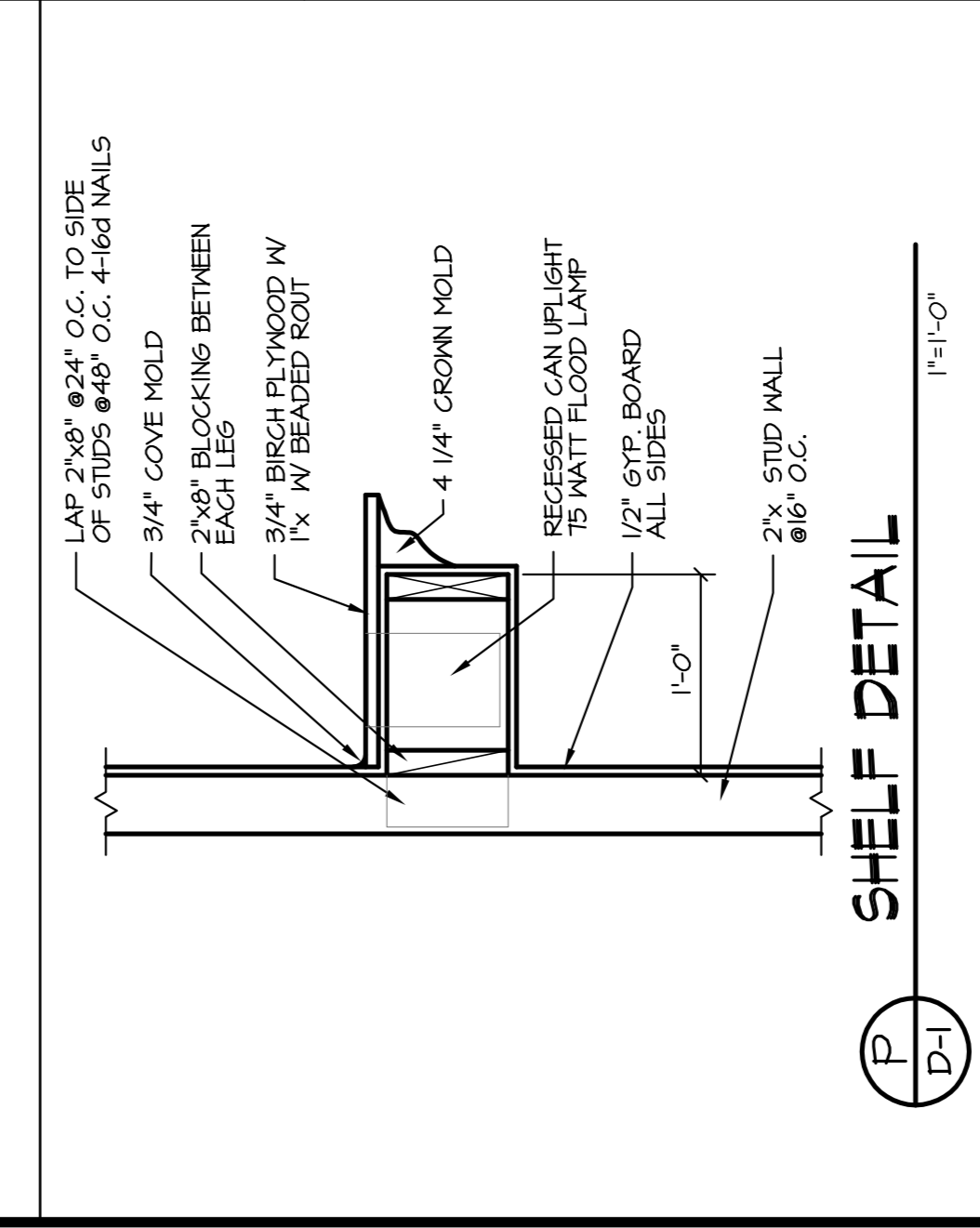
3/20/12



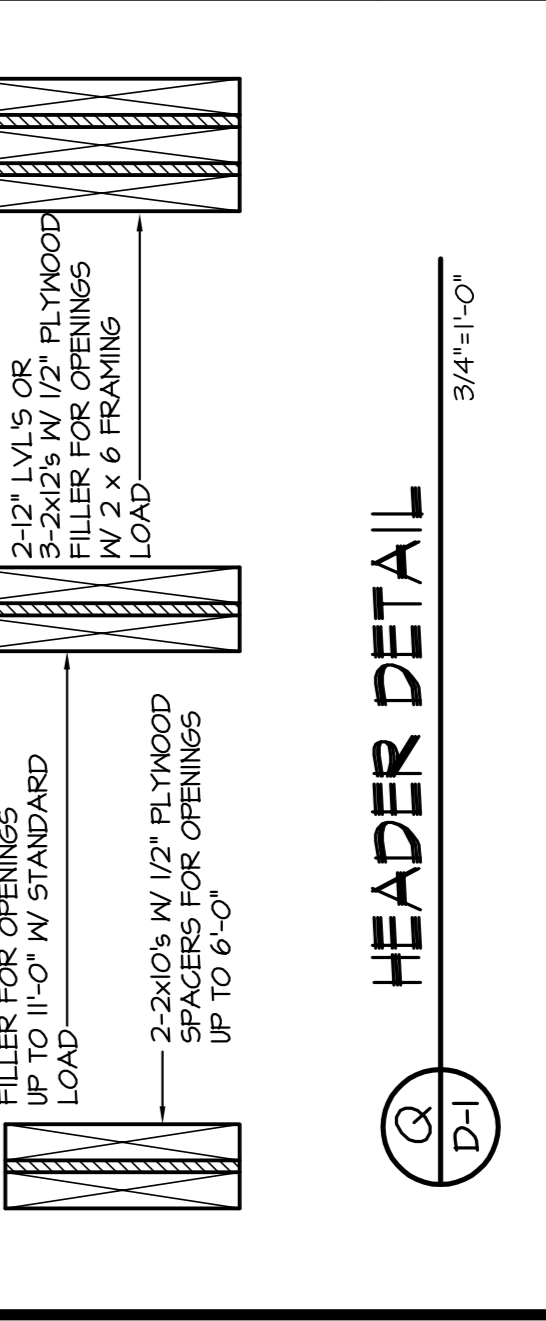
(M) DETAILS @ BEARING WALLS
1/4"=1'-0"



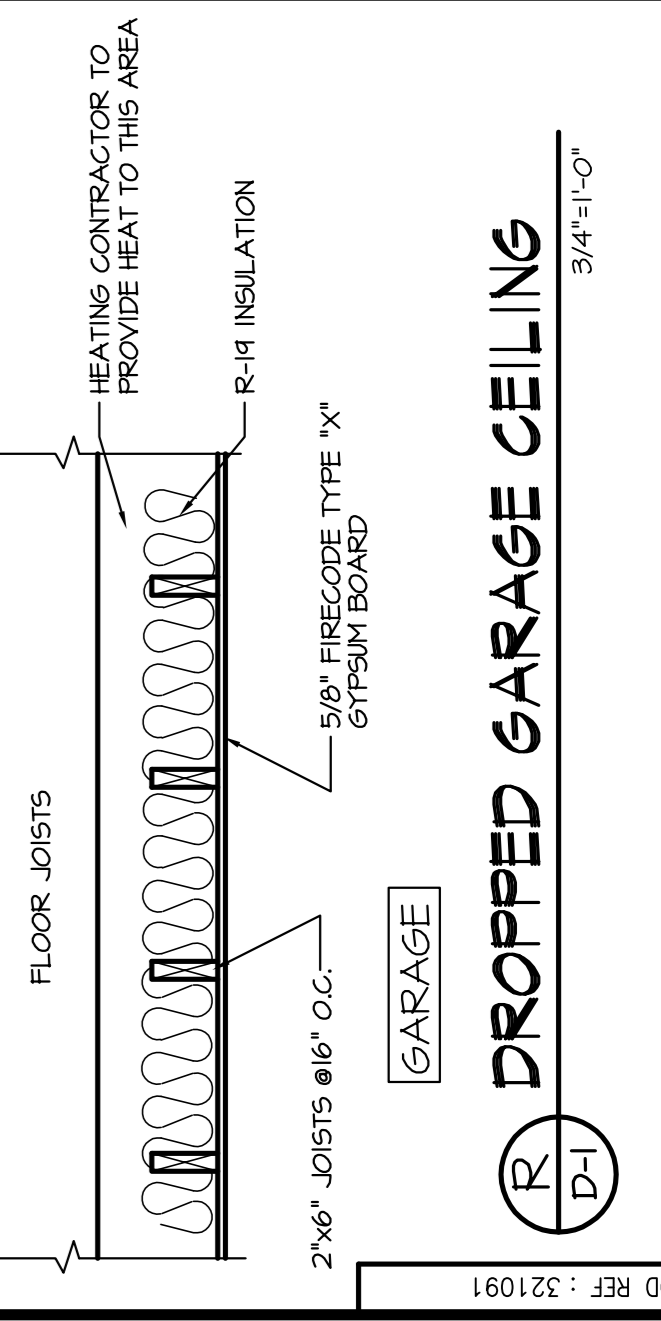
(N) PARTITION WALL DETAILS
1/4"=1'-0"



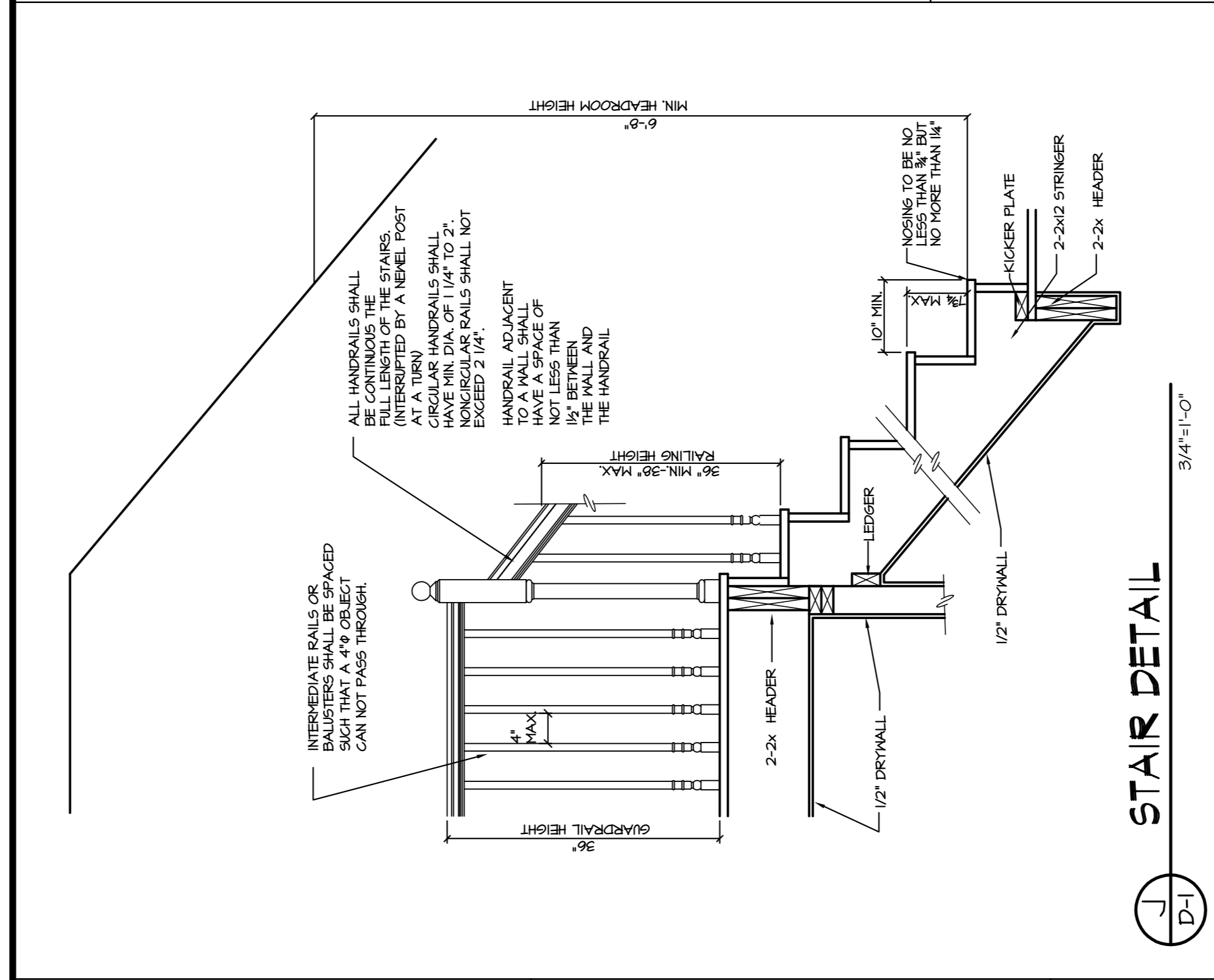
(O) SHELF DETAIL
1/4"=1'-0"



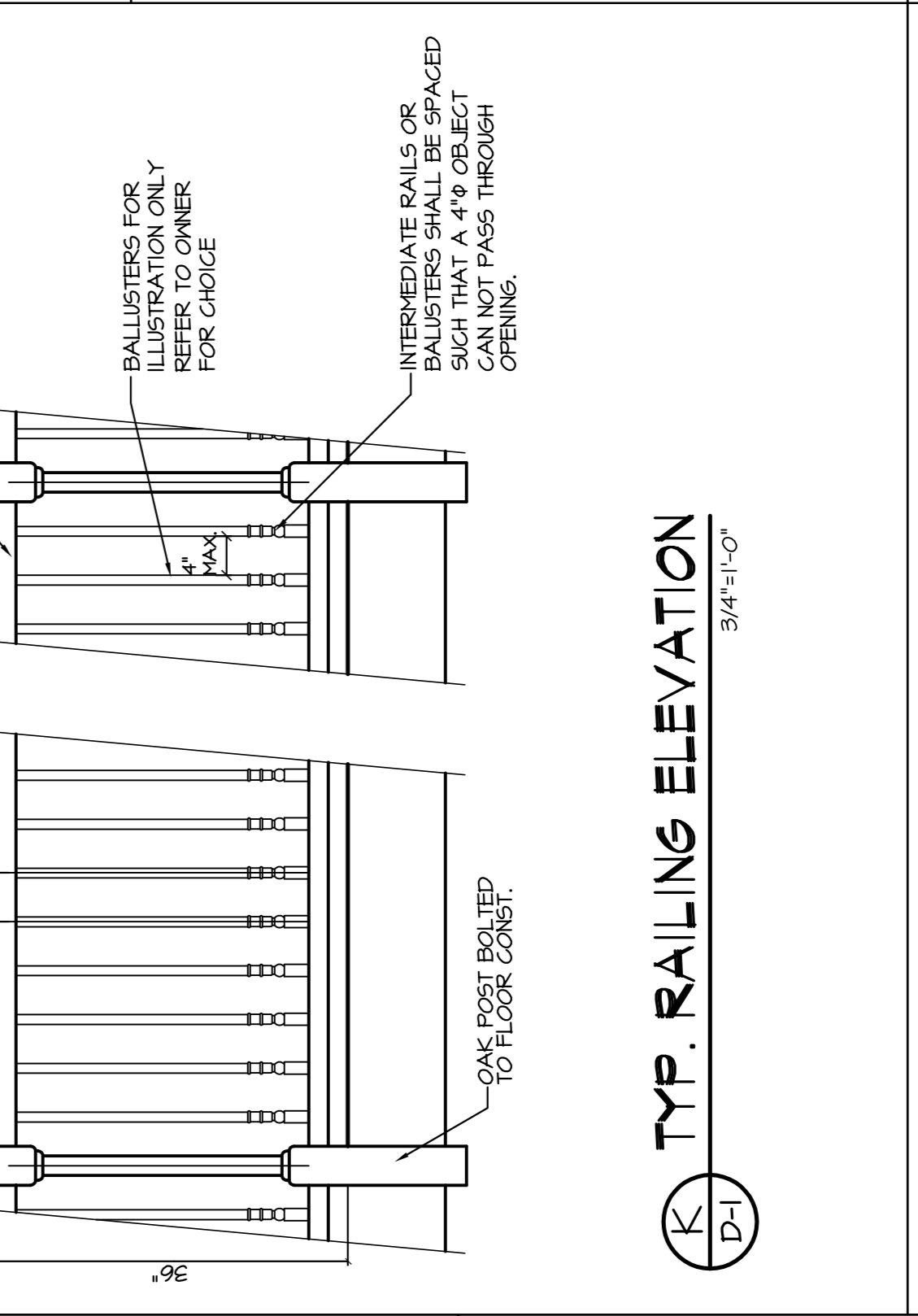
(P) HEADER DETAIL
3/8"=1'-0"



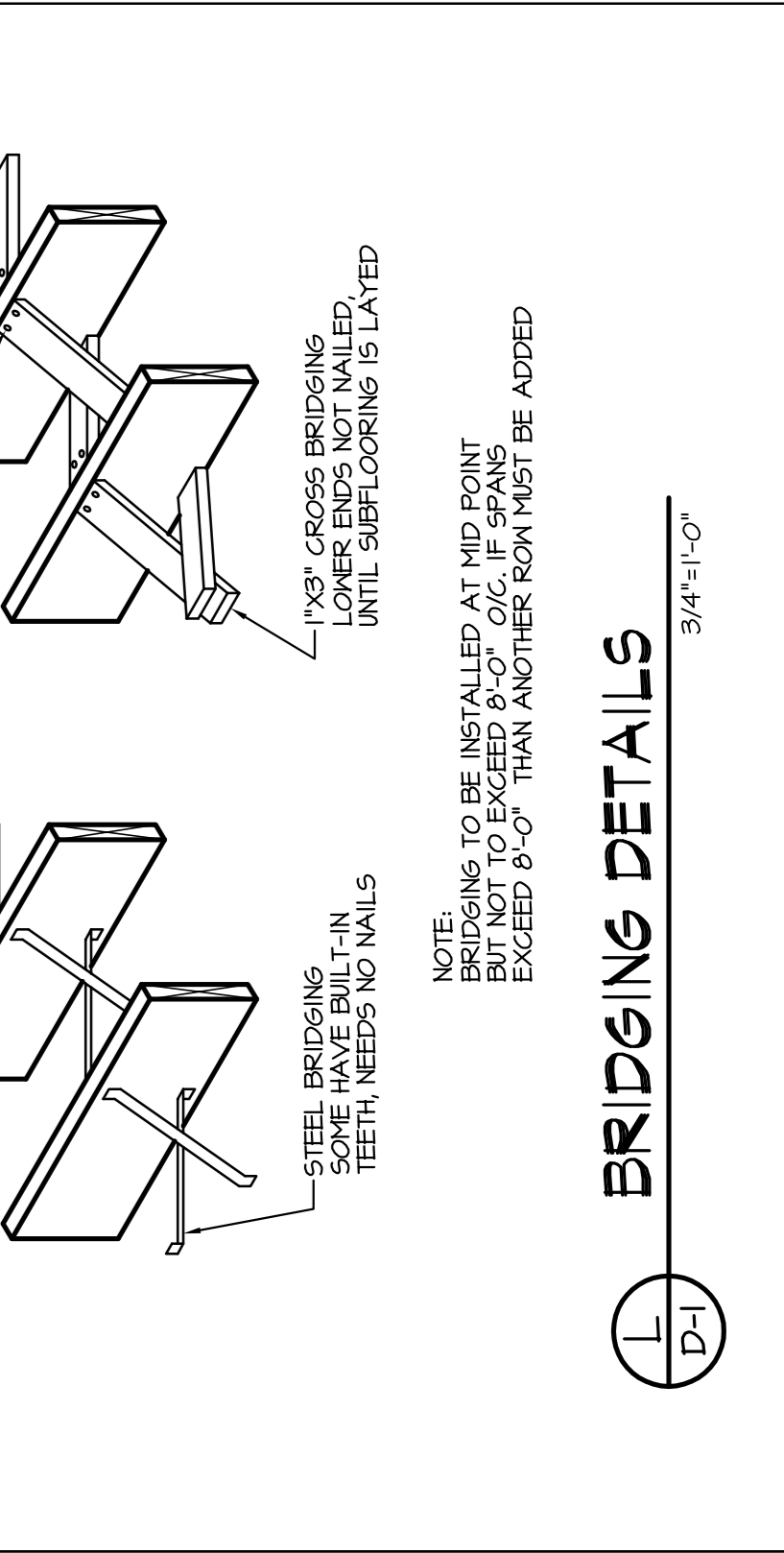
(Q) DROPPED GARAGE CEILING
3/8"=1'-0"



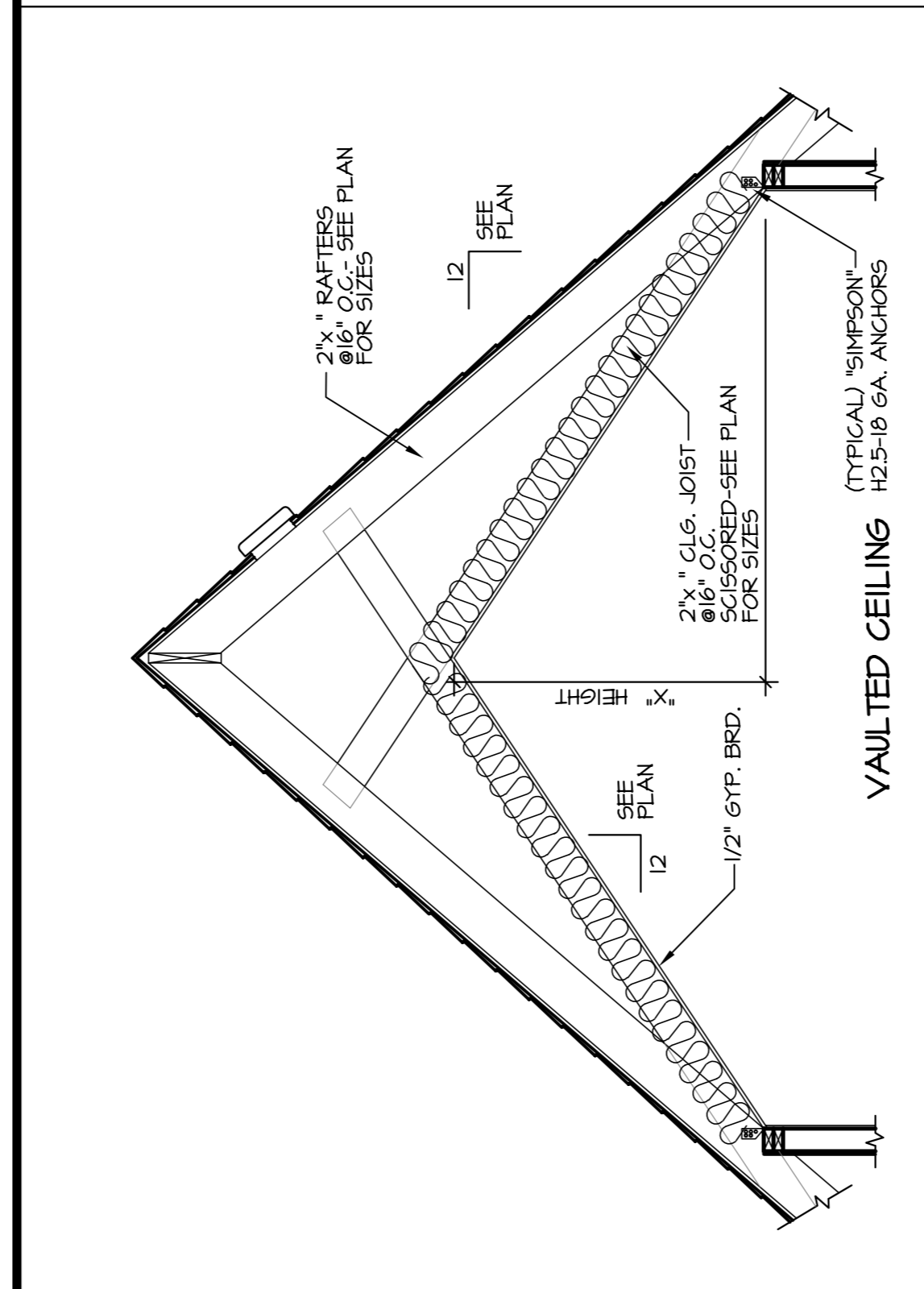
(J) STAIR DETAIL
3/8"=1'-0"



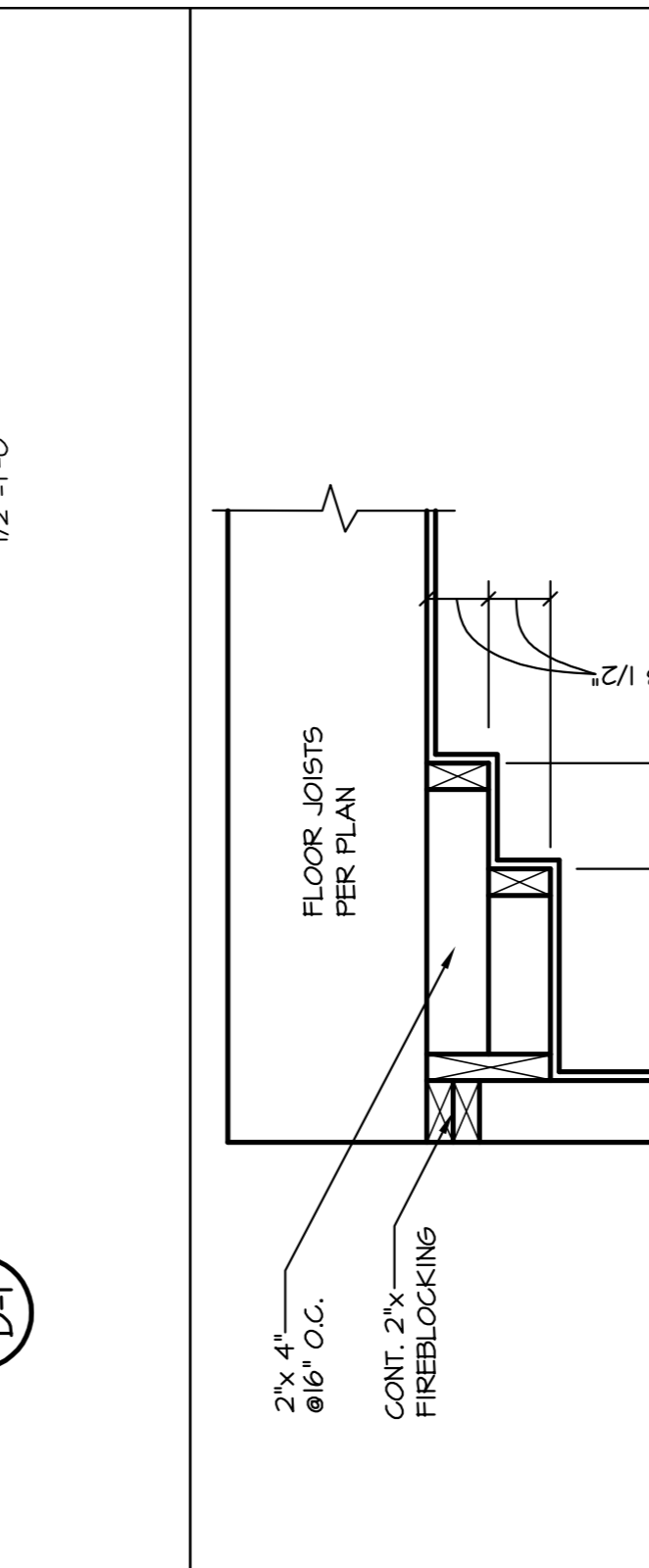
(K) TYP. RAILING ELEVATION
3/8"=1'-0"



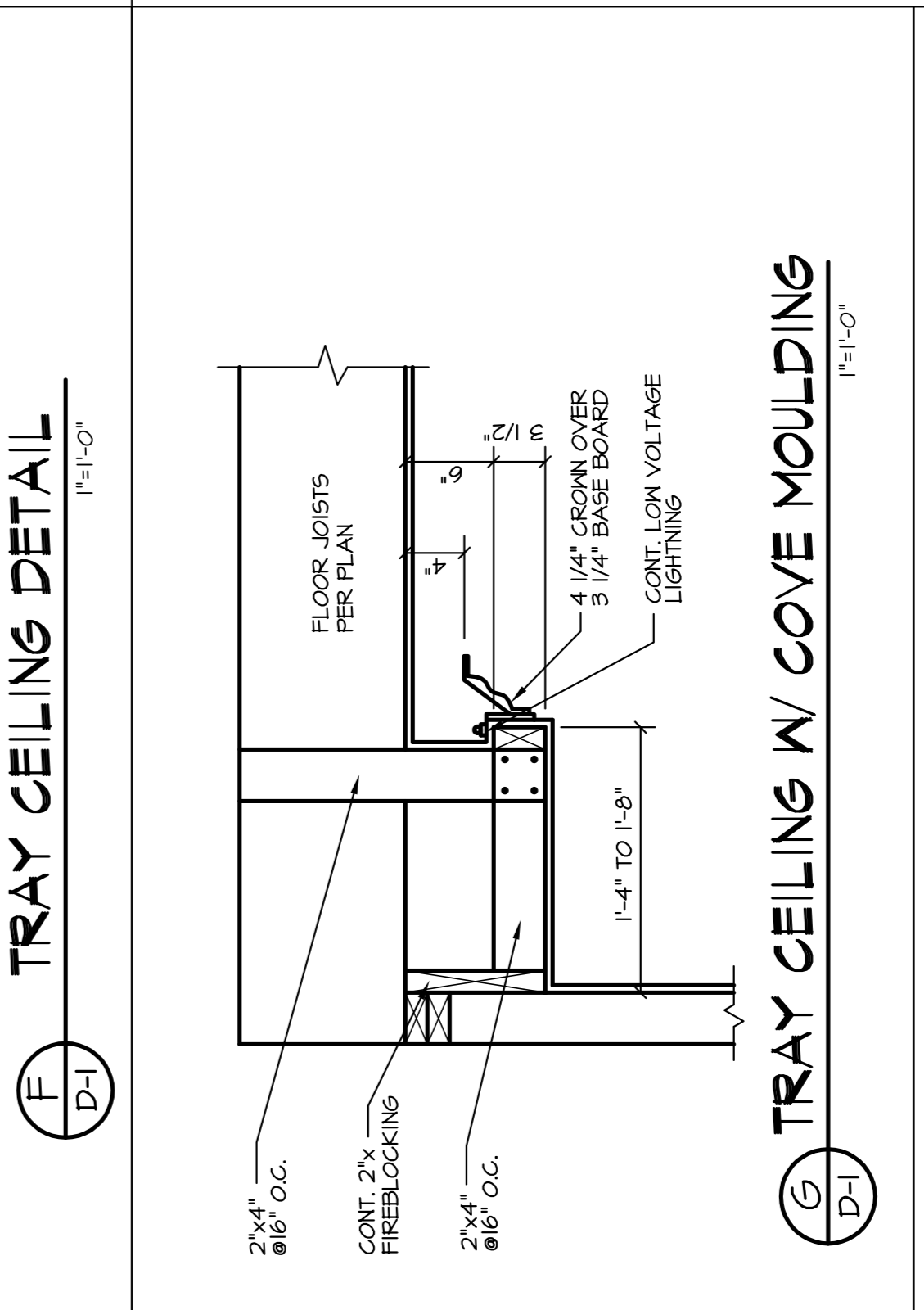
(L) BRIDGING DETAILS
3/8"=1'-0"



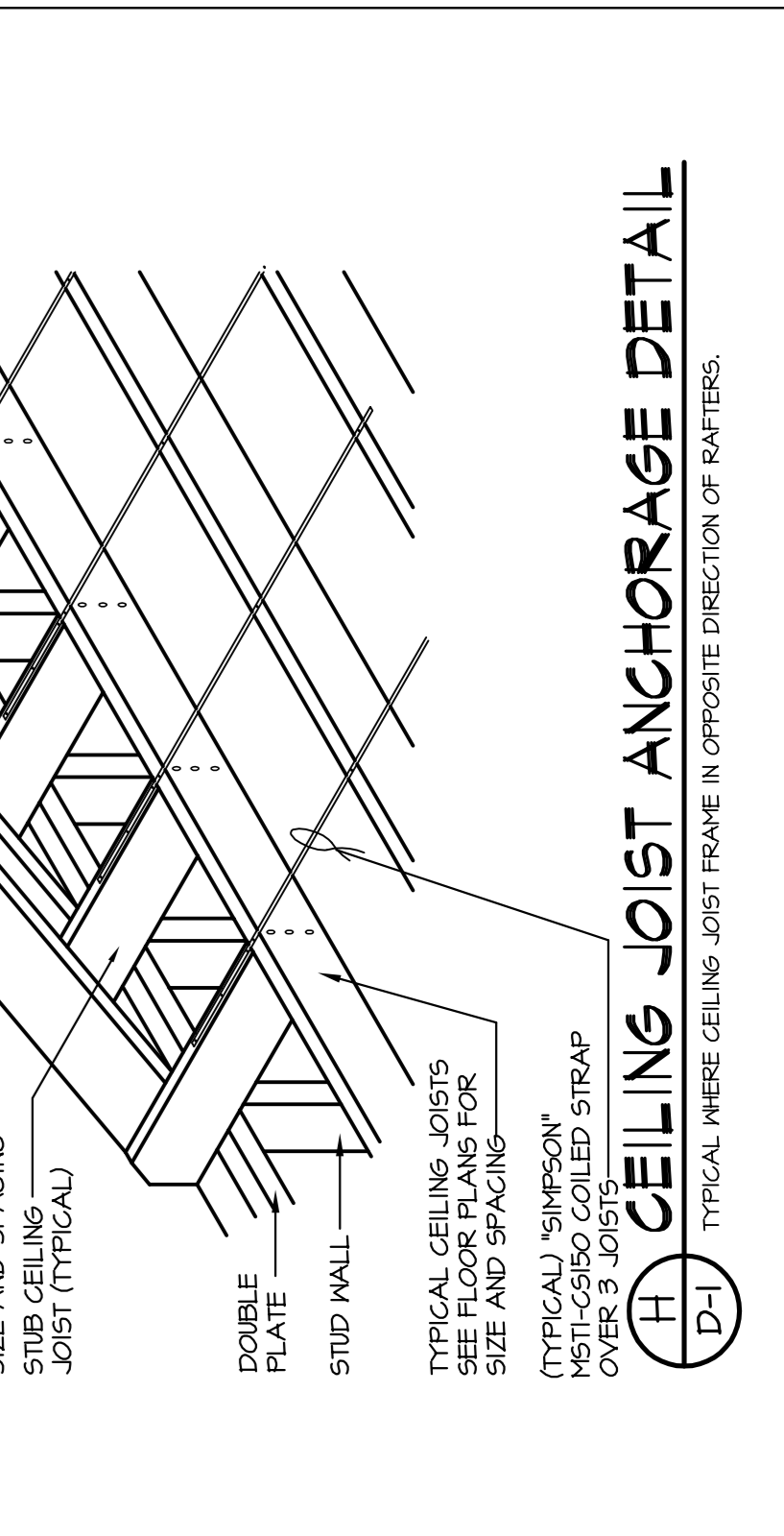
(E) VAULTED CEILING
1/2"=1'-0"



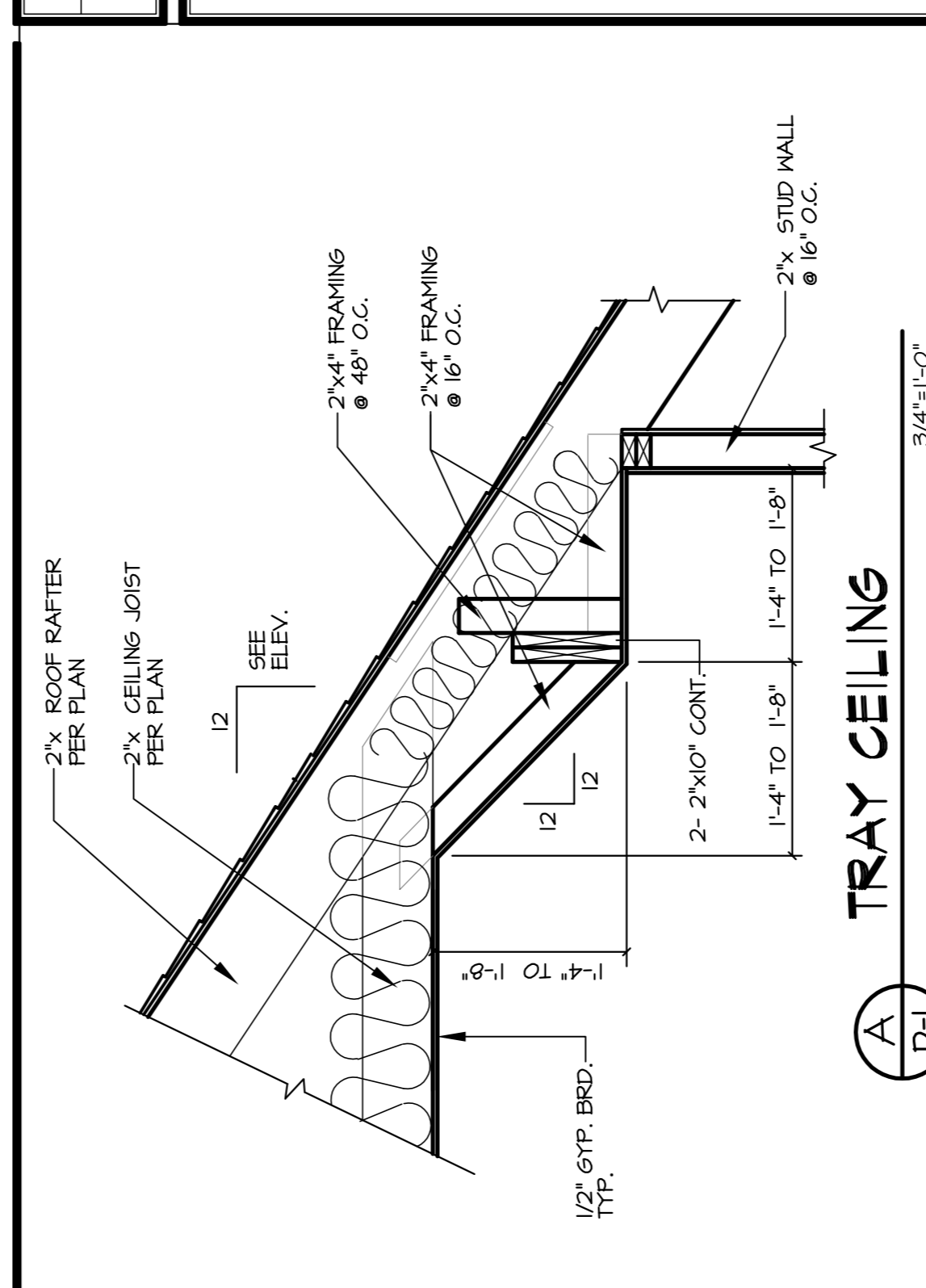
(F) SCISSOR JOIST
1/2"=1'-0"



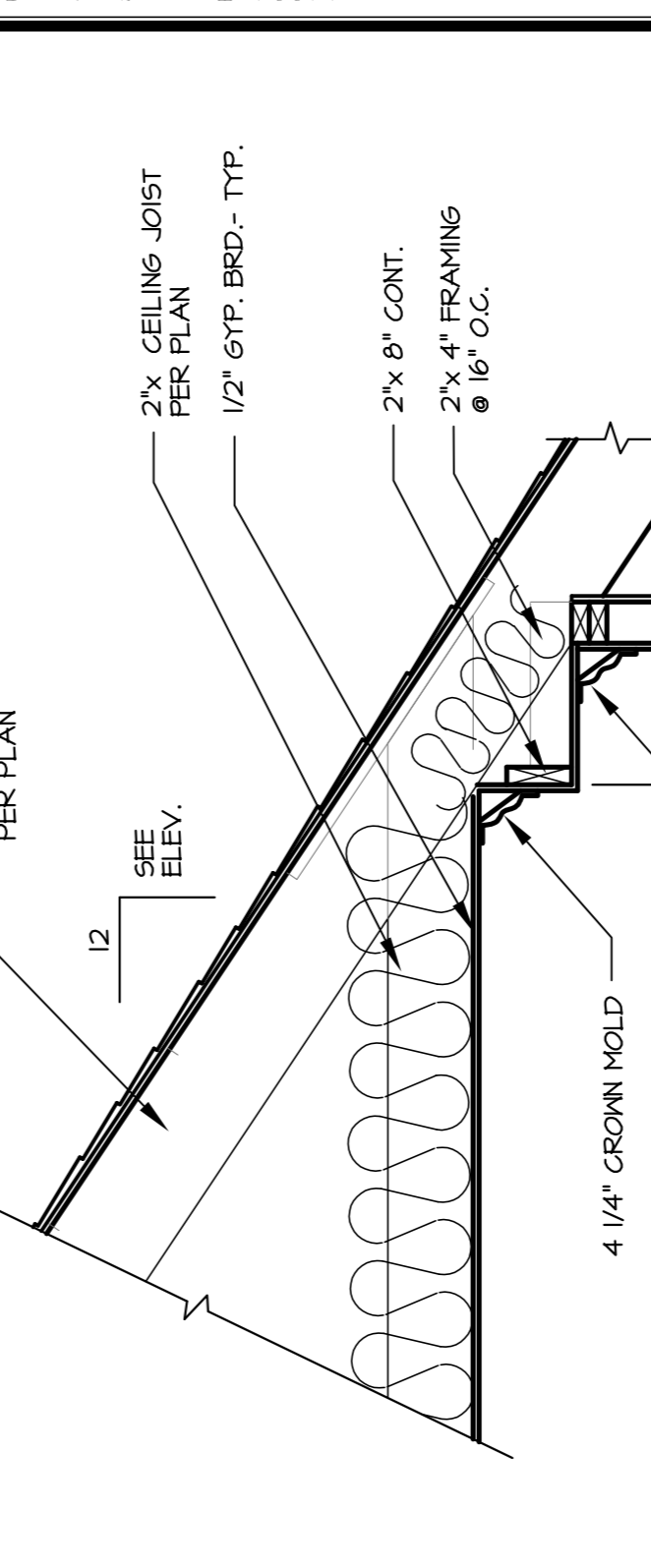
(G) TRAY CEILING W/ COVE MOULDING
1/4"=1'-0"



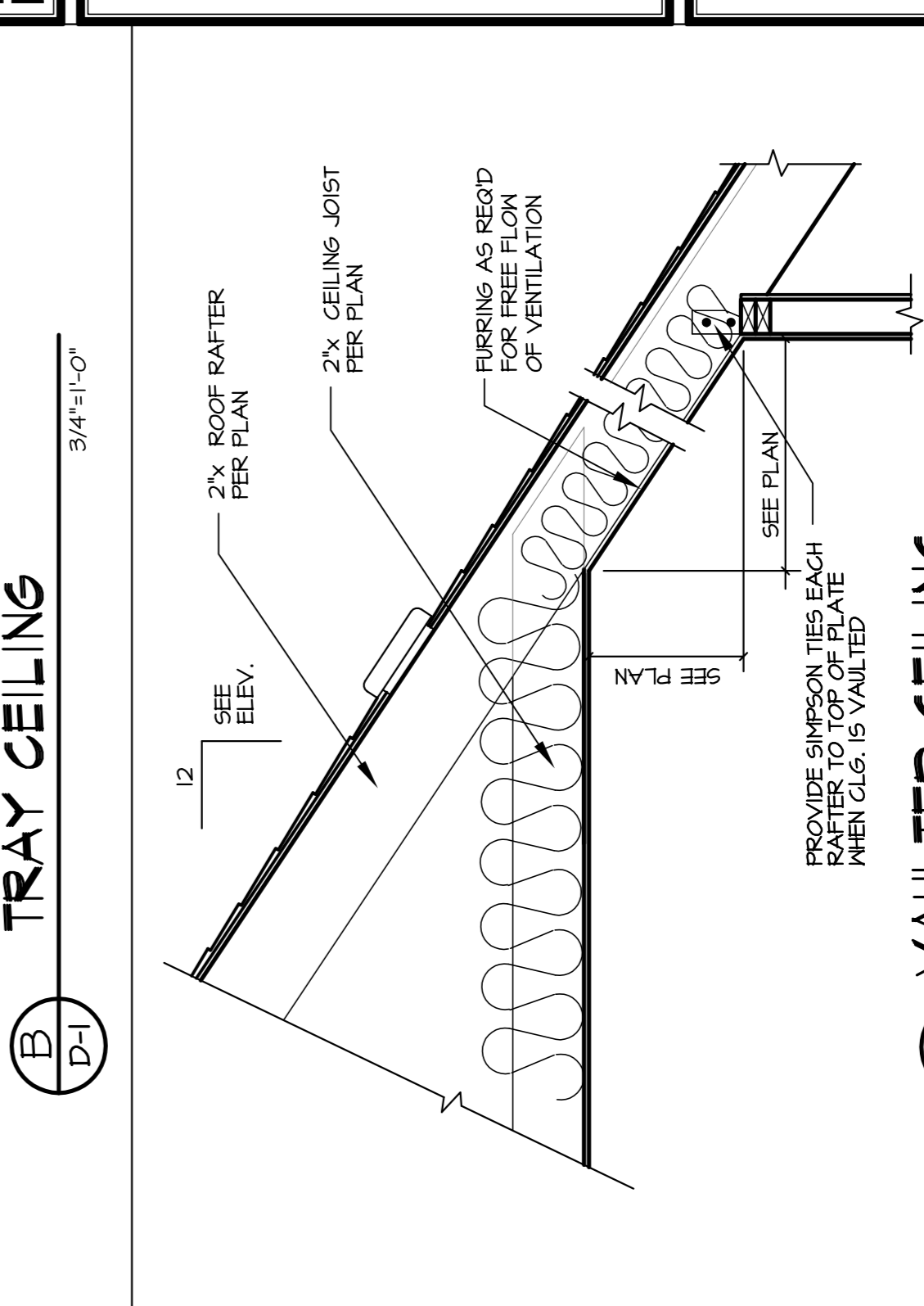
(H) CEILING JOIST ANCHORAGE DETAIL
1/4"=1'-0"



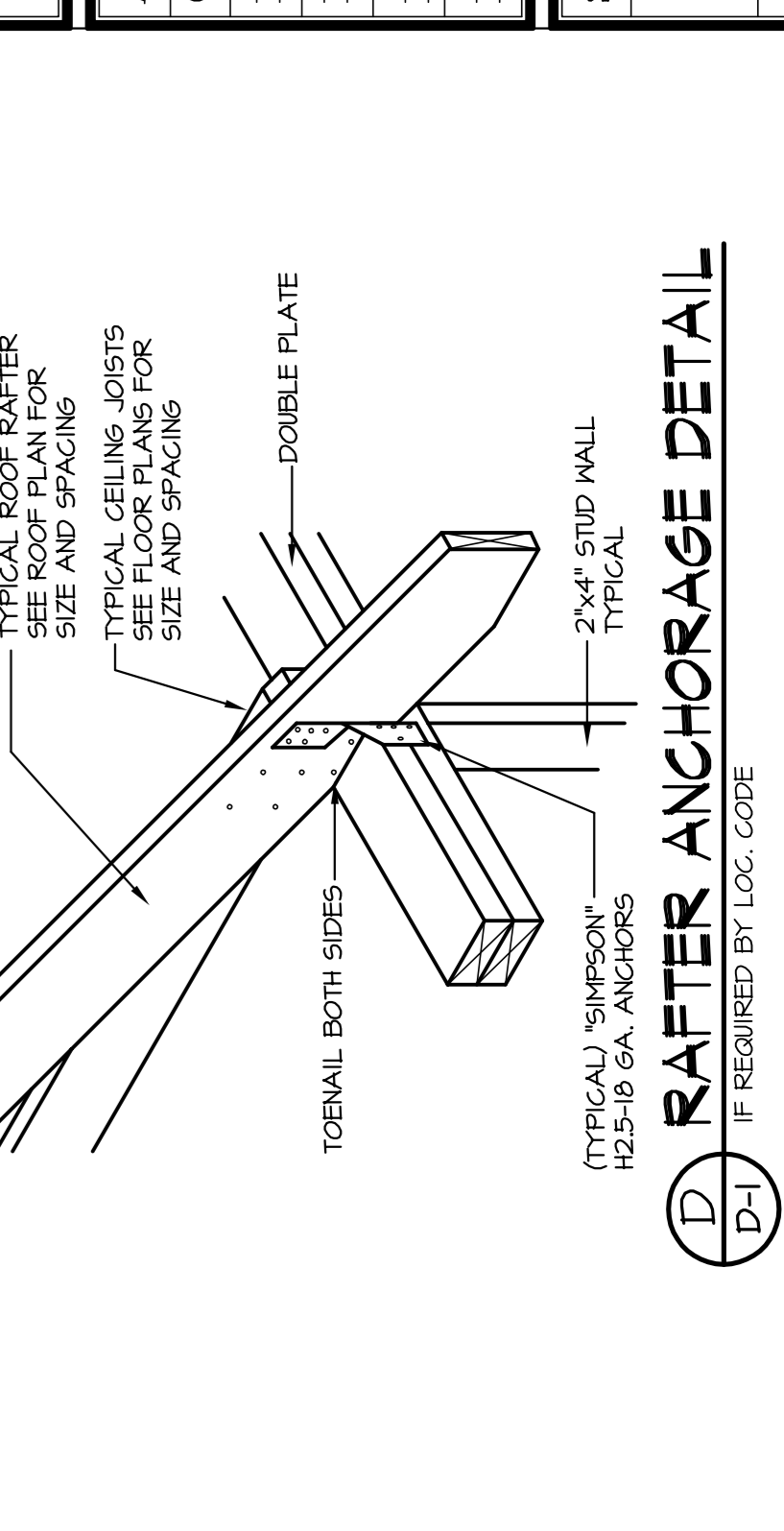
(A) TRAY CEILING
3/8"=1'-0"



(B) TRAY CEILING
3/8"=1'-0"

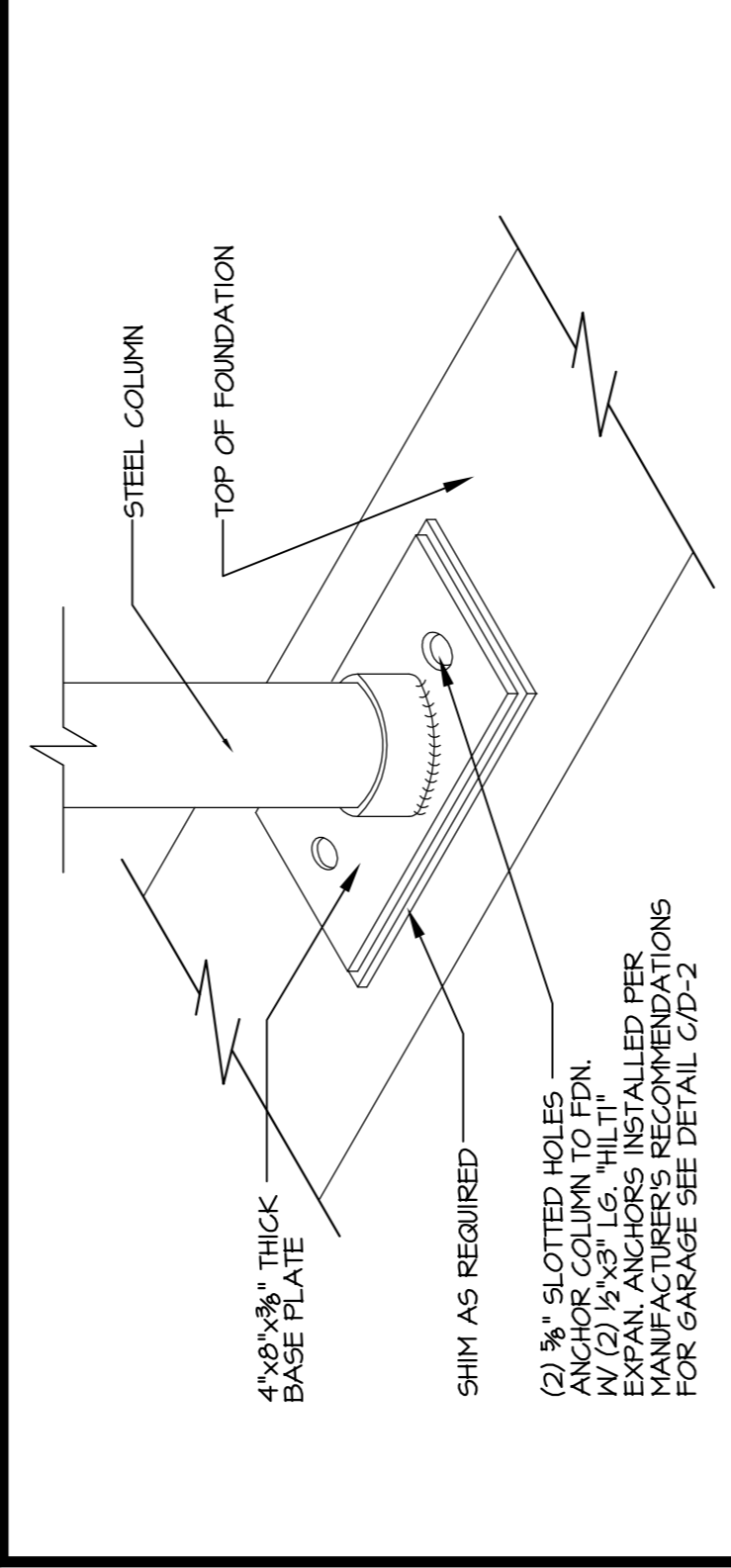


(C) VAULTED CEILING
3/8"=1'-0"

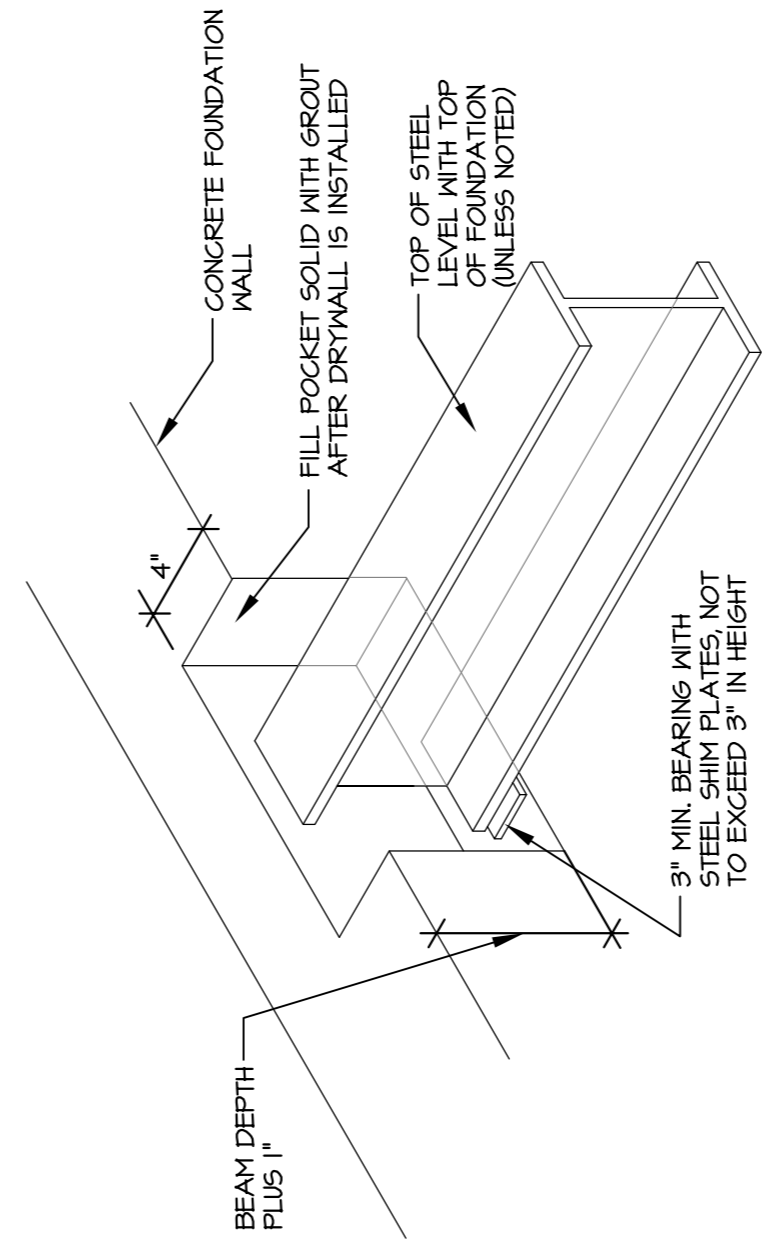


(D) RAFTER ANCHORAGE DETAIL
1/4"=1'-0"

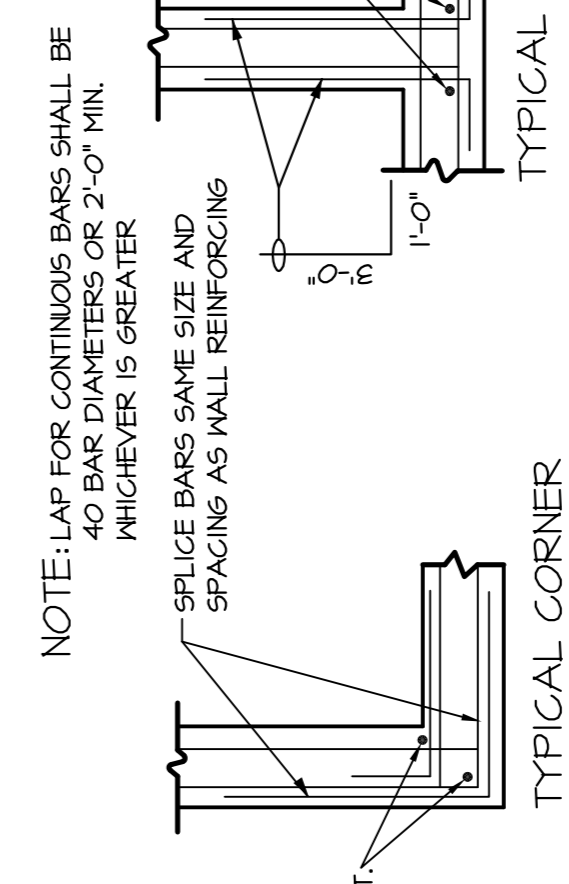
<p>REVISIONS</p>	<p>1213 DAY BREAK LANE, LONG GROVE, ILLINOIS</p> <p>THE MOZNAK RESIDENCE CUSTOM HOME FOR</p>	<p>WKS ARCHITECTS INC.</p> <p>14224 Town Center Dr. Morton Grove, Illinois 60049 (708) 301-0111 www.wksarch.com</p>	<p>FRAME DETAILS</p>	<p>APP'D: MKG CHECKED: MKG DRAWN: SB,AFS DATE: 10/22/11 PROJ. NO: 3009 PREV. NO: (64641)</p>	<p>SHEET NUMBER D-1</p>
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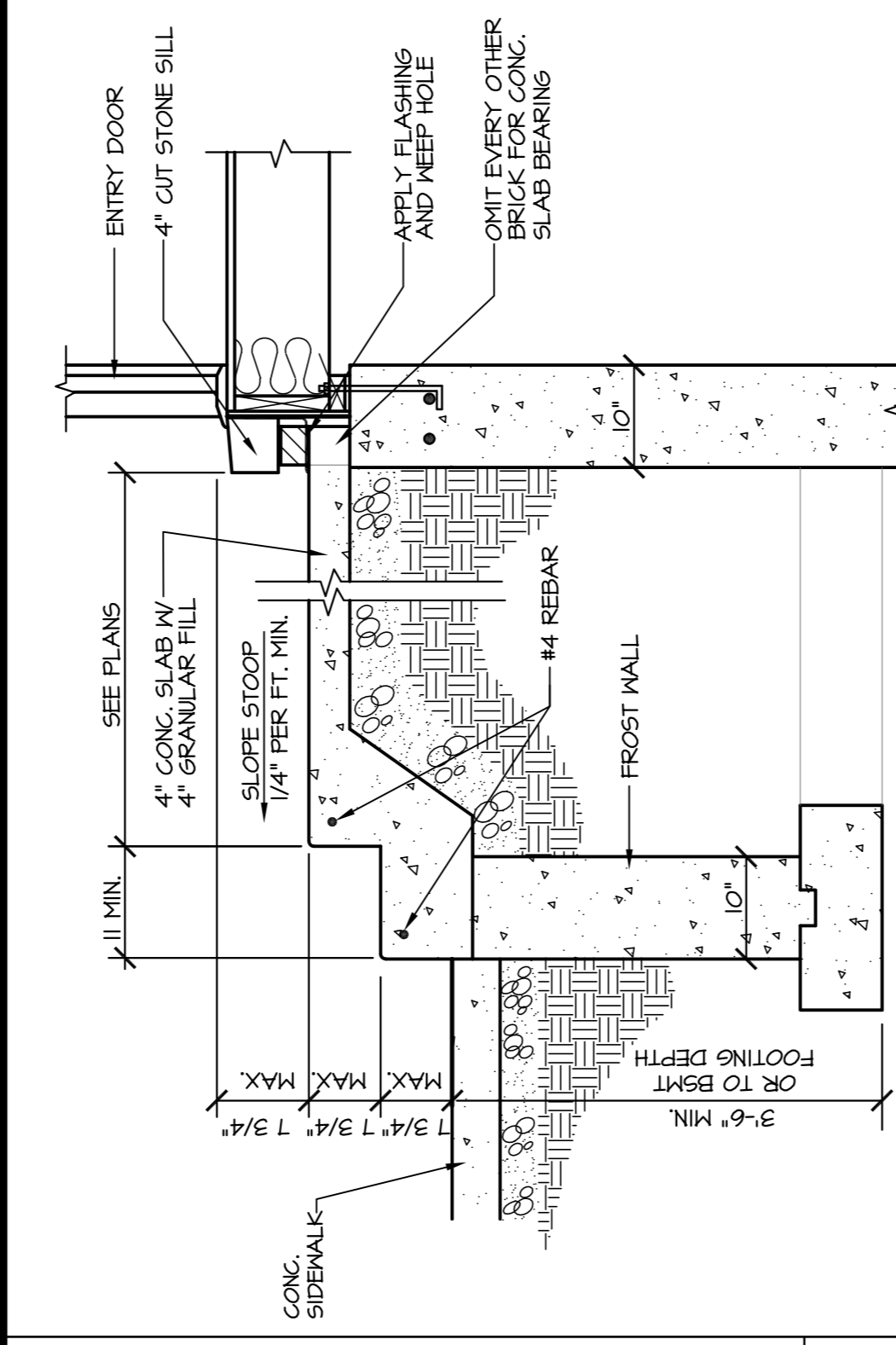
A COLUMN WITH STEEL PLATE AT GARAGE & FOUNDATION WALLS



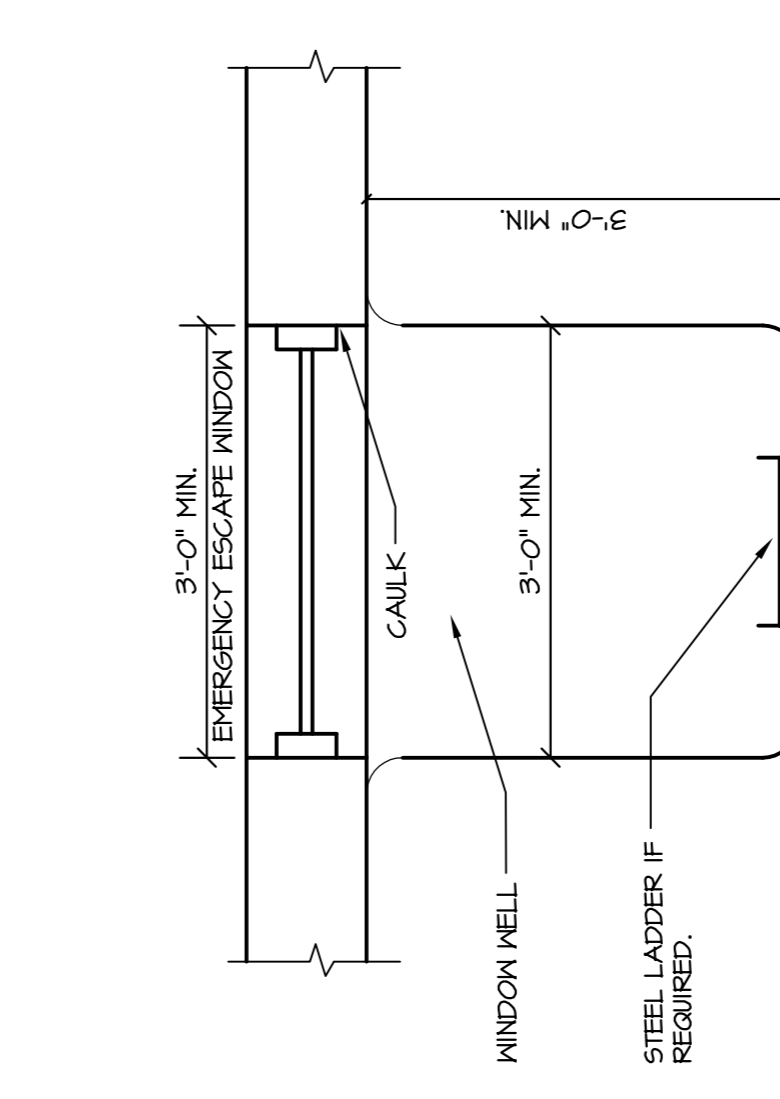
B BEAM POCKET FOR STEEL



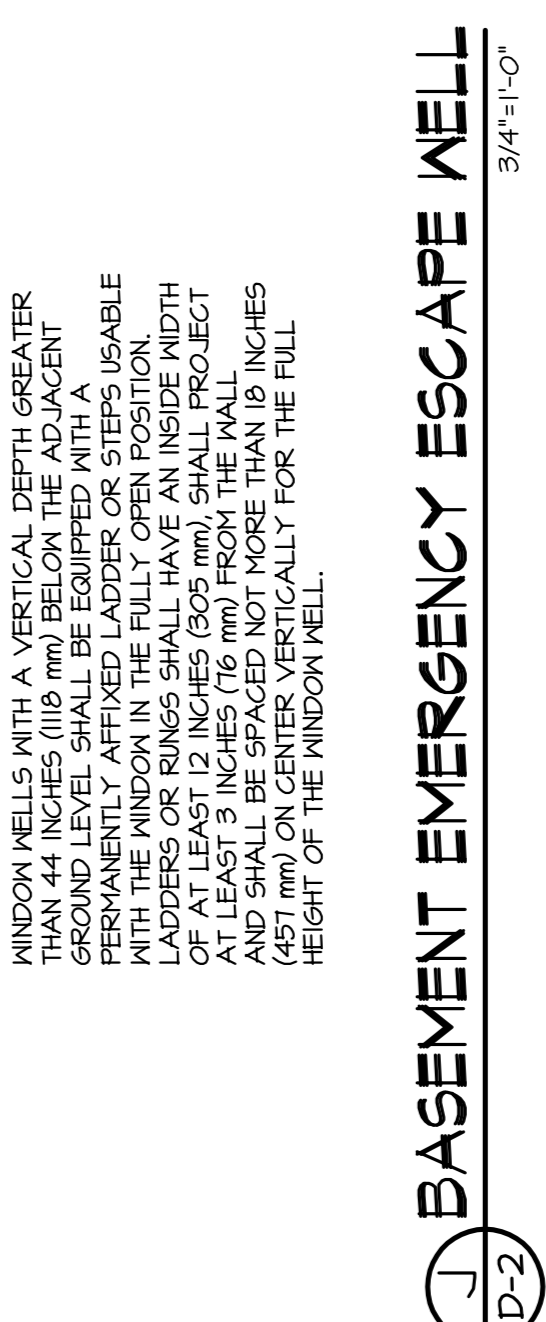
C FOUNDATION REINF. DETAILS



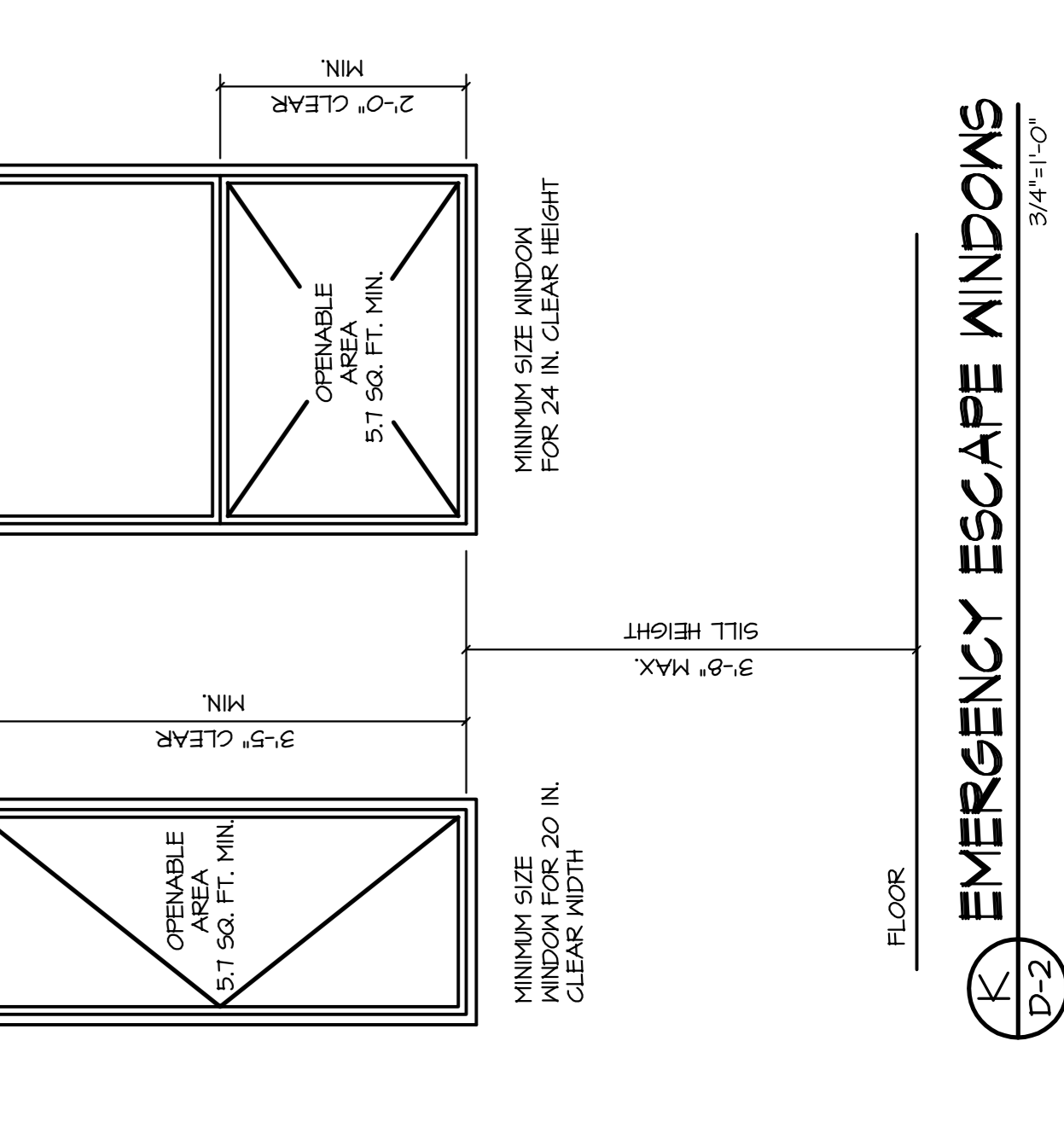
D DETAIL @ FRONT ENTRY



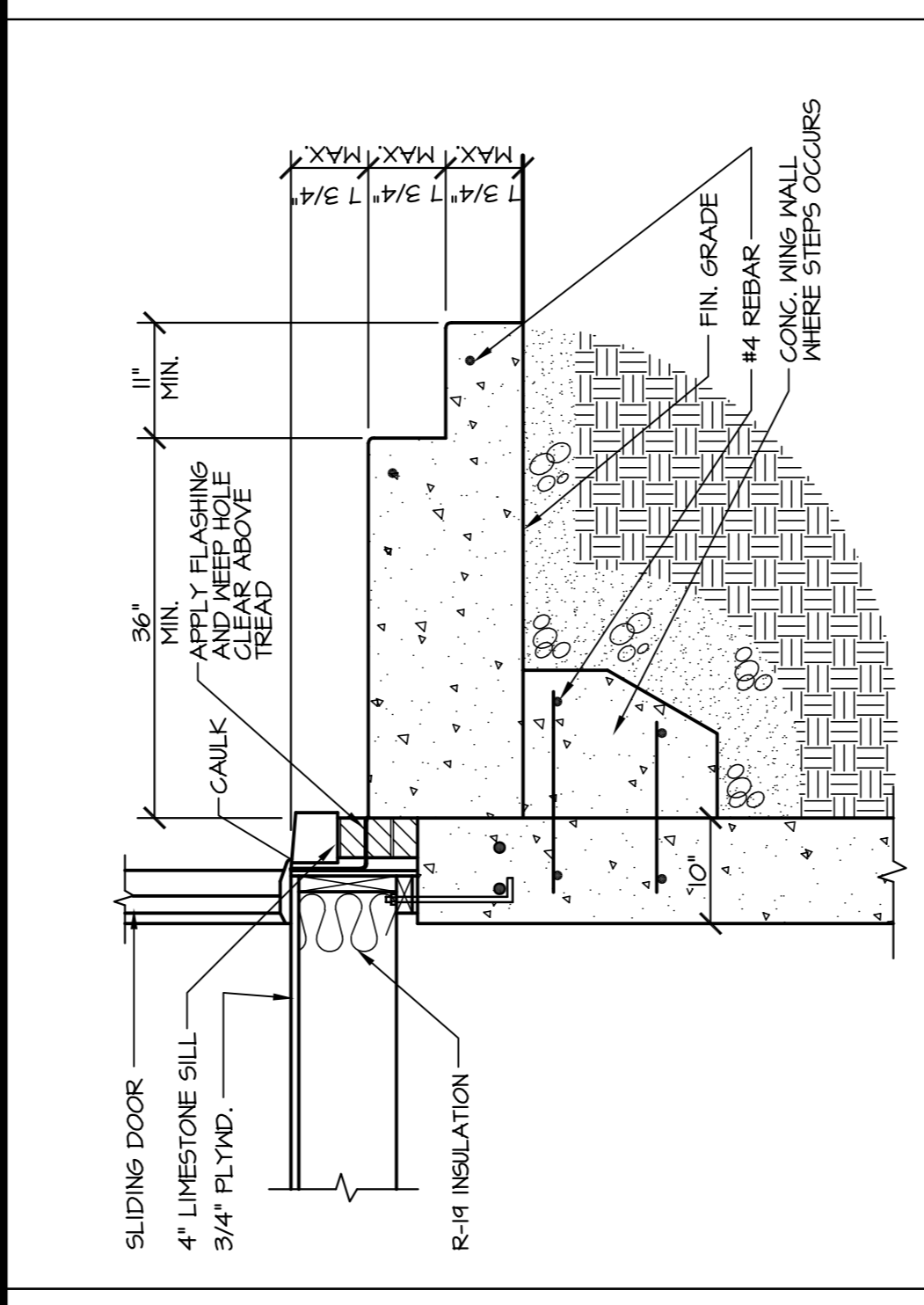
E EMERGENCY ESCAPE WINDOW



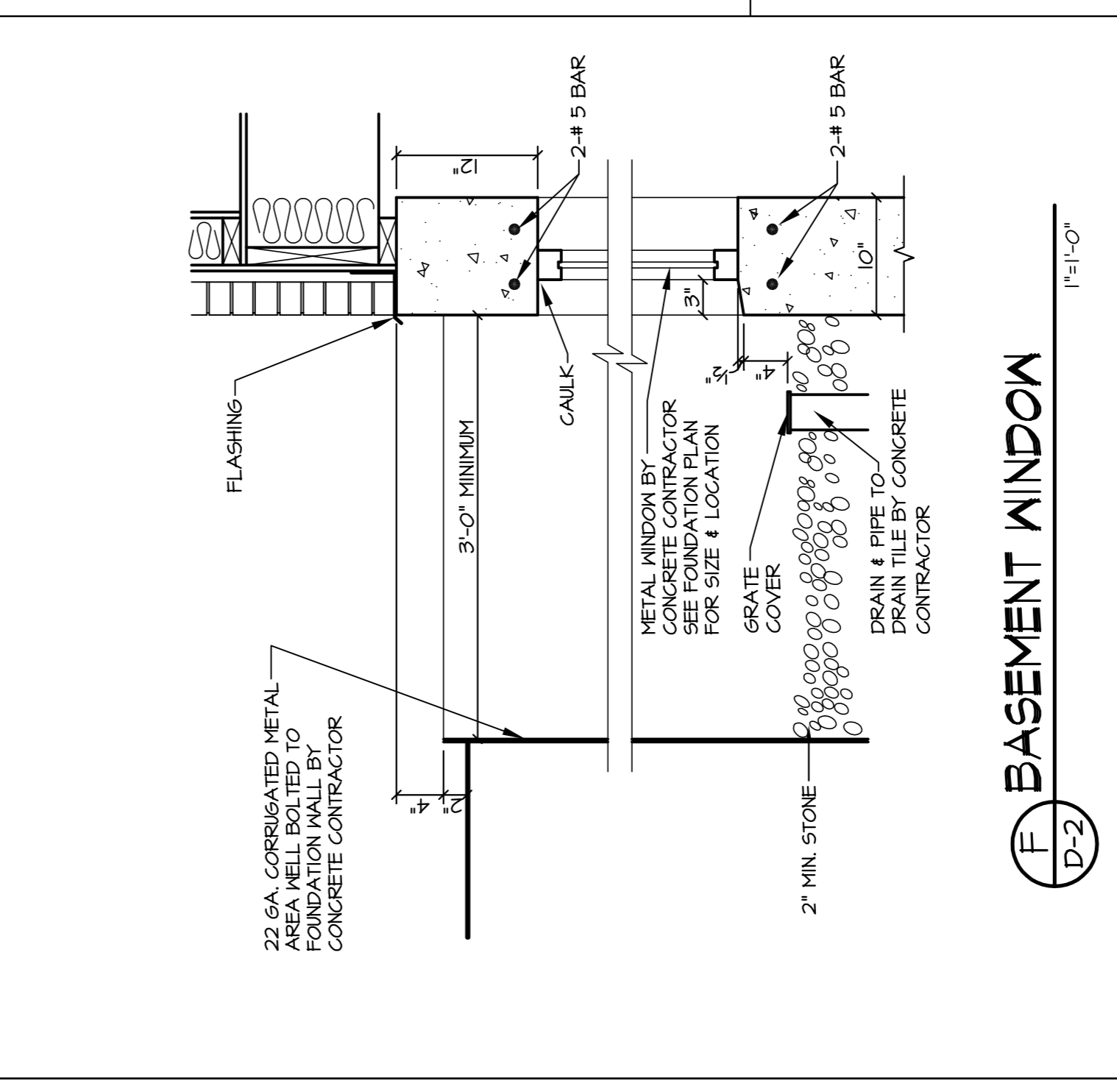
F BASEMENT EMERGENCY ESCAPE WELL



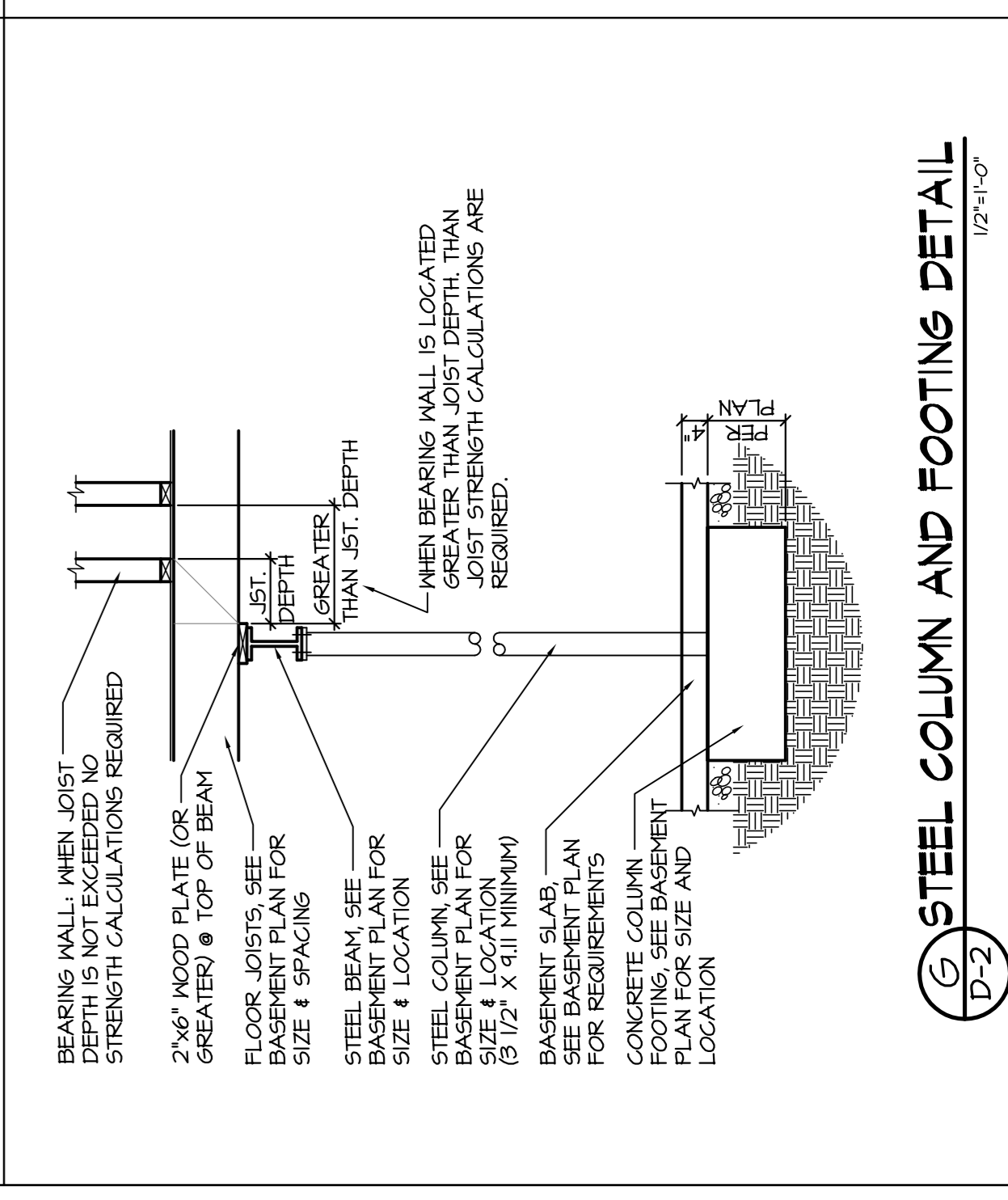
G EMERGENCY ESCAPE WINDOWS



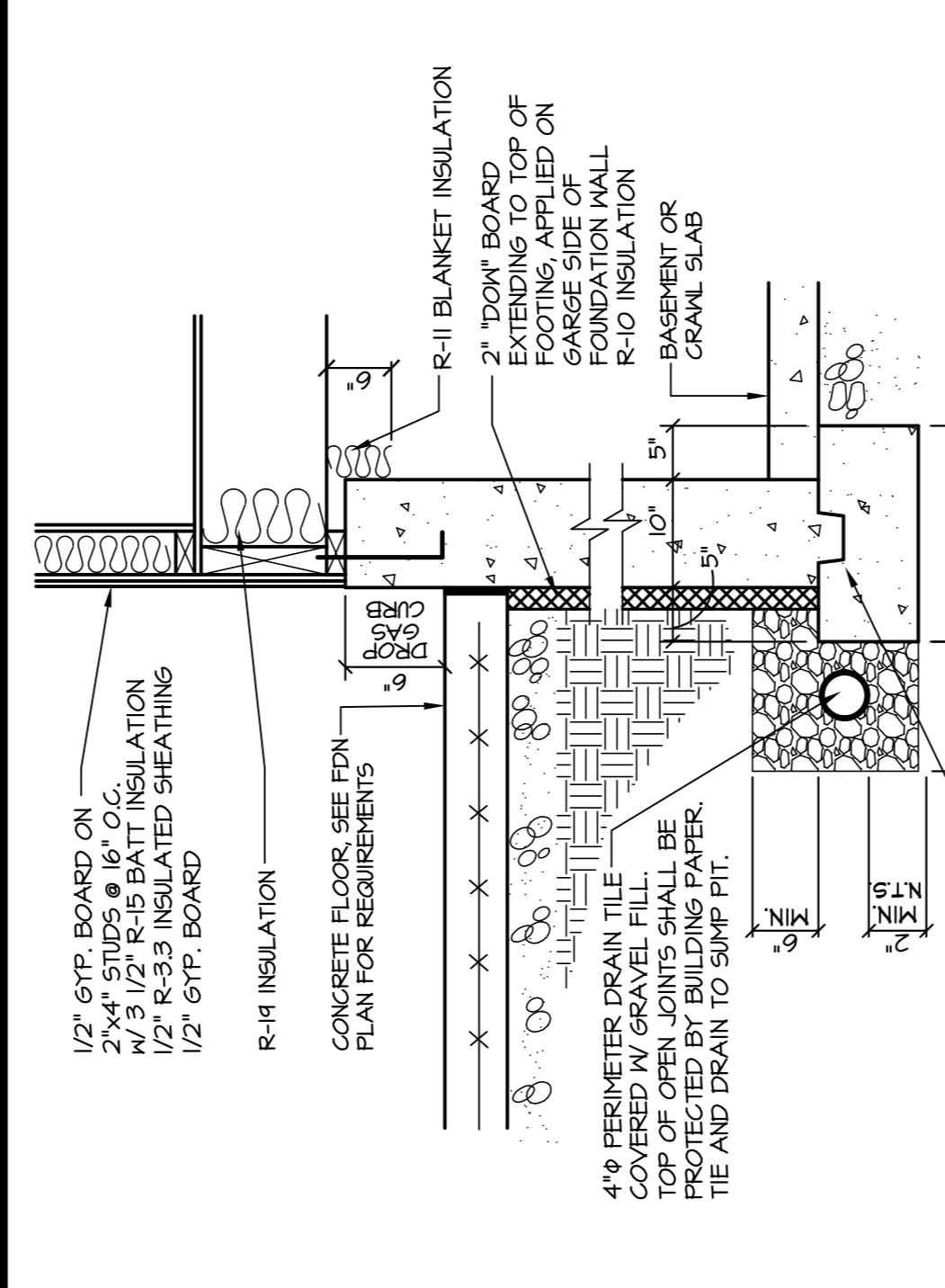
H STAIR DETAIL @ SWING DOORS



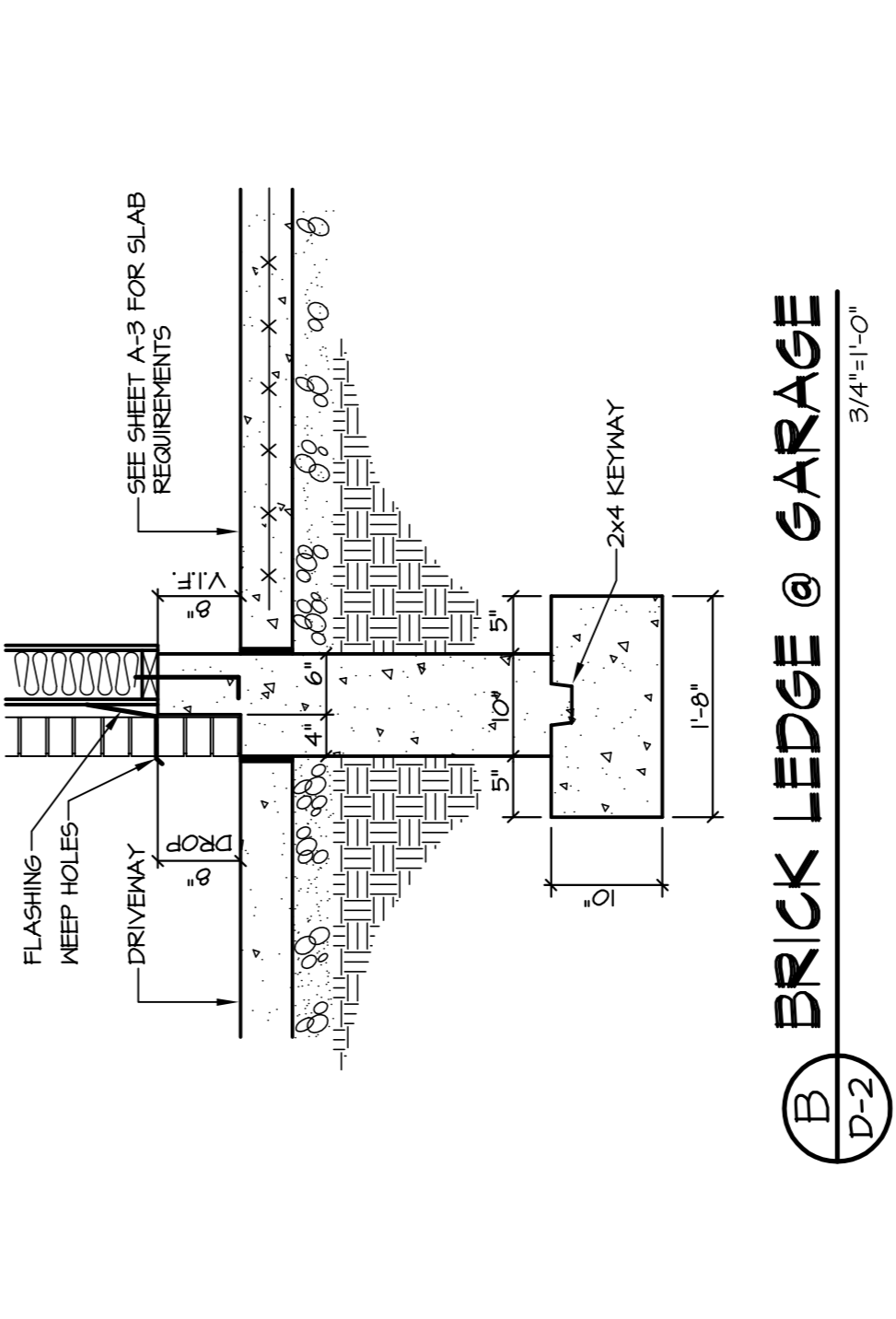
I BASEMENT WINDOW



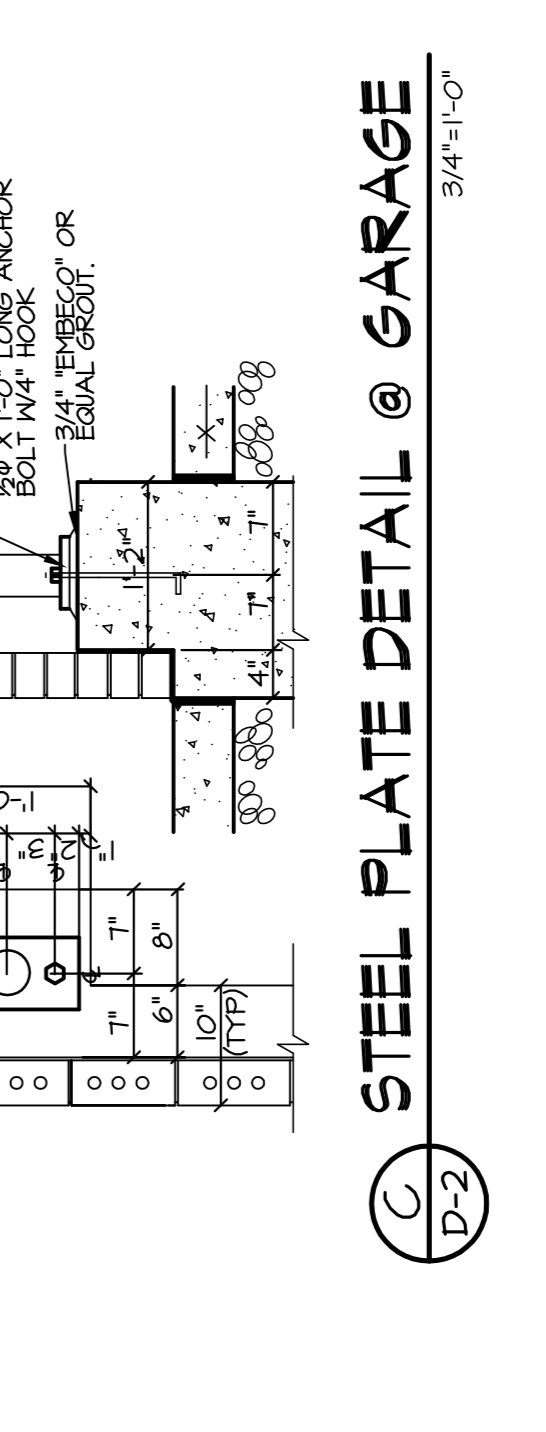
J STEEL COLUMN AND FOOTING DETAIL



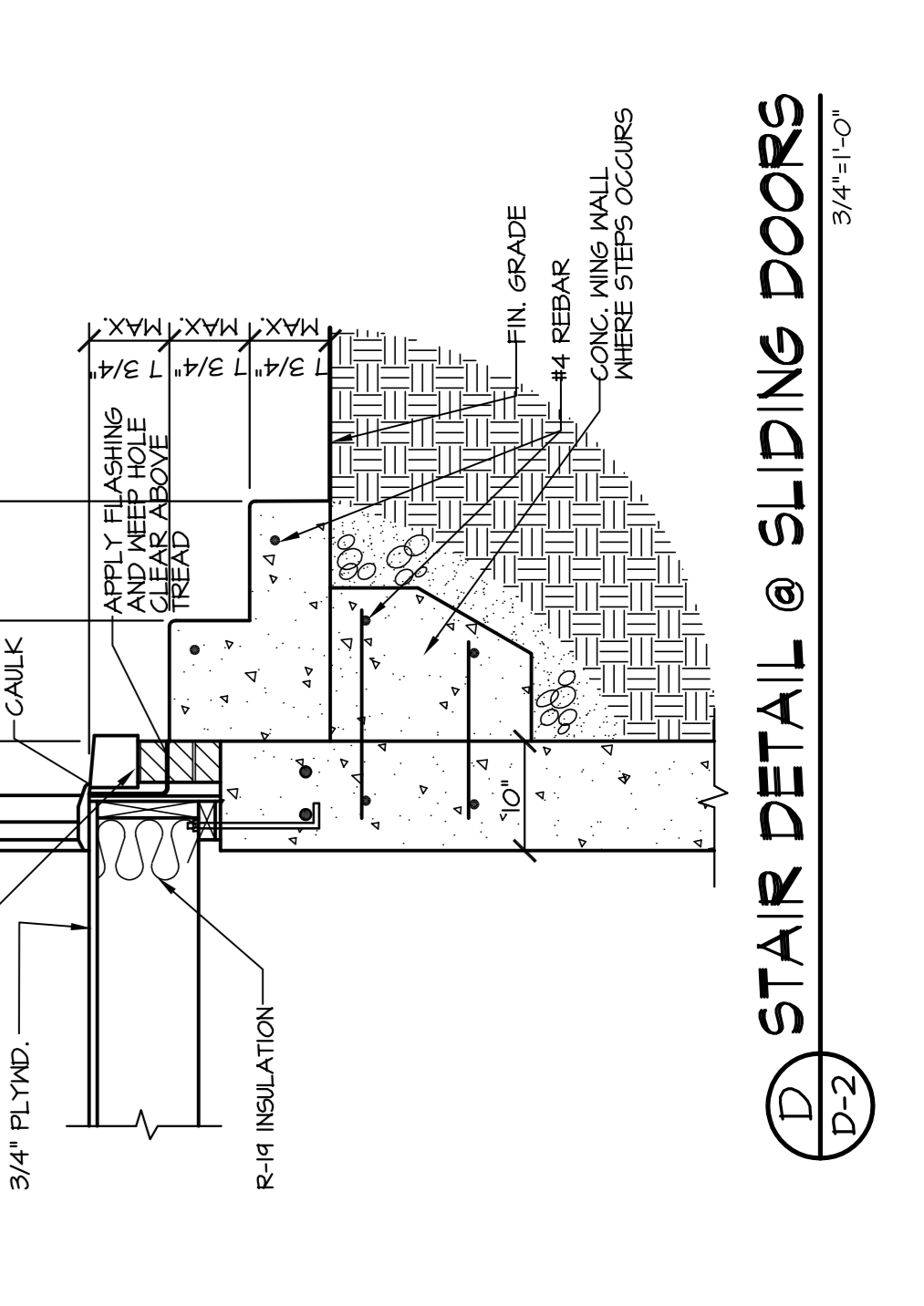
K DROPPED GARAGE SLAB



L BRICK LEDGE @ GARAGE



M STEEL PLATE DETAIL @ GARAGE



N STAIR DETAIL @ SLIDING DOORS

REVISIONS

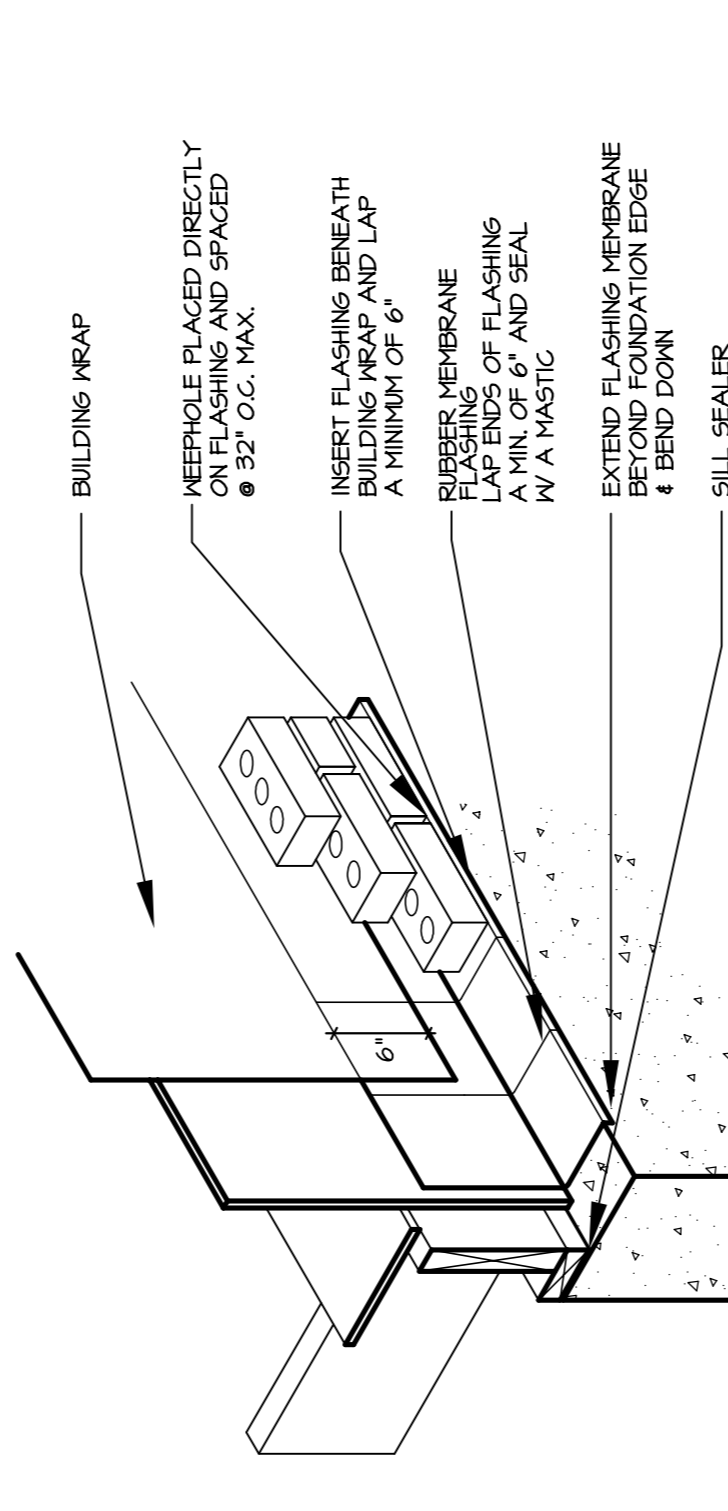
1524 Town Center Dr
Homer, GA, 30143
Phone: (770) 301-4491
Fax: (770) 301-2031
www.wkarchitects.com

WK ARCHITECTS INC.
B-1111
1213 DAY BREAK LANE,
LONG GROVE, ILINOIS

FOUNDATIONS DETAILS

APP'D: MKG
CHECKED: MKG
DRAWN: SBK:KFS
DATE: 11/22/21
PROJ NO: 30048
PREV NO: (646KH) 1

SHEET NUMBER
D-2
OF B



NOTE: FLASHING SHALL BE RUBBERIZED ASPHALT FLASHING. MANY MANUFACTURERS STANDARD PRODUCT FLASHING PRODUCT CONSISTING OF A TYPICAL HIGHLY ADHESIVE RUBBERIZED ASPHALT COMPOUND BONDED TO A HIGH DENSITY CROSS LAMINATED POLYETHYLENE FILM TO PRODUCE AN OVERALL SIMILAR THICKNESS. SIX MIL (6 MIL) POLYETHYLENE IS NOT ACCEPTABLE (TYP.)

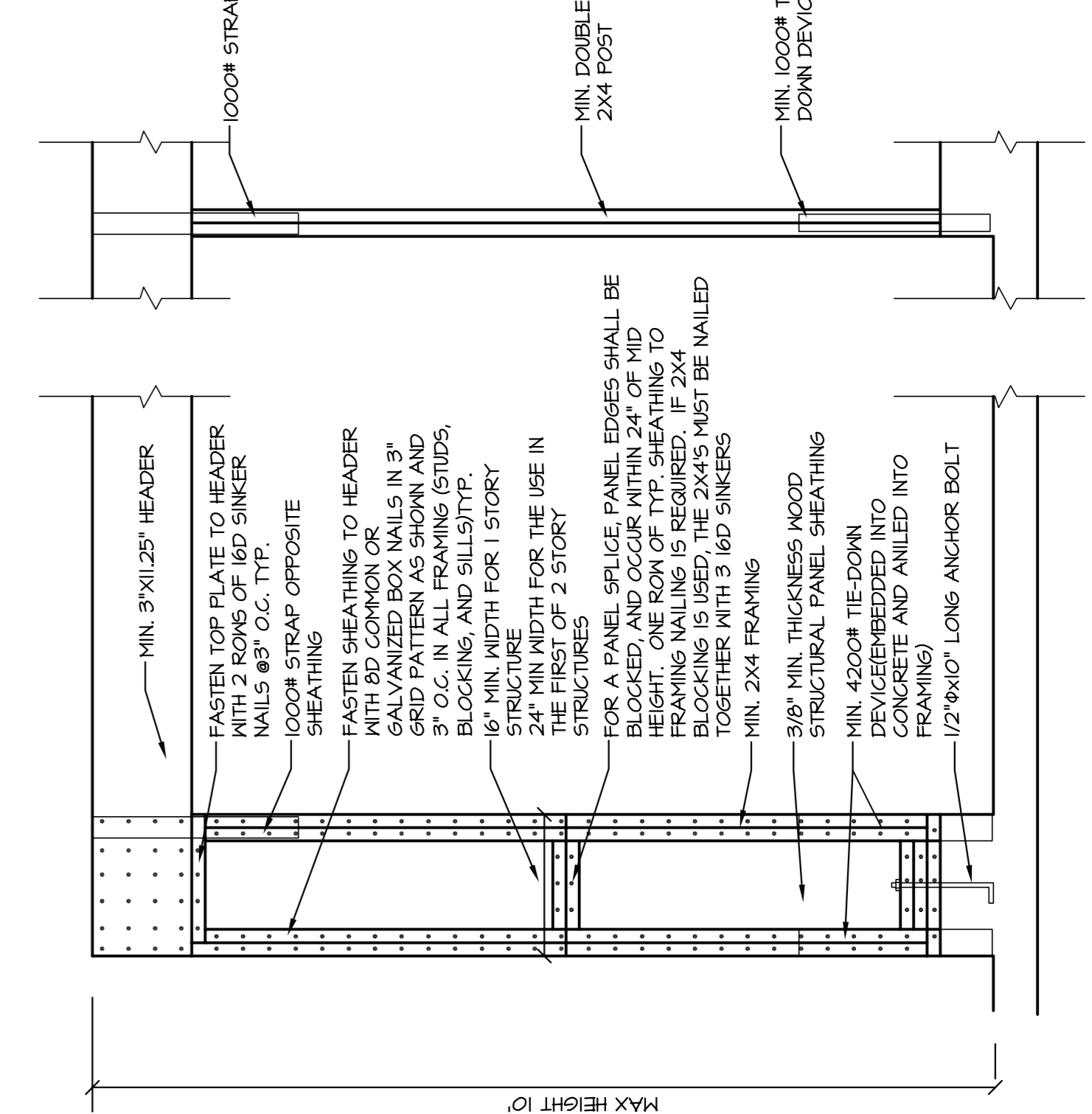
FLASHING AT BRICK WALL BASE
1/27/17

ALLOWABLE SPANS FOR LINTELS SUPPORTING MASONRY VENEER

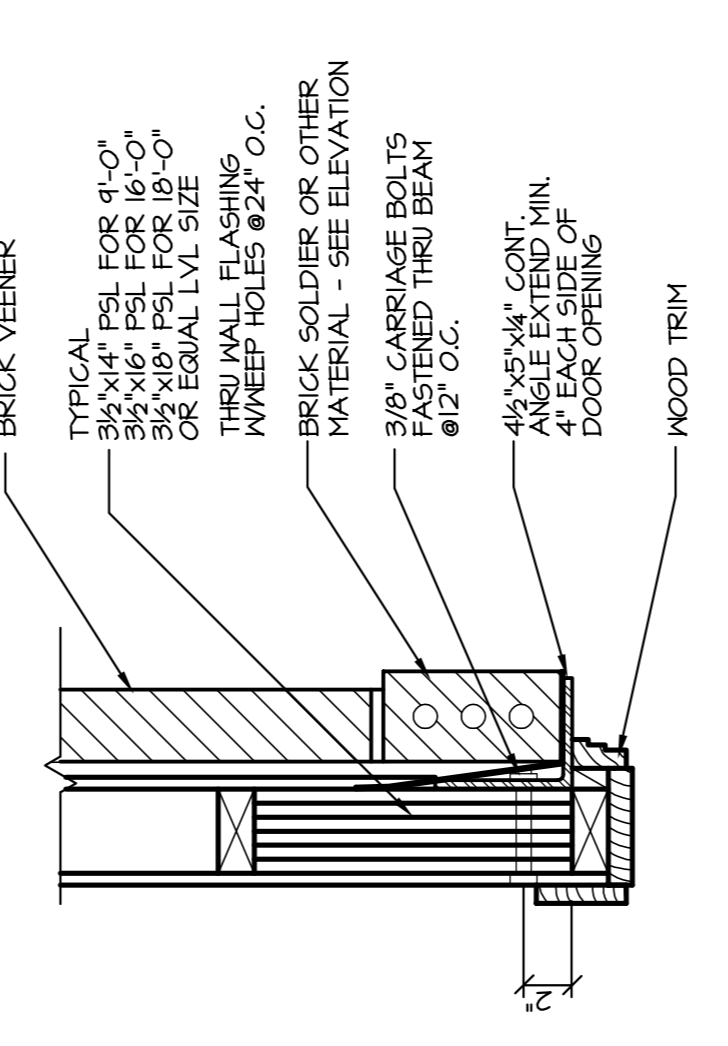
SIZE OF STEEL LINTEL	NO. STORIES ABOVE	ONE STORY ABOVE	TWO STORIES ABOVE	THREE STORIES ABOVE
3" x 3" x 1/8"	6'-0"	3'-0"	3'-0"	2'-0"
4" x 4" x 1/8"	8'-0"	4'-0"	4'-0"	3'-0"
6" x 6" x 1/8"	10'-0"	5'-0"	5'-0"	4'-0"

A LINTEL SHALL BE USED IN ALL VERTICAL OPENINGS. ALL STEEL MEMBERS SHOWN ARE NEGATIVE TYPICAL EXAMPLES. CHECK WITH STRUCTURAL DESIGNER FOR ANY OTHER REQUIREMENTS.

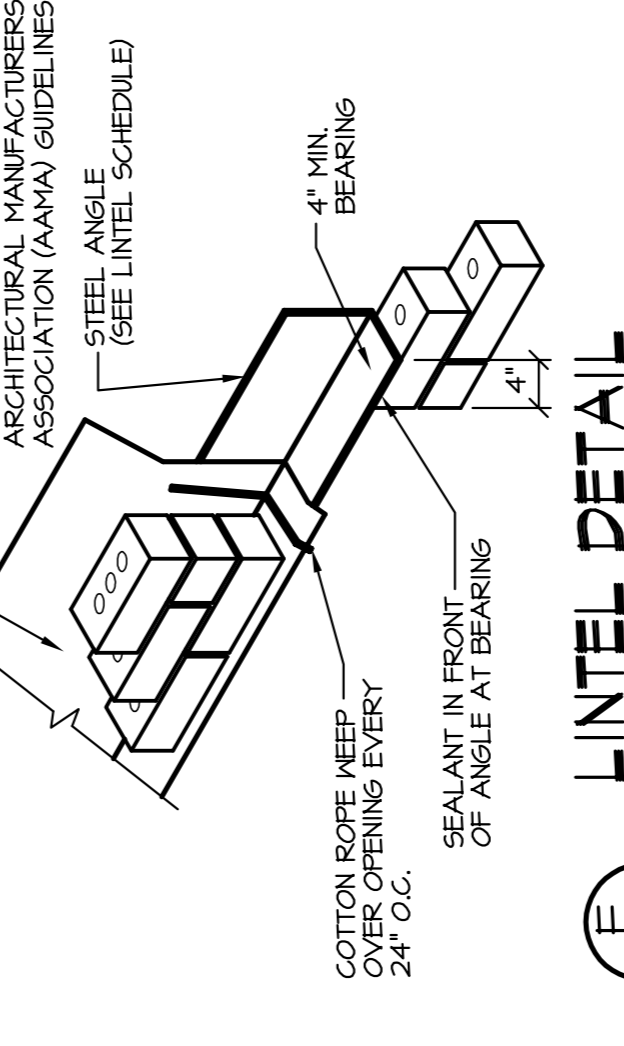
LINTEL SCHEDULE
1/27/17



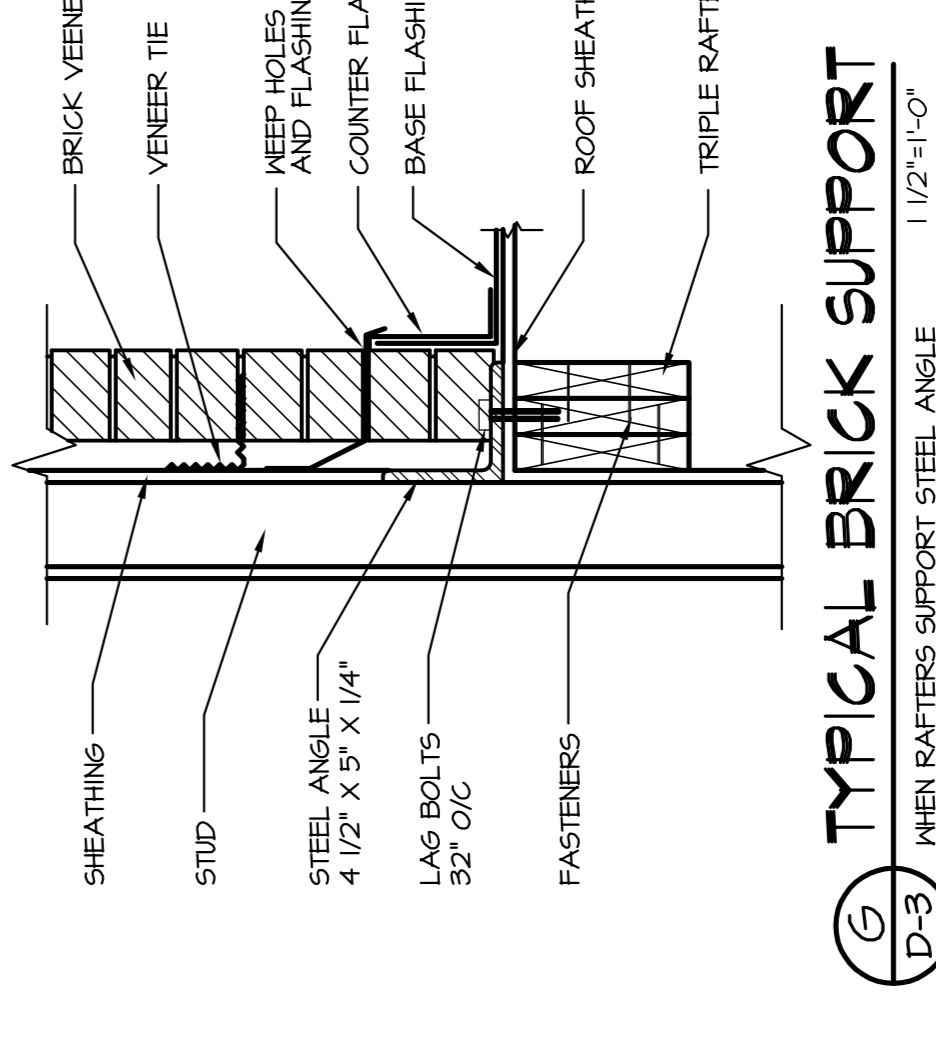
ALTERNATE BRACED WALL PANEL ADJACENT TO A DOOR OR WINDOW OPENING
1/27/17



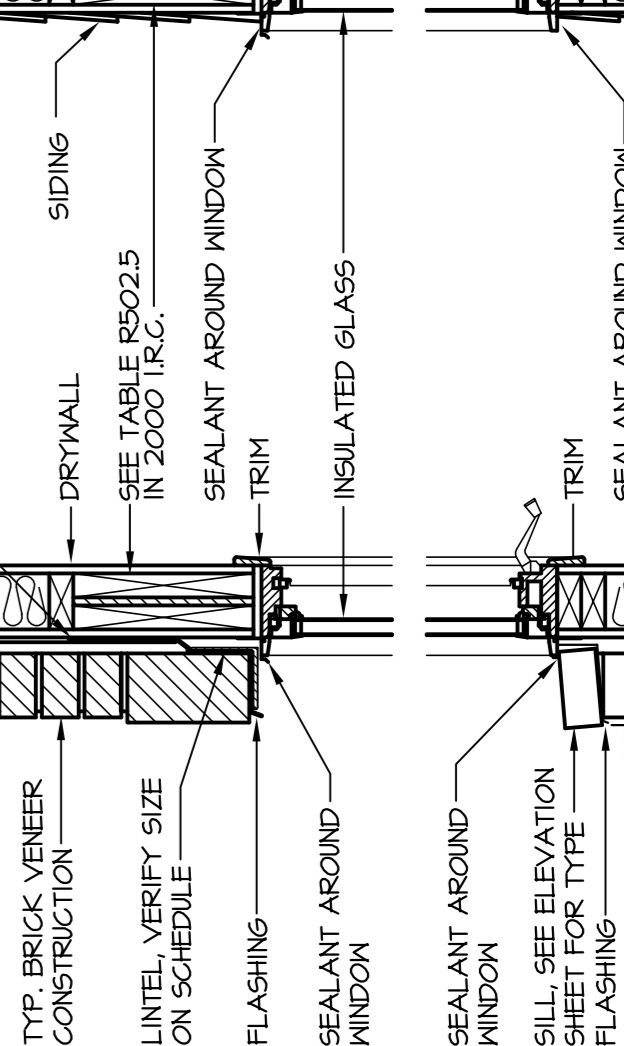
BRICK SUPPORT AT GARAGE DOOR
1/27/17



LINTEL DETAIL
3/4/17



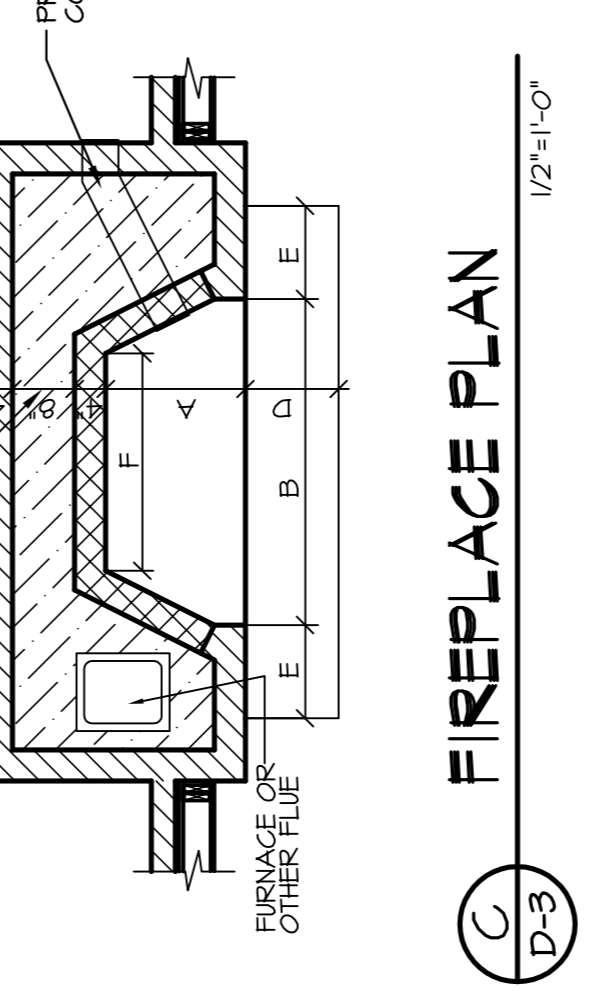
TYPICAL BRICK SUPPORT
1/27/17



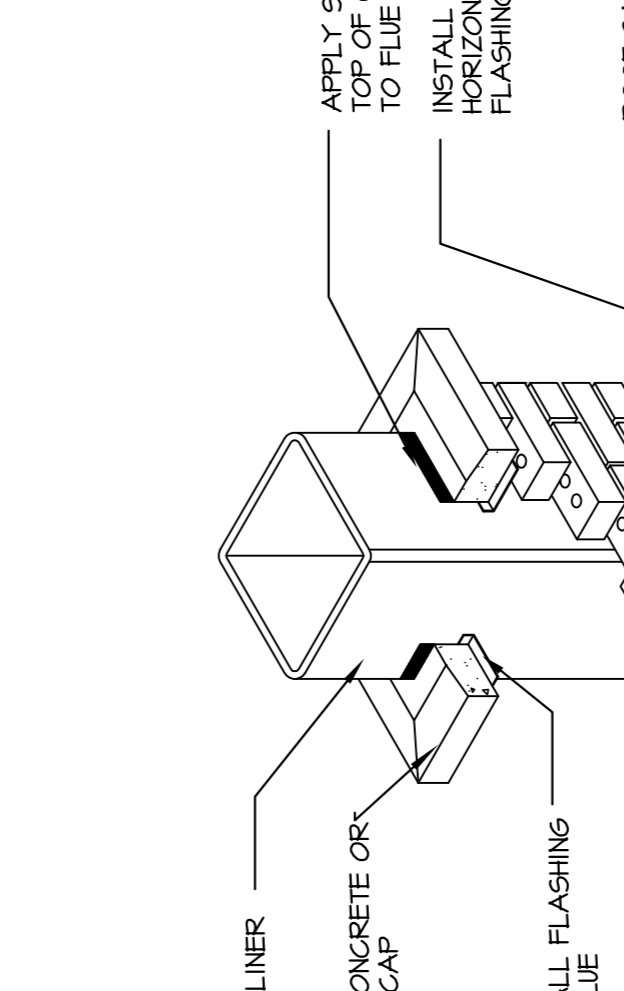
WINDOW DETAIL
3/4/17

RECALCULATED OPENINGS FOR MASONRY BRICKS, RECALCULATED OPENINGS FOR MASONRY BRICKS, RECALCULATED OPENINGS FOR MASONRY BRICKS

OPENING	DEPTH	HEIGHT	WIDTH	FINISH	FINISH	FINISH
A	24"	30"	14"	14"	14"	14"
B	24"	30"	14"	14"	14"	14"
C	24"	30"	14"	14"	14"	14"
D	24"	30"	14"	14"	14"	14"
E	24"	30"	14"	14"	14"	14"
F	24"	30"	14"	14"	14"	14"
G	24"	30"	14"	14"	14"	14"
H	24"	30"	14"	14"	14"	14"
I	24"	30"	14"	14"	14"	14"
J	24"	30"	14"	14"	14"	14"
K	24"	30"	14"	14"	14"	14"
L	24"	30"	14"	14"	14"	14"
M	24"	30"	14"	14"	14"	14"
N	24"	30"	14"	14"	14"	14"
O	24"	30"	14"	14"	14"	14"
P	24"	30"	14"	14"	14"	14"
Q	24"	30"	14"	14"	14"	14"
R	24"	30"	14"	14"	14"	14"
S	24"	30"	14"	14"	14"	14"
T	24"	30"	14"	14"	14"	14"
U	24"	30"	14"	14"	14"	14"
V	24"	30"	14"	14"	14"	14"
W	24"	30"	14"	14"	14"	14"
X	24"	30"	14"	14"	14"	14"
Y	24"	30"	14"	14"	14"	14"
Z	24"	30"	14"	14"	14"	14"



FIREPLACE PLAN
1/27/17



TYPICAL CHIMNEY AT ROOF
1/27/17



BRICK SUPPORT @ RAKE
3/4/17

REVISIONS

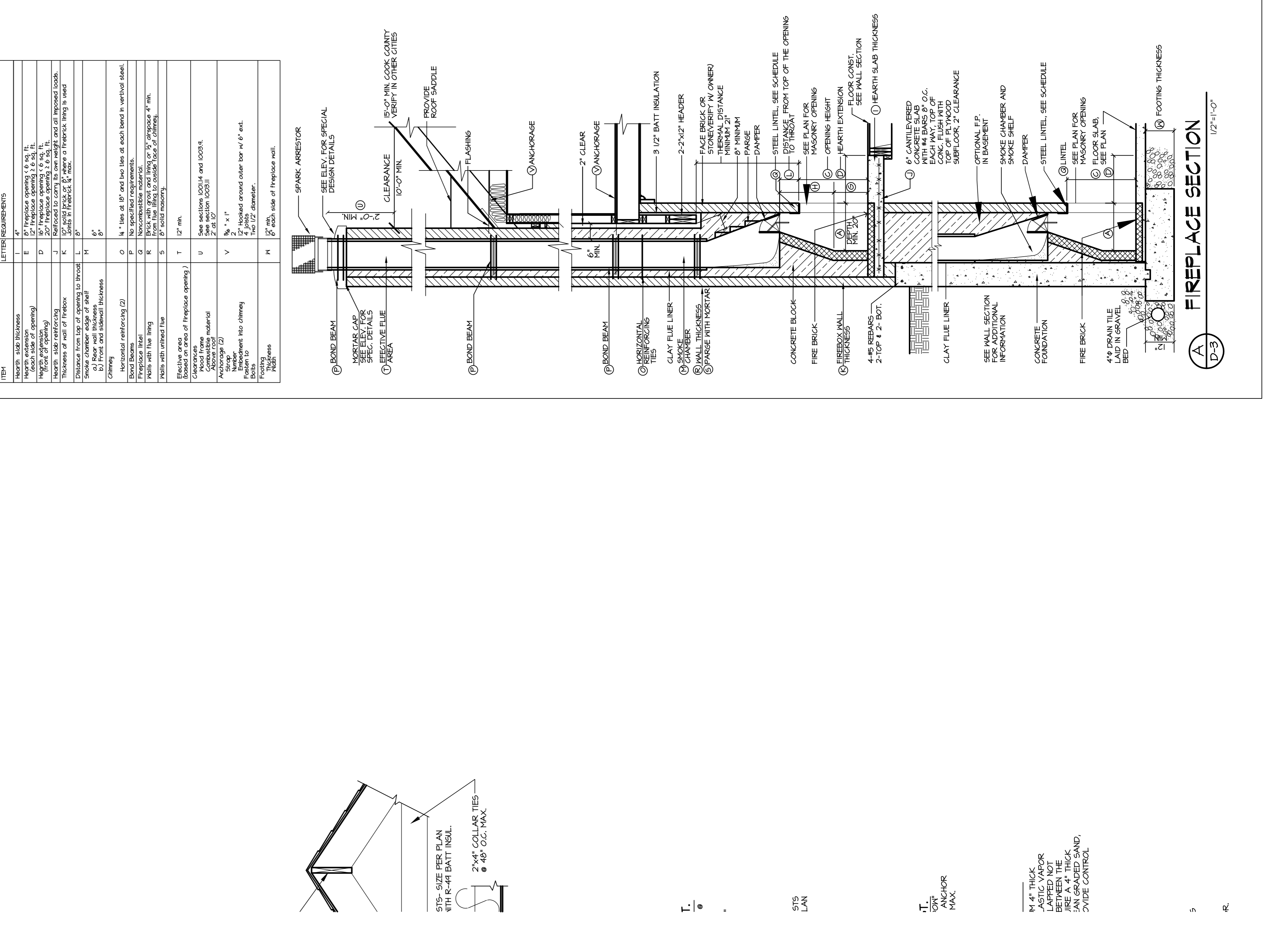
1	2017-01-01	ISSUE FOR PERMIT
2	2017-01-01	ISSUE FOR PERMIT
3	2017-01-01	ISSUE FOR PERMIT
4	2017-01-01	ISSUE FOR PERMIT
5	2017-01-01	ISSUE FOR PERMIT
6	2017-01-01	ISSUE FOR PERMIT
7	2017-01-01	ISSUE FOR PERMIT
8	2017-01-01	ISSUE FOR PERMIT
9	2017-01-01	ISSUE FOR PERMIT
10	2017-01-01	ISSUE FOR PERMIT
11	2017-01-01	ISSUE FOR PERMIT
12	2017-01-01	ISSUE FOR PERMIT
13	2017-01-01	ISSUE FOR PERMIT
14	2017-01-01	ISSUE FOR PERMIT
15	2017-01-01	ISSUE FOR PERMIT
16	2017-01-01	ISSUE FOR PERMIT
17	2017-01-01	ISSUE FOR PERMIT
18	2017-01-01	ISSUE FOR PERMIT
19	2017-01-01	ISSUE FOR PERMIT
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21	2017-01-01	ISSUE FOR PERMIT
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23	2017-01-01	ISSUE FOR PERMIT
24	2017-01-01	ISSUE FOR PERMIT
25	2017-01-01	ISSUE FOR PERMIT
26	2017-01-01	ISSUE FOR PERMIT
27	2017-01-01	ISSUE FOR PERMIT
28	2017-01-01	ISSUE FOR PERMIT
29	2017-01-01	ISSUE FOR PERMIT
30	2017-01-01	ISSUE FOR PERMIT

THE MOZNAK RESIDENCE
1213 DAY BREAK LANE,
LONG GROVE, ILLINOIS

WKOLSON ARCHITECTS INC.
1824 Town Center Dr., Huntley, IL 60149
Phone: (708) 301-2030
Fax: (708) 301-2033
www.wkolsonarch.com

BRICK DETAILS
DRAWN: RBK/RFK
CHECKED: MKD
DATE: 11/22/16
APP. ID: 1902

PROJ. NO.: 30026
PREV. NO.: (64647) I
SHEET NUMBER: D-3
DATE: 11/22/16



FIREPLACE SECTION
1/27/17

Ravenna East Homeowners Association

February 04, 2022

Winter Bunnies 24, LLC
1600 A Vermont Drive
Elk Grove Village, IL 60007

Reference: Architectural Modification Request Approval Letter
7213 RFD Daybreak Lane, Long Grove, IL 60060
XN1380399 Acct# 51978116

Dear Winter Bunnies 24, LLC,

Your request for an Architectural Modification for the Ravenna East Homeowners Association on your property at 7213 RFD Daybreak Lane has been approved. Specifically, you have approval to proceed with the following request as submitted: -Single family home, black windows, white brick, 3,500 sqft,

The above-mentioned alteration or addition must remain in compliance with the Association's guidelines and restrictions. Please do not deviate from the plans submitted unless otherwise noted. If your plans need to be changed, please contact management and submit a revised architectural request.

Owners are responsible to contact the City or Village to obtain any necessary or required approval or permits. The Association's approval is subject to the municipality's approval or permitting process.

If applicable, please consider the safety of you and your neighbors and contact JULIE before you or a contractor, begin any digging projects, regardless of depth or project size. Today more electric, gas, water, sewer and telecommunication companies are delivering utility services underground. To avoid personal injury and damage to those lines, the state law requires you to contact JULIE before any digging projects.

Any debris, dirt excavated, and building material from the installation or alteration needs to be hauled offsite and NOT dumped in the common areas within the community. If any items located on common areas, public property and neighboring lots are damaged due to the construction of this alteration you, the owner and/or your contractor, must be responsible for any costs to repair the area.

We appreciate your cooperation in meeting the established guidelines as set forth in your community. It is recommended that you keep this approval letter with your other important home-related papers. If you have questions please contact Property Specialists, Inc. at (847) 806-6121 or email, info@psmanagement.net.

Please note that the Association reserves the right to make a final inspection to ensure that your project is compliant with the architectural design standards applicable to your neighborhood.

Sincerely,

Board of Directors
Ravenna East Homeowners Association

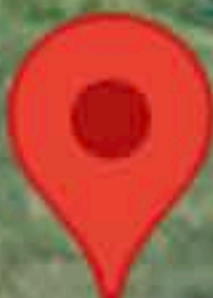
Professionally Managed By:



2155 Point Boulevard, Suite 210 - Elgin, IL 60123
(847) 806-6121 - Fax (847) 806-6154
www.psimanagement.net



7215



7213 Daybreak Ln
Recently viewed

7211

Daybreak Ln

Daybreak Ln

7216

7214

7212



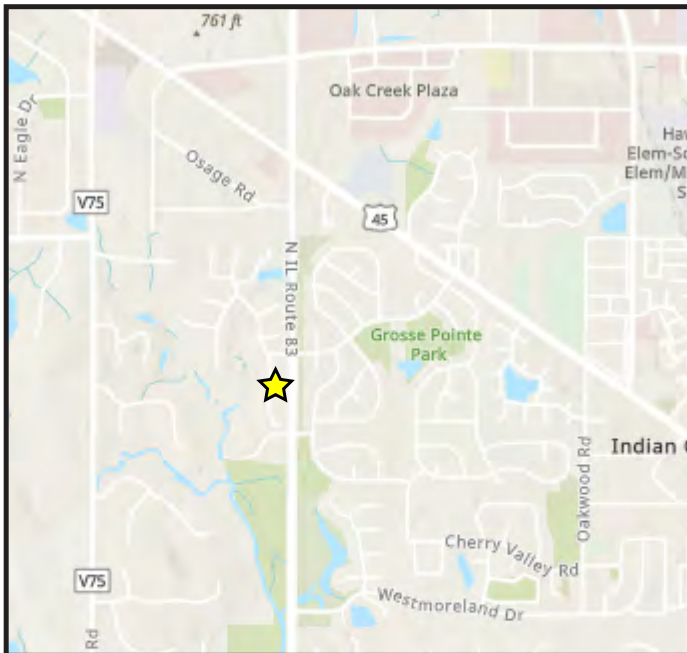
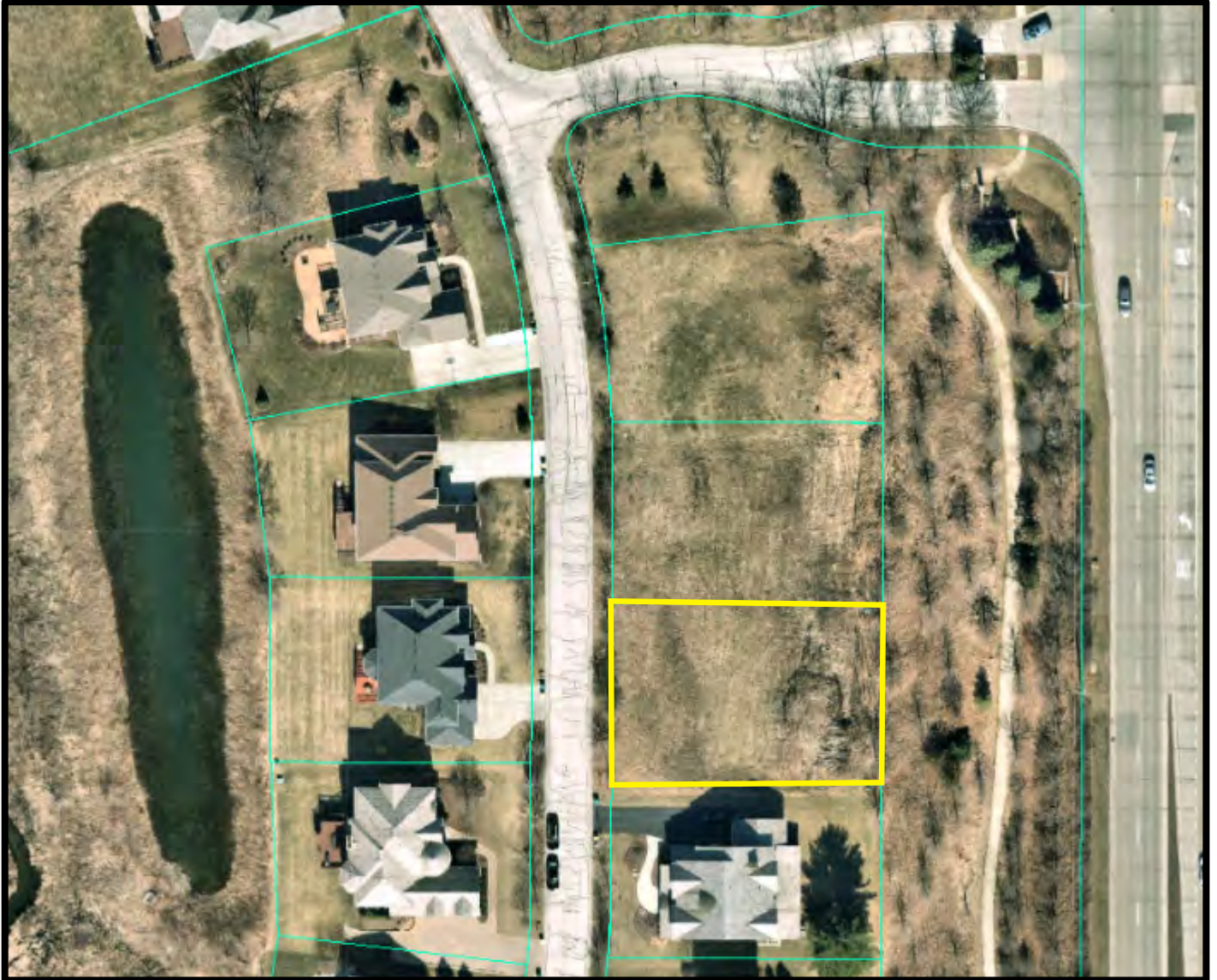








Location Map: 7213 Daybreak Lane



Legend

 7213 Daybreak Lane



RESIDENTIAL REGULATIONS (Section 5-3-11):

The following are excerpts of applicable portions of the Village Sign Ordinance.

- (A) *Purpose.* The intent of this section is to ensure sufficient variety in detached single-family dwellings to prevent monotony, and to foster the quality and character of residential construction traditionally found in the Village. At the same time, these regulations are designed to provide freedom for homeowners to design detached single-family dwellings that meet their needs and choices and to encourage creativity.
- (B) *Mandatory Criteria.* The following criteria shall apply to all new detached single-family dwelling construction:
1. *Similarity Regulated.* No detached single-family dwelling may be similar to any other detached single-family dwelling along a street or cul-de-sac, or within 1,500 feet (as measured from lot line to lot line), whichever is more restrictive.
 2. *Window, Door, and Trim.* Each detached single-family dwelling shall have similar style and quality window, door, trim, and decorative moldings on all exterior building elevations of the detached single-family dwelling.
 3. *Building Materials.* Identical or substantially similar siding materials or veneers shall be used on all exterior sides of the detached single-family dwelling. This does not prohibit the use of veneers or changes of materials on a facade where, for example, materials might change at the second floor or at a windowsill height. Where a wing or projection of the building is offset, the wing or projection may use different materials to give it emphasis, provided the materials are applied to the entire wing or projection.
 4. *Roof Overhangs.* An important element of design is the shadow lines that are created by roofs and help articulate the building. Any detached single-family dwelling having a pitched roof shall have eaves that extend a sufficient distance to create shadow lines. A variety of overhangs is desired. The following standards shall apply:
 - (a) *Variety.* Within a subdivision or planned unit development, the detached single-family dwellings shall have a variety of different roof overhang profiles.
 - (b) *Extension.* The overhang of a detached single-family dwelling, not including gutters, shall extend at least eight inches beyond the plane of the wall.
 - (c) *Exception.* The minimum overhang shall not apply to any individual detached single-family dwelling built in a historical style where overhangs were not part of the style (Cape Cod, for example) or in a unique individual design. The architectural board shall review the architectural plans for such dwellings.
 5. *Garage Placement and Orientation.* Within a particular subdivision or planned unit development, no more than 25 percent of garages may be front loads located at the front of the detached single-family dwelling. The following are preferred alternatives to front load garages, which alternatives are illustrated on appendix 1 on file in the village:
 - (a) Side load garages.
 - (b) Side loading front garages. These are garages located in wings in front of the principal facade or entrance facade.
 - (c) Recessed front loading garages. Where the two-car garage is in a wing that is recessed 20 feet or more behind the front elevation, it shall not be considered a front-loaded garage.
 - (d) Rear garages. These are either freestanding or attached garages that are located to the rear and that have the view from the street screened by a wing of the building.

- (C) *Multiple Dwellings.* An owner who builds more than one detached single-family dwelling must utilize four or more of the following techniques to avoid monotony and ensure quality:
1. *Roof Heights.* Utilize dissimilar roof heights. One or a combination of the following shall be used to achieve the desired effect:
 - (a) Vary the number of stories on adjoining lots.
 - (b) Vary the roof pitches on otherwise similar detached single-family dwellings.
 - (c) Vary the roofline height on the individual detached single-family dwelling. The number of stories can be varied on the dwelling. Where the width of the dwelling is changed, the roof can be stepped down even though the stories remain similar. Wings should be of different heights based on different stories or widths.
 2. *Roof Orientation.* Vary roof orientation so that the gable ends are oriented in a different direction than an otherwise similar detached single-family dwelling.
 3. *Floor Plans.* Utilize different floor plans with distinctive shapes, such as wings or elements that sharply contrast with adjoining dwellings or significant (at least 20 percent) changes in width of the central dwelling. Repetitive use of a similar form and floor plans having similar masses on different models is not permitted. A wing must protrude from the front of the building a minimum of eight feet to be considered a wing.
 4. *Placement on Lots.* Vary the location of the detached single-family dwellings in relation to the required front and side yard setbacks.
 5. *Rotation or Flipping.* Rotate the floor plan by 90 degrees or utilize a 180-degree flip combined with major differences in the plane of the front elevation.
 6. *Lot Frontage and Size.* Utilize significant variation in the width of detached single-family dwellings which results in clearly different modules of windows and doors.
 7. *Architectural Style.* Utilize different architectural styles for similar floor plans, which employ all the elements of a given style and are applied consistently throughout the dwelling.
 8. *Architectural Details and Features.* Utilize different details for the chimney, entrance, garage design, dormers, porches, and building materials to significantly alter the appearance of a detached single-family dwelling to make it visually very different.
- (D) *Individual Review.* The owner shall submit a separate plan for each detached single-family dwelling to the Building Superintendent for individual review and approval prior to issuance of a building permit. Applications shall include photos of the facades of the buildings or architectural elevations of existing dwellings along the same street or cul-de-sac or within 1,500 feet of the lot line of the proposed lot, whichever is more restrictive. The Building Superintendent may, when he deems it necessary to ensure compliance with this section, refer any such application to the Architectural Board for review and comments.
- (E) *Appeals.*
1. If the Building Superintendent denies an application, the owner can appeal that decision to the Architectural Board within ten days of the denial by filing a written notice of appeal with the Village Clerk. The Architectural Board may affirm, modify, or reverse the decision of the Building Superintendent.
 2. The owner can appeal a decision of the Architectural Board to the Village Board within ten days of the denial by filing a written notice of appeal with the Village Clerk. The Village Board may affirm, modify, or reverse the decision of the Architectural Board.

3. Any appeal under this subsection (E) shall be reviewed in light of the criteria in subsections (B) and (C) of this section and the purposes in subsection (A) of this section.

(F) *Responsibility.* It is the responsibility of the owner to establish to the satisfaction of the Village that the application fully complies with the provisions of this section.

(G) *Deviations.* for good cause shown, the Village Board may approve deviations from strict conformity with this section when the owner establishes to the satisfaction of the Village Board that any such deviations are reasonably necessary and are not contrary to the purpose and intent of this section.

CHAPTER 20
ARCHITECTURAL CONTROL

SECTION:

5-20-1: Prohibition, Criteria

5-20-1: **PROHIBITION, CRITERIA:** No building permits shall be issued for any new building or for remodeling or alteration of an existing building which if erected, remodeled or altered would produce one or more of the harmful effects set forth in section 2-3-1 of this code. In considering whether the erection, remodeling or alteration of a building, awning, sign, fence or other structure will produce one or more of the harmful effects set forth in section 2-3-1 of this code, the architectural board shall consider whether there exists one or more of the following:

- (A) Excessive similarity or dissimilarity in design in relation to any other structure existing or for which a permit has been issued within a distance of one thousand feet (1,000') of the proposed site or in design generally prevailing in the area in respect to one or more of the following features:
1. Apparently identical facade;
 2. Substantially identical size and arrangement of either doors, windows, porticoes or other openings or breaks in the facade facing the street, including a reverse arrangement thereof;
 3. Cubical contents;
 4. Gross floor area;
 5. Other significant design features, such as, but not limited to, roofline, height of building, construction or quality of architectural design; or

5-20-1

5-20-1

6. Location and elevation of building upon the site in relation to contiguous properties.

(B) Inappropriateness in relation to any other property in same or any adjoining district of design, landscaping, building materials, and use thereof, orientation to site, or placement of parking, storage or refuse areas. (Ord. 98-O-14, 5-26-1998)

CHAPTER 22

ANTIMONOTONY STANDARDS

SECTION:

- 5-22-1: Purpose
- 5-22-2: Mandatory Criteria
- 5-22-3: Multiple Homes
- 5-22-4: Individual Review
- 5-22-5: Appeals
- 5-22-6: Responsibility
- 5-22-7: Deviations

5-22-1: **PURPOSE:** The intent of this chapter is to ensure sufficient variety in residential homes to prevent monotony and to foster the quality and character of residential construction traditionally found in the village. At the same time, these regulations are designed to provide freedom for homeowners to design homes that meet their needs and choices and to encourage creativity. (Ord. 2002-O-6, 2-12-2002)

5-22-2: **MANDATORY CRITERIA:** The following criteria shall apply to all new single-family residence construction:

- (A) **Similarity Regulated:** No home may be similar to any other home along a street or cul-de-sac, or within one thousand five hundred feet (1,500') (as measured from property line to property line), whichever is more restrictive.
- (B) **Window, Door, And Trim:** The home shall have similar style and quality window, door, trim, and decorative moldings on all exterior building elevations of the home.
- (C) **Building Materials:** Identical or substantially similar siding materials or veneers shall be used on all exterior sides of the home. This does not prohibit the use of veneers or changes of materials on a facade where, for example, materials might change at the second floor or at

a windowsill height. Where a wing or projection of the building is offset, the wing or projection may use different materials to give it emphasis, provided the materials are applied to the entire wing or projection.

(D) **Roof Overhangs:** An important element of design is the shadow lines which are created by roofs and help articulate the building. All homes having pitched roofs shall have eaves that extend a sufficient distance to create shadow lines. A variety of overhangs is desired. The following standards shall apply:

1. **Variety:** The subdivision or planned unit development as a whole shall have a variety of different roof overhang profiles.

2. **Extension:** The overhang, not including gutters, shall extend at least eight inches (8") beyond the plane of the wall.

3. **Exception:** The minimum overhang shall not apply for individual homes built in an historical style where overhangs were not part of the style (Cape Cod, for example) or in a unique individual design. The architectural board shall review the architectural plans for such buildings.

(E) **Garage Placement And Orientation:** Within a particular subdivision or planned unit development, no more than twenty five percent (25%) of garages may be front loads located at the front of the house. The following are preferred alternatives to front load garages:

1. Side load garages.

2. Side loading front garages. These are garages located in wings in front of the principal facade or entrance facade.

3. Recessed front loading garages. Where the two (2) car garage is in a wing that is recessed twenty feet (20') or more behind the front elevation, it shall not be considered a front loaded garage.

4. Rear garages. These are either freestanding or attached garages that are located to the rear and that have the view from the street screened by a wing of the building. (Ord. 2002-O-6, 2-12-2002)

5-22-3: **MULTIPLE HOMES:** Applicants who build more than one home within a subdivision or planned unit development must

utilize four (4) or more of the following techniques to avoid monotony and ensure quality:

- (A) **Roof Heights:** Utilize dissimilar roof heights. One or a combination of the following shall be used to achieve the desired effect:
1. Vary the number of stories on adjoining lots.
 2. Vary the roof pitches on otherwise similar homes.
 3. Vary the roofline height on the individual house. The number of stories can be varied on the dwelling. Where the width of the home is changed, the roof can be stepped down even though the stories remain similar. Wings should be of different heights based on different stories or widths.
- (B) **Roof Orientation:** Vary roof orientation so that the gable ends are oriented in a different direction than an otherwise similar home.
- (C) **Floor Plans:** Utilize different floor plans with distinctive shapes, such as wings or elements that sharply contrast with adjoining units or significant (at least 20 percent) changes in width of the central building. Repetitive use of a similar form and floor plans having similar masses on different models is not permitted. A wing must protrude a minimum of eight feet (8') to be considered a wing.
- (D) **Placement On Lots:** Vary the location of the homes in relation to the required front and side yard setbacks.
- (E) **Rotation Or Flipping:** Rotate the floor plan by ninety degrees (90°) or utilize a one hundred eighty degree (180°) flip combined with major differences in the plane of the front elevation.
- (F) **Lot Frontage And Size:** Utilize significant variation in the width of homes which results in clearly different modules of windows and doors.
- (G) **Architectural Style:** Utilize different architectural styles for similar floor plans, which employ all the elements of a given style and are applied consistently throughout the home.
- (H) **Architectural Details And Features:** Utilize different details for the chimney, entrance, garage design, dormers, porches, and building materials to significantly alter the appearance of a home to make it visually very different. (Ord. 2002-O-6, 2-12-2002)

5-22-4

5-22-7

5-22-4: **INDIVIDUAL REVIEW:** The applicant shall submit a separate plan for each home to the village superintendent for individual review and approval prior to issuance of a building permit. Applications shall include photos of the facades of the buildings or architectural elevations of existing homes along the same street or cul-de-sac or within one thousand five hundred feet (1,500') of the property line of the proposed homesite, whichever is more restrictive. The village superintendent may, when he deems it necessary to ensure compliance with this chapter, refer any such application to the architectural board for review and comments. (Ord. 2002-O-6, 2-12-2002)

5-22-5: **APPEALS:**

(A) If the village superintendent denies an application, the applicant can appeal that decision to the architectural board within ten (10) days of the denial by filing a written notice of appeal with the village clerk. The architectural board may affirm, modify, or reverse the decision of the village superintendent.

(B) The applicant can appeal a decision of the architectural board to the village board within ten (10) days of the denial by filing a written notice of appeal with the village clerk. The village board may affirm, modify, or reverse the decision of the architectural board. (Ord. 2002-O-6, 2-12-2002)

5-22-6: **RESPONSIBILITY:** It is the responsibility of the applicant to establish to the satisfaction of the village that the application fully complies with the provisions of this chapter. (Ord. 2002-O-6, 2-12-2002)

5-22-7: **DEVIATIONS:** For good cause shown, the village board may approve deviations from strict conformity with this chapter when the applicant establishes to the satisfaction of the village board that any such deviations are reasonably necessary and are not contrary to the purpose and intent of this chapter. (Ord. 2002-O-6, 2-12-2002)

2023 DRAFT MEETING SCHEDULE



2023 ARCHITECTURAL COMMISSION (AC) REGULAR MEETING DATES

REGULAR MEETING DATE (3RD Monday of the Month)

January 16, 2023 *

February 20, 2023

March 20, 2023

April 17, 2023

May 15, 2023

June 19, 2023

July 17, 2023

August 21, 2023

September 18, 2023

October 16, 2023

November 20, 2023

December 18, 2023

* Martin Luther King Day – No AC Meeting

- The Village of Long Grove AC regularly meets at 7:00 PM at the Village Hall every 3rd Monday of each month unless otherwise noticed.
- Complete applications must be submitted at least ten (10) days prior to the scheduled meeting date.