

AGENDA ARCHITECTURAL COMMISSION REGULAR MEETING

Monday, August 29, 2022 at 7:00 P.M.

Location: Long Grove Village Hall 3110 Old McHenry Road, Long Grove, IL 60047

- 1. CALL TO ORDER
- 2. ATTENDANCE
- 3. VISITOR BUSINESS / PUBLIC COMMENTARY
- 4. APPROVAL OF MINUTES
 - a. Approval of the July 18, 2022 Draft Meeting Minutes
- 5. OLD BUSINESS
 - a. AC2022-011 Review of a proposed single-family residence at 7237 Greywall Court.
- 6. NEW BUSINESS
 - a. AC2022-013 Review of a proposed single-family residence at 7234 Roxbury Court.
- 7. QUESTIONS AND COMMENTS
- 8. ADJOURNMENT

Next Scheduled Meeting: September 19, 2022 @ 7:00 PM

The Village of Long Grove is subject to the requirements of the Americans with Disabilities Act of 1990 Individuals with disabilities who plan to attend this meeting and who require certain accommodations in order to allow them to observe and/or participate in this meeting, or who have questions regarding the accessibility of the meeting or the facilities, are requested to phone the Long Grove Village Manager at 847-634-9440 or TDD 847-634- 9650 promptly to allow the Village of Long Grove to make reasonable accommodations for those persons.

Meeting Minutes

MEETING MINUTES OF THE LONG GROVE ARCHITECTURAL COMMISSION REGULAR MEETING

July 18, 2022 7:00 P.M.

Commissioner Roiter called the meeting of the Long Grove Architectural Commission (AC) to order at 7:00 p.m. with the following members present.

Members Present: Allen Roiter; John Marshall; Matthew Akins; Jeanne Sylvester; and John Plunkett.

Members Absent: Laura Mikolajczak

Also Present: Amanda Orenchuk and Jessica Marvin, Community Development Services, and members of the public.

A motion was made by Commissioner Roiter, seconded by Commissioner Marshall, to allow Jeanne Sylvester to participate remotely due to medical reasons.

Ayes: A. Roiter; J. Marshall; J. Plunkett; M. Akins

Nays:

Absent: L. Mikolajczak Abstain: J. Sylvester

VISITORS BUSINESS

None.

APPROVAL OF MINUTES

1) Approval of the May 16, 2022 Draft Meeting Minutes.

Commissioner Roiter and Chairwoman Sylvester provided corrections to various typographical errors on pages three and six of the minutes.

A motion was made by Commissioner Roiter, seconded by Commissioner Marshall, to recommend approval of the May 16, 2022, meeting minutes, as amended.

Ayes: A. Roiter; J. Marshall; M. Akins; J. Plunkett; J. Sylvester

Nays:

Absent: L. Mikolajczak

2) Approval of the June 20, 2022 Draft Meeting Minutes.

Chairwoman Sylvester provided corrections to various typographical errors on pages two of the minutes.

A motion was made by Commissioner Roiter, seconded by Commissioner Marshall, to recommend approval of the June 20, 2022, meeting minutes, as amended.

Ayes: A. Roiter; J. Marshall; M. Akins; J. Plunkett; J. Sylvester

Nays:

Absent: L. Mikolajczak

NEW BUSINESS

 Consideration of a request for a new single-family home, 7237 Greywall Court and within the Concord Homes' Ravenna Planned Unit Development, submitted by Muhammad Khan, the future homeowner.

Associate Planner Marvin provided an overview of the proposed new single-family residence. Neither of the homeowner or architect were present for the meeting.

Chairwoman Sylvester had concern with the lack of variety of building materials on the left and right elevation. Commissioner Roiter agreed with her and added there is only one window on those elevations as well. He furthered explained that with new construction all four elevations should have a fair number of windows to provide consistency with the front and rear elevations. Commissioner Marshall wondered why the homeowner wouldn't want to have more windows on the other side of the living room since it isn't a private room.

The commission has also noticed the large amount of stucco used on the front façade of the proposed residence while most of the residences on Greywall Court are constructed out of masonry. Commissioner Roiter added there is a lack of stucco and all the other elevations.

Chairwoman Sylvester drove through this neighborhood and mentioned that other residences use a variety of different materials and rooflines. She thinks the proposed residences would better fit in this neighborhood's style by breaking up the massive flat face planes with different materials or ornamentations.

Commissioner Plunkett mentioned that this is a larger residence and doesn't understand why the architect chose a box chimney that is wrapped with siding. He thinks it cheapens the look of the overall house and is inconsistent with the neighborhood. Commissioner Roiter and Marshall suggested to use a masonry chimney to fit in with the style of the neighborhood.

Chairwoman Sylvester mentioned the proposed residence is what the commission is trying to avoid being constructed under the Village of Long Grove's antimonotony ordinance. The front façade is being constructed with multiple materials, and the three remaining facades will be constructed with majority of siding with no variation. She stated the three elevations of just siding is not acceptable within the Anti-Monotony Ordinance.

Commissioner Marshall asked what Chairwoman Sylvester if she would like to see more brick where stucco is proposed, and she does not feel comfortable making decisions on what the residence should

look like. She stated it is up to applicant and contractor to take the commissions recommendations and modify the plans to their liking. She also suggested to the commission that they recommend this case to be reheard when the applicant is present.

The commission requested staff to send a list of the commissioners' comments regarding the elevations to the architect to modify and resubmit for architectural review.

A motion was made by Commissioner Roiter, seconded by Commissioner Marshall, to send the application back to the applicant for revisions based on the comments provided from the commission below:

- The Commission had concerns about the lack of variety and consistency of materials and windows on the left, right, and rear elevations. Most of the residences in this neighborhood used a variety of different materials and rooflines. The Commissioners' suggested breaking up the massive flat face planes with different materials or ornamentations. Per the Anti Monotony Ordinance, the commission will not be recommending elevations with majority of the residences being siding. The Commission strongly encourages the applicant to incorporate the materials and windows used on the front façade into the remaining three façades.
- The Commission had concerns about the chimney and stated a box chimney wrapped in siding cheapens the look of the residence and is inconsistent with the neighborhood. They recommend using a masonry chimney to fit in with the style of the neighborhood.
- Due to the applicant/homeowners not attending the meeting the Commission did not feel comfortable reviewing the proposed new single-family residence and voting on this project without them being at the meeting. It is up to the contractor to take the Commissioners' recommendations and modify the plans to the homeowners liking.

Ayes: A. Roiter; J. Marshall; M. Akins; J. Plunkett; J. Sylvester

Nays:

Absent: L. Mikolajczak

2) Consideration of a request for a sign for "New Perspective", 2300 IL Route 53 and within the R-2 Residential Zoning District, submitted by Shannon Jones, the Executive Director of New Perspective.

Associate Planner Marvin provided an overview of the proposed signage. The commissioners compared the old "Arboria of Long Grove" signage to the proposed "New Perspective" signage and commented on the sign faces being dramatically different from each other. The commission remarked on the flatness of the sign, the bare landscaping around the ground light fixtures, and the colors (not desired by the AC).

Eric Galin, New Perspective Maintenance Director, provide more background regarding the new logo of the company. He stated the colors used for the proposed sign are corporate colors and the older residents like the colors used for the logo of the company.

Mr. Galin mentioned all the signs within the company are the same design. Staff have pointed out to the Mr. Galin and the commission that at existing locations for other New Perspective locations have different style and color of signs as the one being proposed.

Chairwoman Sylvester mentioned the Minnesota location has raised lettering and different colors for the signage than the sign being proposed in Long Grove. She asked Mr. Galin if he would change the sign to match the Minnesota location. He responded with he isn't from corporate and will have to ask Shannon Jones to see if it is a possibility to change the colors of the sign. He also stated that the New Perspective company spent a lot of money on items such as a wrapped transportation buses, pens, business cards, stickers, badges, envelopes, and etc. with the company's new logo.

Chairwoman Sylvester raised a concern regarding the flatness of the sign and suggested using raised channel lettering. It would be more pronounced and will have a nice overall appearance with raised channel lettering. Commissioner Roiter stated raised channel lettering has been the main style of signs proposed within the village. The commission has recommended to most businesses to use raised channel lettering and are opposed to flat signs. Commissioner Plunkett mentioned to install a white frame around all sides of the sign face would tie in better with the overall design but also with the crown of the sign.

Chairwoman Sylvester mentioned the ground light fixtures need to be obscured by a non-diecious shrub plant to hide the ground light fixtures in the winter. She stated Mr. Galin should plant 3 or 5 shrubs to offset the ground light fixture. The landscaping plan will be approved by the Architectural Commission in regards to how many bushes will be planted, type, and size.

Chairwoman Sylvester made a request to Mr. Galin to use the sign colors of the New Perspective at the Minnesota location because the colors are more subtle and fit within the Long Grove Style. She stated to Mr. Galin that she would like this sign to be reflected of the commissions standards they have for the village. She mentioned that if New Perspective wasn't able to consider using the subtle and elegant colors of the other signage, then the commission would like Mr. Galin to accommodate the commission elsewhere which would be the raised channeled lettering.

A motion was made by Commissioner Plunkett seconded by Commissioner Marshall, to recommend approval of a new sign face on the existing ground monument sign with the following conditions from the commission:

- Install a 2 ½" 3" (Wooden or PVC) white frame on all 4 sides of the sign face and on both sides of the ground monument sign.
- Use raised channel lettering for the words "New Perspective".
- Provide a landscaping plan for the ground monument sign to cover the ground light fixtures.

Ayes: J. Plunkett; J. Marshall; M. Akins; A. Roiter; J. Sylvester

Nays:

Absent: L. Mikolajczak
OTHER BUSINESS

A motion was made by Commissioner Roiter, seconded by Commissioner Plunkett, to cancel the regularly scheduled meeting on August 15, 2022 and reschedule the meeting to August 29, 2022.

Ayes: A. Roiter; J. Plunkett; J. Marshall; J. Sylvester; M. Akins

Nays:

Absent: L. Mikolajczak

Chairwoman Sylvester asked for an update on the following item:

• Shooting Range

There was no other business, and the next scheduled Architectural Commission meeting is for August 29, 2022 7:00 P.M.

ADJOURNMENT

With no further business, a motion to adjourn the meeting was made by Commissioner Roiter, seconded by Commissioner Plunkett.

Ayes: A. Roiter; J. Plunkett; J. Marshall; J. Sylvester; M. Akins

Nays:

Absent: L. Mikolajczak

Meeting Adjourned at 8:36 p.m.

Respectfully Submitted,

Jessica Marvin Associate Planner

AC2022-011 New Single Family Home 7237 Greywall Court



ARCHITECTURAL COMMISSION STAFF REPORT

To: Jeanne Sylvester, Chair

Architectural Commission Members

From: Jessica Marvin, Community Development Services

Subject: 7237 Greywall Court

Requests: New Single-Family Residence

Public Meeting Date: August 29, 2022

Attachments: 1. Petitioner's Application

2. Location Map

3. Current Applicable Architectural Standards4. Previous Zoning Code Sections 5-20 and 5-22

PETITIONER Muhammad Khan (future homeowner)

7237 Greywall Court Long Grove, IL

UPDATE

The applicant and architect were not present at the July 18th Architectural Commission meeting. The owner spoke with staff and the architect will be attending the August 29th scheduled meeting. The architect will discuss the proposed improvements that the commission had suggested at the August 29th meeting, as the owner is out of the country for an extended period of time for a personal matter.

REQUEST

Review of material and design of a new single-family residence at 7237 Greywall Court.

HISTORY

The Village of Long Grove entered a Settlement Agreement with the owner, Indian Valley Golf Club, Inc., consisting of 113.5 acres, generally located east of Route 83 and west of Diamond Lake Road. The Settlement Agreement provided that this property would be zoned R-3 Single Family Residential District and developed as a planned unit development. The proposed development consists of 133 lots that will be developed with single family residential dwellings. The final Concord Homes' Ravenna Planned Unit Development was approved on September 14, 2004. Majority of the homes were constructed between 2006-2014. A new home is proposed at 7237 Greywall Court.

A permit was submitted for the Khan Residence, 7237 Greywall Court, in June 2022. During the review of this new structure, it was realized that the new home required Architectural Review, pursuant to the PUD.

Per The Concord Homes' Ravenna Planned Unit Development, Section 4 (G)(1) the applicant must go through the Architectural Board of review for approval for the proposed new single-family residence.

- G. Design Standards.
 - 1. Applicant shall comply with the architectural control regulations contained in Section 5-20-1 of the Long Grove Zoning Code

Section 5-20-1

Prohibition, Criteria: No building permit shall be an existing building which if erected, remodeled or altered would produce one or more of the harmful effects set forth in section 2-3-1 of this code. In awning, sign, fence or other structure will produce one or more of the harmful effects set forth in section 2-3-1 of this code, the architectural board shall consider whether there exists one or more of the following:

- A. Excessive similarity or dissimilarity in design in relation to any other structure existing or for which permit has been issued within a distance of one thousand feet (1,000') of the proposed site or in design generally prevailing in the area in respect to one or more of the following features:
 - 1. Apparently identical façade;
 - 2. Substantially identical size and arrangement of either doors, windows, porticoes or other openings or breaks in the façade facing the street, including a reverse arrangement thereof;
 - 3. Cubical contents;
 - 4. Gross floor area;
 - 5. Other significant design features, such as but not limited to, roofline, height of building, construction or quality of architectural design; or
 - 6. Location and elevation of building upon the site in relation to contiguous properties.
- B. Inappropriateness in relation to any other property in same or any adjoining district of design, landscaping, building material, and use thereof, orientation to site, or placement of parking, storage or refuse areas.

PROPOSED PROJECT

The proposed new 4,544 sf single-family residence is located at 7237 Greywall Court. It is a side-loaded, two-story home with a basement.

Proposed materials for the Khan residence include:

- Natural Stone
 - o Fond du Lac Stone Ridge Cobble
- Fiber Cement Board Siding, Soffit and Facia
 - o Color: Navajo Beige
- Stucco
 - o Color: 404 Barn Swallow
- Heavy Cedar Shingle
 - Natural Color

The main style of residences in the neighborhood is Millennium Mansions. The proposed residence consists of Millennium Mansions Architecture.

The proposed residence incorporated many different window and door styles. Rectangular windows with transom and fanlight windows are a prominent feature throughout the whole design. The windows in the neighborhood are mainly rectangular but used different styles of windows to add some dimensions to the overall design of the residences.

The residences on Greywall Court all use similar materials such as: brick, vinyl siding, painted cedar siding, natural stone, stucco and/or EIFS. Similar materials that were listed are being used for the Khan residence but in different exterior areas of the façade compared to other residences on this street.

The front façade of the resident compared to the other residence on Greywall Court uses a large amount of stucco. The left façade has a three-car garage and uses more than 2 materials. The right façade has a lot of blank space with little use of different materials. The rear façade is broken up with a multitude of large rectangular and with transom windows.

The criteria require roof overhangs, similar quality and design of doors and windows, and varied roof lines which this proposed residence meets.

ARCHITECTURAL COMMISSION DECISION

The AC should review the single-family residence against the anti-monotony regulations and render a determination based upon those criteria as well as the appropriateness of the new single-family residence at this location in relation to other residences in the area in general. An excerpt from the Long Grove Zoning Ordinance "Residential Chapter" regarding the anti-monotony regulations is included for consideration by the Commission.

STAFF RECOMMENDATION

The AC should consider whether the materials used, and overall design of the proposed structure aligns with the character of new construction projects for the Village of Long Grove. The proposed materials are used for the other homes of the subdivision. The AC should comment on the overall design as presented. The comments of the AC will be taken into consideration with any other required action.

The residence also utilizes more than four (4) techniques to differentiate houses in the Ravenna of Long Grove neighborhood as required in the anti-monotony regulations. The proposed single-family residence uses a unique architectural style that is similar to the current residences in the neighborhood. The type of building materials used to construct this proposed residence uses similar yet different colored materials. The roof height and orientation are one of kind and will blend in with the architectural style of the other residence in the Ravenna of Long Grove neighborhood.

JNM/JLM/AO



RECEIVED
June 13, 2022
Village of Mundelein
Community Development

STRUCTURE/FIXTURE ARCHITECTURAL COMMISSION APPLICATION

				DATE: <u>05-07-2022</u>	
APPI	LICAN	Γ'S NAME:	Muhammad N Khan	E-MAIL	
ADD	RESS:_	912 Be	edford court Buffalo Grove IL	_60089PHONE: <u>847-942-2</u>	<u> 2943</u>
NAM	IE OF I	BUSINESS:			
BUSI	NESS .	ADDRESS:		PHONE:	
TYP	E OF S	TRUCTURE/F	XTURE:	Single family house	
1.	LOC A. B. C.	PROVIDE SI PROVIDE PI	RUCTURE/FIXTURE ON I TE PLAN. HOTOGRAPH OF SITE. OTAGE OF STRUCTURE		
2.	A. B.	DIMENSION ELEVATION	NNED STRUCTURE/FIX IS. IS (ALL DIRECTIONS). RIALS TO BE USED/SAM		
3.		UCTURE:		OF FIRM ERECTING OR MANAGIN PHONE: 847-942-2943	\ G
				E-MAIL	
under gover and is	stood b ning the	by the property of e commercial properties for any correction	wner(s) that he or she has reperty under this application	re any application may be processed. It read and understands the regulations on in the Village of Long Grove, accepted to meet the standards of the Village erty.	ots
BUSIN	NESS OV	WNER(S)	P		
PROP	ERTY O	WNER(S)			
APPI	ICATI	ON APPROVA	L:	DATE:	

Ravenna East Homeowners Association

June 06, 2022

Chicago Title Land Trust #8002385580 912 Bedford Court Buffalo Grove, IL 60089

Reference: Architectural Modification Request Approval Letter

7237 RFD Greywall Court, Long Grove, IL 60060

XN1523199 Acct# 51976912

Dear Chicago Title Land Trust #8002385580,

Your request for an Architectural Modification for the Ravenna East Homeowners Association on your property at 7237 RFD Greywall Court has been approved. Specifically, you have approval to proceed with the following request as submitted: -Plans Resubmitted. Please see Contractors Response.

1- We will do cedar shake shingles per plan attached. 2- Stone will be provided just as it shows on then drawings 3- The chimney was added to the Drawings, please see attached drawings 4-Please see attached stone picture. 5- The material colors were provided on the initial submission of documents. 6-We are working on the plan, but if you can approve the permit we will provide later. 7- The Rear elevation was updated with the sliding on the living room.

The above-mentioned alteration or addition must remain in compliance with the Association's guidelines and restrictions. Please do not deviate from the plans submitted unless otherwise noted. If your plans need to be changed, please contact management and submit a revised architectural request.

Owners are responsible to contact the City or Village to obtain any necessary or required approvalsor permits. The Association's approval is subject to the municipality's approval or permitting process

If applicable, please consider the safety of you and your neighbors and contact JULIE before you or a contractor, begin any digging projects, regardless of depth or project size. Today more electric, gas, water, sewer and telecommunication companies are delivering utility services underground. To avoid personal injury and damage to those lines, the state law requires you to contact JULIE before any digging projects.

Any debris, dirt excavated, and building material from the installation or alteration needs to be hauled offsite and NOT dumped in the common areas within the community. If any items located on common areas, public property and neighboring lots are damaged due to the construction of this alteration you, the owner and/or your contactor, must be responsible for any costs to repair the area.

We appreciate your cooperation in meeting the established guidelines as set forth in your community. It is recommended that you keep this approval letter with your other important home-related papers. If you have questions please contact Property Specialists, Inc. at (847) 806-6121 or email, info@psimanagement.net.

Please note that the Association reserves the right to make a final inspection to ensure that your project is compliant with the architectural design standards applicable to your neighborhood.

Sincerely,

Board of Directors

Ravenna East Homeowners Association

Ravenna East Homeowners Association

RESIDENTIAL GENERAL NOTES

- MEANS AND METHODS AND SAFETY OF WORK: THE ARCHITECT SHALL NOT CONTROL OR SPECIFY ANY MEANS OR METHODS OF ANY WORK PERFORMED BY THE GENERAL CONTRACTOR OR ANY SUBCONTRACTOR. ALL ISSUES OF JOBSITE SAFETY SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR, THE CONSTRUCTION MANAGER OR THE
- INSURANCE COVERAGE FOR PROPERTY AND PERSONAL LIABILITY INSURANCE FOR THE PERFORMANCE OF THE WORK AND TRANSPORTATION TO AND FROM THE JOBSITE. ALL CONTRACTORS EMPLOYING OTHERS SHALL HAVE WORKMAN'S COMPENSATION INSURANCE AS REQUIRED BY THE STATE OF ILLINOIS. ALL CONTRACTORS SHALL SUPPLY THE OWNER WITH CURRENT CERTIFICATES OF INSURANCE THAT NAME THE OWNER AND THE ARCHITECT AS "ALSO INSURED". SUBMITTAL OF A BID SHALL BE CONSTRUED AS EVIDENCE THAT THE CONTRACTOR HAS SUCH INSURANCE OR WILL PROVIDE SUCH INSURANCE. NOT SUB-MITTING SUCH CERTIFICATES SHALL NOT CONSTITUTE WAIVING OF CONTRACTOR'S REQUIREMENT TO CARRY INSURANCE THROUGHOUT THE DURATION OF THE JOB. BIDDER AGREES THAT NON-SUBMITTAL OF AN INSURANCE CERTIFICATE IS GROUNDS FOR WITHOLDING PAYMENT BY OWNER UNTIL CERTIFICATE IS FILED WITH THE OWNER.
- ERRORS AND CONFILCTS ON THE DRAWINGS: THE GENERAL CONTRACTOR OR CONST MANAGER SHALL BE RESPONSIBLE FOR CHECKING AND VERIFYING ALL DIMENSIONS ON DESIGN DRAWINGS AND ANY SHOP DRAWINGS. THE GENERAL CONTRACTOR OR FROM ERRORS OR CONFICTS ON THE DESIGN DRAWINGS IF THE GENERAL CONTRACTOR OR CONSTRUCTION MANAGER FAILS TO CHECK THE DRAWINGS OR THE LAYOUT FOR CONFORMANCE WITH THE OVERALL DESIGN CONCEPT. SUBCONTRACTORS ARE RESPONSIBLE FOR VERIFYING THAT ANY FOUIPMENT OR FIXTURES SPECIFIED BY MODEL NUMBER FTC. I REPLACEMENT OR RESTOCKING FEES FOR MATERIALS ORDERED BY ANY CONTRACTOR OR
- GENERAL CONTRACTOR SHALL VISIT THE SITE AND FULLY INFORM HIMSELF OF ALL EXISTING CONDITIONS AND LIMITATIONS AFFECTING THE WORK. ALL DIMENSIONS TO BE
- DO NOT SCALE DRAWINGS, DIMENSIONS GOVERN. CONTACT ARCHITECT FOR ANY
- CLARIFICATIONS ALL WORK TO BE DONE IN ACCORDANCE WITH ALL STATE AND LOCAL CODES WHICH HAVE
- AUTHORITY OVER THIS PROJECT THE CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, LICENSES AND INSPECTIONS NECESSARY AND INCIDENTAL FOR HIS INSTALLATION.
- 8. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF ALL TOOLS, DEBRIS
- GENERAL CONTRACTOR TO UNCONDITIONALLY GUARANTEE ALL WORK AND MATERIALS FOR PERIOD OF ONE YEAR AFTER ACCEPTANCE OF THE WORK AND MATERIALS.
- 10. THE G.C. SHALL BUILD THE BUILDING IN ACCORDANCE WITH THE MINIMUM STANDARDS OF THE INTERNATIONAL RESIDENTIAL CODE AND ALL LOCAL BUILDING CODES 11. G.C. TO COMPLY WITH FEDRAL OSHA STANDARDS

SECTION 0200 SITE

- EXCAVATION: UNLESS NOTED OTHERWISE. ASSUMED BEARING CAPACITY FOR FOUNDATION DESIGN IS 3000 PSF. NOTIFY ARCHITECT IMMEDIATELY IF PROPER BEARING IS NOT
- 2. SITE CLEARING: DO NOT REMOVE ANY TREES OR VEGETATION OUTSIDE OF THE IMMEDIATI AREA OF THE HOUSE. OBTAIN OWNERS WRITTEN PERMISSION BEFORE REMOVING ANY TREE OVER 2" DIAMETER. STOCKPILE TOPSOIL AND REAPPLY TO FINISH GRADE AROUND HOUSE. FINISH GRADE SHALL BE +/- 1" OF GRADES SHOWN ON DRAWING. IF NO GRADES ARE INDICATED, GRADE FOR PROPER DRAINAGE AWAY FROM AND AROUND THE HOUSE. MAINTAIN GRADE MIN. 8" BELOW TOP OF FOUNDATION.
- AREAS NOTED "UNEXCAVATED" AND ALL AREAS BELOW CONCRETE SLABS SHALL HAVE UNSUITABLE MATERIALS REMOVED AND BE PROPERLY COMPACTED BEFORE GRANULAR FILL PLACED AND COMPACTED
- CALL "J.U.L.I.E." 1-800-892-0123 OR "DIGGER" 1-312-744-7000 AT LEAST 48 HOURS BEFORE YOU DIG. (TWO WORKING DAYS) COMPLIANCE WITH UNDERGROUND AND OVERHEAD FACILITIES REGULATIONS MUST BE DONE
- BEFORE WORK BEGINS

SECTION 0300 CONCRETE

- 1. 4" DRAIN TILE: 4" PERFORATED PVC FOUNDATION DRAIN TILE ALL AROUND THE FOUNDATION CONNECTED TO SUMP PUMP. PROVIDE 2" MIN. WASHED STONE BED AND 12" MIN. STONE COVER. PROVIDE 4" DIA. VERTICAL PIPE FROM EACH WINDOW WELL DOWN TO DRAIN TILE, FILL W/ STONE. COVER DRAIN TILE WITH APPROVEDFILTER MEMBRANE MATERIAL (DRAIN TILE IN A SOCK TYPE)
- CONCRETE: USE 3000 PSI (AT 28 DAYS) COMPRESSIVE STRENGTH. TRANSIT MIXED CONCRETE: ASTM C-90 UNLESS NOTED OTHERWISE. USE AIR ENTRAINING ADMIXTURE FOR ALL FLATWORK EXPOSED TO WEATHER. PITCH ALL EXTERIOR CONCRETE SLABS AND WALKS
- ALL FOOTINGS TO BEAR NO LESS THAN 48" BELOW FINISHED GRADE ON UNDISTURBED, INORGANIC SOIL, WITH AN ALLOWABLE BEARING CAPACITY OF 3,000 P.S.F.
- ESCAPE LADDER IS REQUIRED FOR ESCAPE WINDOW. PROVIDE WINDOW WELL COVER ON ALL WINDOW WELLS.
- 5. SEALED SUMP PUMP PIT REQUIRED FOR PASSIVE RADON SYSTEM

SECTION 0400 MASONRY

MASONRY: USE GALVANIZED CORRUGATED BRICK TIES ATTACHED TO SHEATHING AND STUD: AT 16" O.C. HORIZ (NOT TO EXCEED 24") & 16" VERT. USE TYPE "M" MORTAR, NATURAL COLOR UNLESS INDICATED OTHERWISE ON THE DRAWING. PROVIDE COTTON ROPE LOOPED BETWEEN EACH TWO ADJACENT WEEP HOLES. LOCATE WEEP HOLES 24" O.C. USE PVC BASE FLASHING AND PVC FLASHING AT WINDOW SILLS AND HEADS

SECTION 0500 METALS

- ANCHOR BOLT ALL WOOD PLATES ANCHORED TO CONCRETE TO HAVE 1/2"x10" HOOKED BOLTS WITH 7" EMBEDMENT SPACED MAX. 6'-0" O.C. AND WITHIN 12" OF ALL CORNERS (MIN, 2 PER PLATE)
- LALLY COLUMNS SPECIFIED ARE OUTSIDE DIAMETER OF STANDARD WEIGHT, ULESS NOTED OTHERWISE. THEY SHALL BE FURNISHED WITH 6"x10"x3/4" BASE PLATES, AND 6"x10"x1/2" CAP PLATES, UNLESS NOTED. BASE PLATES AND CAP PLATES SHALL BE SECURED DIRECTLY TO FOUNDATIONS AND STEEL BEAMS WITH 2-1/2" DIAMETER BOLTS (MINIMUM)

SECTION 0600 WOOD

- FRAMING LUMBER SPECIES AND BASE VALUES SHALL BE AS NOTED BELOW, U.N.O. RAFTERS, JOISTS, HEADERS AND BEAMS- #2 DOMESTIC HEM-FIR OR BETTER Fb= 850 PSI, Fv= 75 PSI, E= 1,300,000 PSI STUDS- 10'-0" AND LESS IN HEIGHT- STUD GRADE S-P-F OR BETTER Fb= 575 PSI, Fc= 600 PSI, E= 1,000,000 PSI GREATER THAN 10'-0" IN HEIGHT-#2 S-P-F OR BETTER Fb= 750 PSI, Fc= 975 PSI, E= 1,100,000 PSI POSTS AND TREATED LUMBER- #2 SOUTHERN PINE OR BETTER FV= PER NDS TABLES, FV= 90 PSI, Fc= PER NDS TABLËS, E= 1,600,000 PSI LAMINATED STRUCTURAL WOOD BEAMS Fv= 2,400 PSI, Fv= 165 PSI, E=1,800,000 ALL FRAMING MEMBERS DESIGNATED "M.L." OR "MICROLLAM" SHALL BE L9E MICROLLAM LVL BY TRUS JOIST MacMILLAN OR BETTER FV= 2,600 PSI, Fv= 285 PSI, E= 1,900,000
- DOUBLE FRAMING MEMBERS (MINIMUM) AROUND OPENINGS IN ROOFS, FLOORS, CEILINGS,
- UNDER BATHTUBS AND SHOWERS AND UNDER PARTITIONS PARALLEL TO JOISTS. 3. ALL HEADERS TO BE 2-2"x12" UNLESS NOTED OTHERWISE
- MINIMUM 2 CRIPPLE STUDS BELOW ALL OPENINGS 6'-0" AND WIDER
- CEILING/ATTIC DESIGN LIVE LOAD = 20 PSF ROOF DESIGN LIVE LOAD = 30 PSF SNOW GROUND LOAD = 30 PSF ROOF SNOW LOAD = 30 PSFWALL WIND LOAD, 0-20 FT. = 20 PSF FLOOR DESIGN LIVE LOAD = 40 PSF WALL WIND LOAD, 21-29 FT. = 25 PSF SLEEPING AREAS LIVE LOAD = 30 PSF WALL WIND LOAD, +30 FT. = 30 PSF
- 6. ALL WALL TOP PLATES ARE TO BE LAPPED AT ALL CORNERS
- 7. PROVIDE METAL JOISTS HANGERS AT STAIRS AND ALL FLUSH FRAMED MEMBERS
- . FIRESTOP SOFFITS AND TOP AND BOTTOM OF STAIR STRINGERS
- 9. PROVIDE MINIMUM 2" CLEARANCE BETWEEN FRAMING MEMBERS AND CHIMNEY 10. FIRESTOP CAVITIES BETWEEN CHIMNEYU AND FRAMING LUMBER WITH NON-COMBUSTIBLE FI

- LUMBER: USE GRADED S4S LUMBER. ALL LUMBER SHALL BE KILN DRIED #2 OR BETTER. USE FHA APPROVED FRAMING DETAILS. USE MIN. TWO-2x12 HEADERS AT ALL OPENINGS UF TO 72" UNLESS NOTED OTHERWISE. USE HIP & VALLEY RAFTER NOM. 2" LARGER THAN RAFTER. USE 11 1/2" MICROLAM VALLEY FOR 2X12 RAFTERS. USE SAME DEPTH MICROLAM HIP & VALLEY FOR CATHEDRAL CEILINGS PROVIDE CROSS BRIDGING NOT TO EXCEED 8'-0" IN ALL FLOOR FRAMED W/ DIMENSIONAL LUMBER BRIDGING IS NOT
- 2. PLYWOOD: ALL PLYWOOD SHALL BE APA RATED-SEE PLAN FOR THICKNESS WAFERBOARD: ALL WAFER BOARD SHALL BE ORIENTED STRAND, NOT RANDOM. ROOF SHEATHING SHALL BE SPACED FOR EXPANSION WHEN INSTALLED PER APA STANDARDS.

REQUIRED FOR TJI'S SEE MANUFACTURER'S INSTRUCTIONS FOR CUTTING AND REINFORCING.

- 13. PROVIDE 1/2" OSB BRACING AT CORNERS AND NO MORE THAN 25'-0" APART
- GLAZING: ALL GLAZING WITHIN 12" OF A DOOR (IN CLOSED POSITION), OR WITHIN A DOOR, OR WITHIN 18" FROM FINISHED FLOOR OR WALKING SURFACE (WITHIN 36" OF GLAZING). SHALL BE TEMPERED GLASS OR OTHER APPROVED SAFETY GLAZING. MEET 2015 IRC
- ALL GLAZING TO FOLLOW 2015 INTERNATIONAL RESIDENTIAL CODE AS REQUIRED
- PROVIDE TEMPERED SAFTEY GLASS, AS NOTED, AT ALL WINDOWS OVER TUBS, AND AT WINDOWS WITH SILLS 18" OR LESS ABOVE THE FINISHED FLOOR
- EXPOSED CRAFT PAPER OF INSULATION IN BASEMENT MUST HAVE A FLAME SPREAD OF 25
- FLASH OVER EXTERIOR DOORS AND WINDOWS, UNDER SILLS AND AT JUNCTIONS WITH FLASHING AT TOP OF FOUNDATION TO CARRY 16" UP WALL
- BEDROOM WINDOW EGRESS WINDOW MANUFACTURER TO SUPPLY WINDOWS FOR SLEEPING ROOMS WHICH MEET THE CABO 1 & 2 FAMILY DWELLING CODE EMERGENCY EGRESS REQUIREMENTS. MIN. OPENABLE AREA OF 5.7 SQ. FT. MIN. OPENABLE CLEAR HEIGHT OF 2'-0" AND A MIN. CLEAR WIDTH OF 1'-8" AND NOT MORE THAN 3'-4" ABOVE FINISHED FLOOR - 2015 IRC SECTION 0800 DOORS
- U.N.O., DOORS SHALL BE CENTERED IN OPENINGS OR MIN. 4" FROM FACE OF ADJACENT

WALLS. SECTION 0900 FINISHES

- INTERIOR TRIM: FILL ALL VOIDS IN FRAMING OR AROUND PENETRATIONS IN CONSTRUCTION WITH EXPANDING FOAM. USE POLYSULFIDE, URETHANE, OR RUBBER SILICONE CAULK AT ALL OPENINGS, JOINTS, ETC. AS REQUIRED TO MAKE CONSTRUCTION WEATHER TIGHT.
- ALL FIRST FLOOR CEILINGS SHALL BE 9'-0", UNLESS NOTED OTHERWISE PROVIDE WATER RESISTIVE DRYWALL IN ALL BATHS, SHOWERS AND AREAS SUBJECT TO

- STAIR NOTES ALL STAIRS SHALL HAVE A MAX. RISE OF 7 3/4", A MIN. TREAD OF 10" CLEAR OF TREAD ABOVE, MINIMUM 1 1/8" NOSING, MINIMUM WIDTH OF 36" AND A CONT. CLEAR HEADROOM MEASURED VERTICALLY FROM FRONT NOSING OF TREAD TO A LINE PARALLEL WITH A STAIR RUN MIN. OF 6'-10"
- A. ALL REQUIRED HANDRAILS SHALL BE CONTINUOUS TH FULL LENGTH OF THE STAIRS AND ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY
- B. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE NOT LESS THAN 1 1/2"
- C. HANDRAILS SHALL HAVE EITHER A CIRCULAR CROSS SECTION WITH A DIAMETER OF 1/4" TO 2" OR A NON-CIRCULAR CROSS WITH A PERIMETER DIMENSION OF AT LEAST 4" BUT NOT MORE THAN 6 1/4" AND A LARGEST CROSS SECTION DIMENSION NOT EXCEDING
- D. STAIR NOSINGS SHALL BE NO LESS THAN 1 1/8"
- E. OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN 30" ABOVE THE FLOOR
- F. GUARDRAILS ON OPEN SIDES OF STAIRWAYS OR RAISED FLOOR AREAS SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL CLOSURES WHICH DO NOT ALLOW PASSAGE OF AN
- G. THE TRIANGULAR OPENINGS FORMED BY RISER, TREAD AND BOTTOM RAIL OF A GUARDRAIL AT THE OPEN SIDE OF A STAIRWAY WILL NOT ALLOW AN OBJECT THE SIZE OF A 4" SPHERE PASS THROUGH - 36" MIN. HEIGHT
- ALL GUARDRAILS (VERANDA, BALCONY, DECK, AND INTERIOR STAIRWELLS, ETC.) SHALL HAVE BALUSTERS WHICH ARE SPACED SO THAT A 4" DIAMETER SPHERE CANNOT PASS-THRU.

SECTION 1500 MECHANICAL & PLUMBING

- PLUMBING: USE HARD COPPER (TYPE "L" ABOVE GRADE OR "K" BELOW GRADE FOR ALL WATER SUPPLY. USE 4" SCHEDULE 40 CAST IRON BELOW GRADE FOR WASTE. USE SCHED. 40 PVC WASTE PIPING ABOVE GRADE. PROPERLY VENT ALL WASTE LINES, DO NOT USE WET VENTS. PROVIDE HOSE BIBBS WHERE SHOWN OR WHERE DIRECTED BY THE OWNER. PROVIDE SUMP, PUMP AND METAL LID FOR FOUNDATION DRAIN. PROVIDE HIGH WATER ALARM IN SUMP. PROVIDE INSTALLATION OF BATTERY BACK-UP FOR SUMP PUMP. IF OWNER SUPPLIES EQUIPMENT. USE NON-LEAD SOLDER. CONNECT BASEMENT FLOOR DRAIN TO SANITARY SEWER.
- VENT DRYERS AND EXHAUST FANS DIRECTLY TO EXTERIOR VIA METAL DUCT
- PROVIDE ANTI-SCAD VALVES IN ALL TUBS, SHOWERS AND TUB/SHOWER COMBINATIONS.
- SET TO DELIVER MAX. 115 DEGREES. DO NOT US HOT WATER HEATER TO SET VALVES. PROVIDE ACCESS PANEL FOR WHIRLPOOL MOTER REPAIRS, 18" H x 24" W.
- PROVIDE GRAY BOX OR 2" STAND PIPE FOR WAHER DISCHARGE AND FLOOR DRAIN IN
- PROVIDE FULL 2" WASTE OPENINGS FOR KITCHEN SINK W/ ACCESSIBLE FULL 2" OPENING FOR CLEAN OUT UNDER SINK.
- ALL FLOORDRAINS MUST BE TRAPPED AND VENTED. SEND TO EJECTOR PIT WHEN BELOW GRADE, SEND TO SEWER WHEN ABOVE GRADE.
- SUMP PIT MUST BE 2" AVOVE THE FINISHED FLOOR.
- COMBUSTION AIR FROM OUTDOOR SHALL BE REQUIRED IF THE SPACE WHERE COMBUSTION APPLIANCES ARE LOCATED IS ENCLOSED OR OF UNUSUALLY TIGHT CONSTRUCTION

SECTION 1600 ELECTRICAL - 2014 NEC / 2015 IRC

- ELECTRICAL: 200 AMP 120/240 VOLT SERVICE (VERIFY). USE CONDUIT AND CONDUCTORS SIZED PER CURRENT NATIONAL ELECTRICAL CODE. UNLESS NOTED OTHERWISE, PROVIDE SWITCHED CIRCUIT IN 1/2 OF EACH OUTLET IN EVERY BEDROOM. PROVIDE JUNCTION BOX AND/OR OUTLET FOR GARBAGE DISPOSER, DISHWASHER, OVERHEAD DOOR OPERATOR(S), CEILING FANS, ETC. PROVIDE GROUND FAULT INTERUPPTING CIRCUITS AT ALL OUTLETS WITHIN 6'-0" OF BATHROOM, KITCHEN, BASEMENT ETC. SINKS. ALSO G.F.I. AT EXTERIOR 8
- FOLLOW THE NATIONAL ELECTRIC CODE— GROUND FAULT INTERRUPT = ALL OUTLETS
- USE SINGLE DEDICATED OUTLETS FOR SUMP, EJECTOR AND FURNACE.
- NO MORE THAN 12'-0" PERMITTED BETWEEN ELECTRICAL RECEPTACLES AND THEY SHALL BE LOCATED NOT MORE THAN 6'-0" FROM AN OPENING IN A WALL
- DUAL-VOLTAGE U.L.A. SMOKE DETECTORS WIRED IN SERIES WITH BATTERY BACKUP ON EACH LEVEL AND IN EACH BEDROOM
- LIGHT FIXTURES IN ALL CLOSETS
- A. LOCATION—A FIXTURE IN A CLOSET SHALL BE PERMITTED TO BE INSTALLED: 1. ON THE WALL ABOVE THE CLOSET DOOR, PROVIDED THE CLEARANCE BETWEEN THE FIXTURE AND A STORAGE AREA WHERE COMBUSTIBLE MATERIAL MAY BE STHRED WITHIN THE CLOSET IS NOT LESS THAN 18" OR..
- 2. ON THE CEILING OVER AN AREA WHICH IS UNOBSTRUCTED TO THE FLOOR, MAINTAINING AN 18" CLEARANCE HORIZONTALLY BETWEEN THE FIXTURE AND A STORAGE AREA WHERE COMBUSTIBLE MATERIAL MAY BE STORED WITHIN THE CLOSET a. FLUSH RECESSED FIXTURE WITH A SOLID LENS OR A CEILING FLOURESCENT FIXTURE
- SHALL BE PERMITTED TO BE INSTALLED, PROVIDED THERE IS A 6" CLEARANCE, HORIZONTALLY BETWEEN THE FIXTURE AND STORAGE AREA. B. PENDANTS SHALL NOT BE INSTALLED IN CLOTHES CLOSETS.
- CEILING LIGHT FIXTURES IN HABITABLE ROOMS SHALL HAVE FAN RATED BOXES

SINGLE FAMILY RESIDENCE

LONG GROVE, ILLINOIS



LOT 94 **LOT 97** \frac{1}{2} LOT 96 14635 S.F. 9 PROPOSED RESIDENCE 4,544 S.F. 20'-9" ASHPLAT 24'-0" 11.41' (FOR REFERENCE ONLY - SEE PLOT OF

SURVEY FOR MORE INFORMATION)

SITE PLAN SCALE: 1" = 20'

Village of Long Grove

The Village Hall:

3110 Old McHenry Road

Long Grove, IL 60047

(847) 634-9440

(847) 634-9408 fax

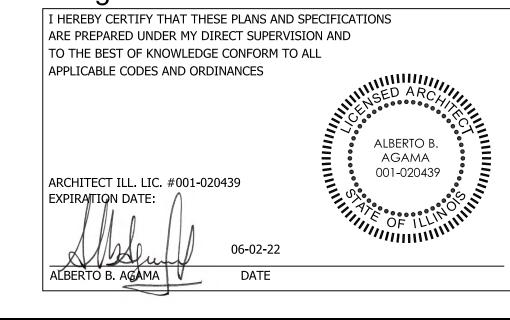
THESE DRAWINGS AND ALL CONSTRUCTION SHALL CONFORM TO THE VILLAGE OF LONG GROVE CODES AND AMENDMENTS LISTED **BELOW:**

- a. International Residential Code 2015 Edition
- b. International Building Code 2015 Edition
- c. International Mechanical Code 2015 Edition
- d. National Electric Code 2014 Edition
- e. Illinois State Plumbing Code 2014 Edition
- f. International Fire Code 2015 Edition
- 9. International Fuel Gas Code 2015 Edition
- h. International Existing Building Code 2015 Edition International Property Maintenance Code - 2015 Edition
- International Wildland Urban Interface Code 2015 Edition
- International Swimming Pool and Spa Code 2015 Edition
- Illinois Accessibiltiy Code 2018 Edition
- m. International Energy Conservation Code 2018 Edition

DRAWING INDEX

DRAWING INDEX						
DWG#	DRAWING TITLE					
T1	Cover Sheet					
A1	Exterior Elevations					
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A3	Basement Plan & Notes					
A4	First Floor Plan & Notes					
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A8	Second Floor Electric Plan & Plumbing Diagrams					
A 9	Sections and Details					
M1	Basement & First Floor Mechanical					
M2	Second Floor Mechanical					

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architecture

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JOB NO. 21-011 DATE PLOT SCALE 1:1

OWNER APPROVAL

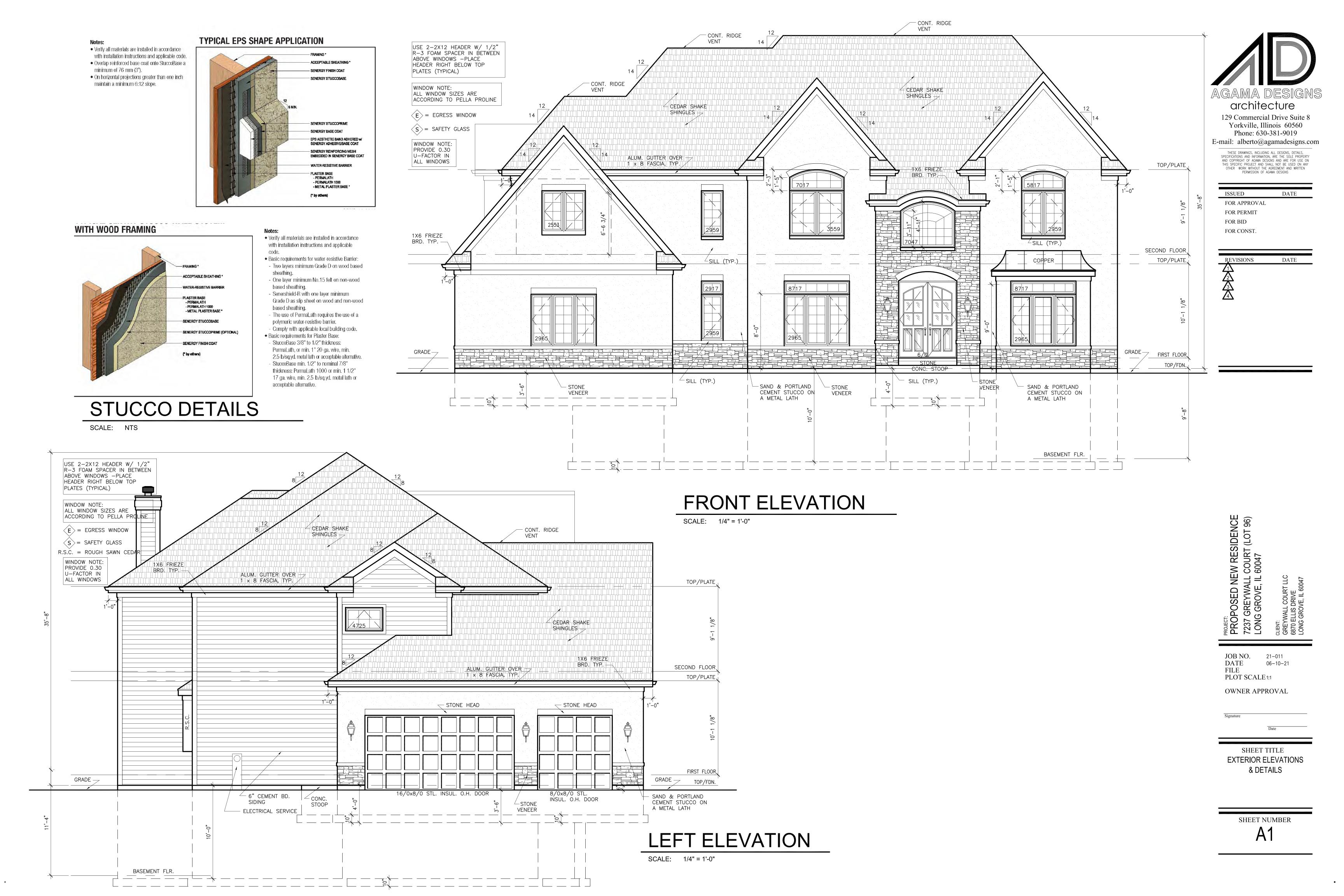
SHEET TITLE

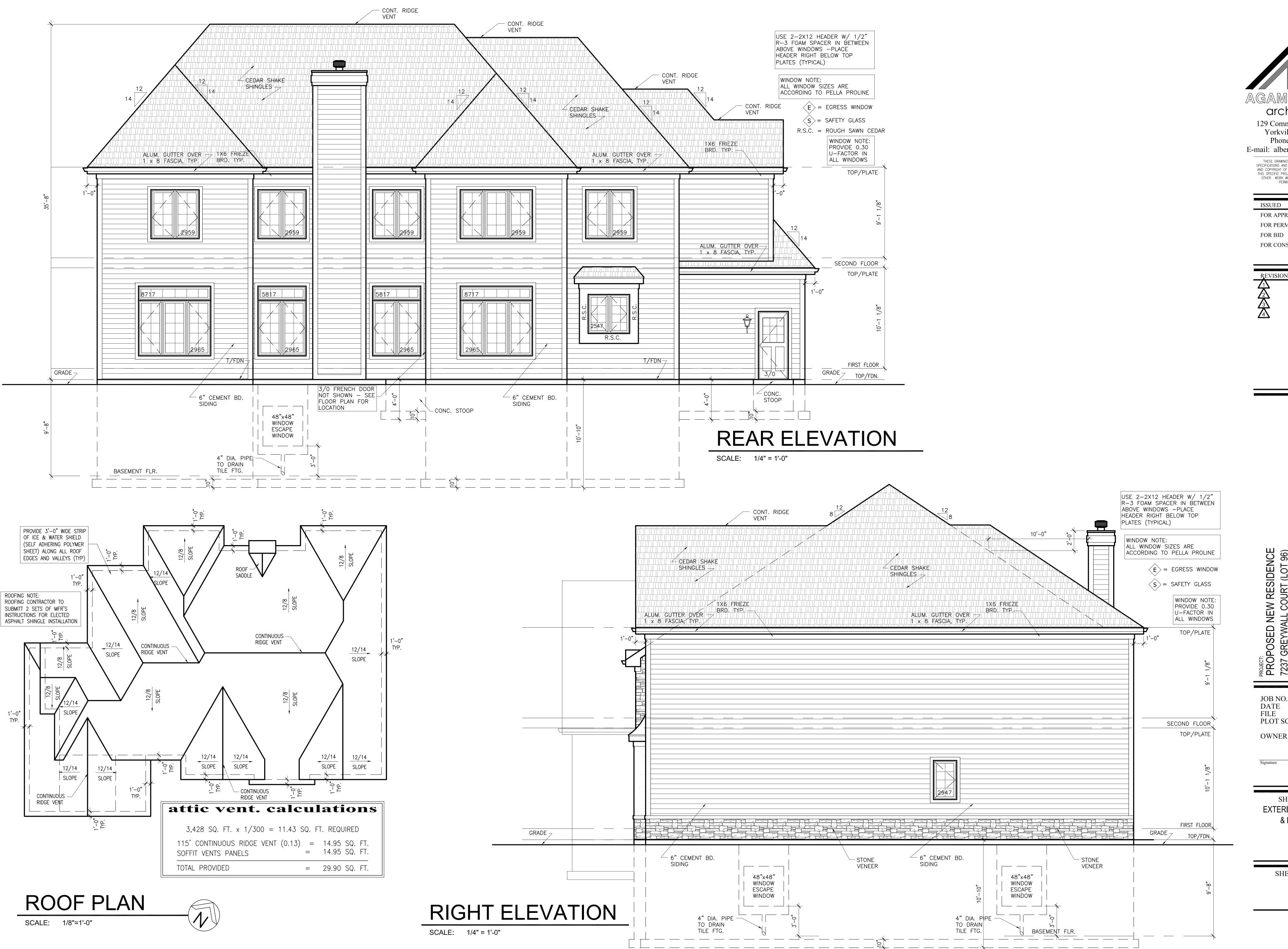
DRAWING INDEX &

GENERAL NOTES &

SITE PLAN

SHEET NUMBER





architecture

129 Commercial Drive Suite 8 Yorkville, Illinois 60560 Phone: 630-381-9019 E-mail: alberto@agamadesigns.com

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PROPOSED NEW RESIDENCE 7237 GREYWALL COURT (LOT 96) LONG GROVE, IL 60047

JOB NO. DATE 06-10-21 **FILE** PLOT SCALE 1:1

OWNER APPROVAL

SHEET TITLE **EXTERIOR ELEVATIONS** & ROOF PLAN

SHEET NUMBER A2

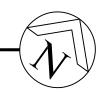
13'-8 1/2"

71'-0"

BASEMENT PLAN

23'-4"

SCALE: 1/4" = 1'-0"



8'-0 1/2"

PRESCRIPTIVE METHOD TO BE USED

11'-2"

	INSULATION AND FENESTRATION 2018 IECC- TABLE R402.1.2			RATION	REQUIRE	MENTS	BY COM	MPONEN	IT	
	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FEN. SHGC	CEILING R-VALUE	WD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE		SLAB R-VALUE & DEPTH	CRAWL SPACE WALL R-VALUE
5 AND MARINE 4	0.30	0.55	NR	49	20 OR 13+5	13/17	30	15/19	10 , 2 ft 15, Heated slab	15/19

10'-1"

2'-10 3/4"

- a. R-values are minimums. U-factors and SHGC are maximums. When insulation is installed in a cavity which is less than the label or design thickness of the insulation, the installed R-value of the insulation shall not be less than the R-value specified in the table.
- b. The fenestration U—factor column excludes skylights. The SHGC column applies to all glazed fenestration. Exception: Skylights may be excluded from glazed fenestration SHGC requirements in Climate Zones 1 through 3 where the SHGC for such skylights does not exceed 0.30.
- c. "15/19" means R-15 continuous insulation on the interior or exterior of the home or R-19 cavity insulation at the interior of the basement wall. "15/19" shall be permitted to be met with R-13 cavity insulation on the interior of the basement wall plus R-5 continuous insulation on the interior or exterior of the home. "10/13" means R-10 continuous insulation on the interior or exterior of the home or R-13 cavity insulation at the interior of the basement wall.
- d. R-5 shall be added to the required slab edge R-values for heated slabs. Insulation depth shall be the depth of the footing or 2 feet, whichever is less in Climate Zones 1 through 3 for heated slabs.
- e. There are no SHGC requirements in the Marine Zone.
- f. Basement wall insulation is not required in warm—humid locations as defined by Figure R301.1 and Table R301.1.
- g. Or insulation sufficient to fill the framing cavity, R-19 minimum.
- h. First value is cavity insulation, second value is continuous insulation, so "13+5" means R—13 cavity insulation plus R—5 continuous insulation. i. The second R-value applies when more than half the insulation is on the interior of the mass wall.

NOTES

- 1. ALL FLOOR JOISTS SHALL BE #2 DOMESTIC HEM-FIR OR #2 CANADIAN SPRUCE PINE FIR OR BETTER WITH BRIDGING U.N.O. ON PLANS.
- 2. MINIMUM FOOTING SIZES REQ'D: 10" x 20" SOIL BEARING CAPACITY = 3000 PSF
- 3. EXTERIOR WALL FRAMING TO BE FULLY BRACED WITH 1/2" O.S.B SHEATHING
- 4. FOUNDATION WALLS SHALL BE 10" THICK UNDER BRICK VENEER AND 8" THICK UNDER FRAME CONSTRUCTION.
- 5. ALL CONSTRUCTION TO MEET APPLICABLE BUILDING CODES
- 6. DOUBLE ALL JOIST UNDER WHIRLPOOL
- 7. ALL FOOTINGS TO BEAR ON UNDISTURBED, NON-ORGANIC SOIL CAPABLE OF CARRYING 3,000 PSF MINIMUM AND TO BE A MINIMUM OF 42" BELOW GRADE
- 8. STRUCTURAL STEEL TO BE A.S.T.M. A-36 REINFORCING STEEL TO BE GRADE 60 9. ALL GLAZING TO FOLLOW R308 OF THE 2015 IRC AS REQUIRED. REQUIREMENTS PROVIDE SAFETY GLASS IN ALL DOORS, SIDELIGHTS, WINDOWS WITH GLAZING WITHIN 18" OF THE FLOOR & OVER 9 SQUARE FEET OF AREA, GLASS SHOWER ENCLOSURES, AND WINDOWS AT TUB AREA
- 10. ANY WHIRLPOOL INSTALLATIONS ARE TO FOLLOW 2014 NEC
- 11. DRYER VENT SHALL BE MADE OF GALVANIZED SHEET METAL OR ALUMINUM -VENT DRYERS AND EXHAUST FANS TO OUTSIDE
- 12. A FIRE RATED DOOR IS REQUIRED BETWEEN THE GARAGE AND THE HOUSE -SOLID CORE WITH CLOSERS
- 13. CONTRACTORS TO OBTAIN AND FOLLOW THE INSTALLATION DETAILS AND PROCEDURES FOR ALL MANUFACTURED PRODUCTS AS CALLED FOR IN THE MANUFACTURER'S SPECIFICATIONS THIS IS TO INCLUDE LVL BEAMS, I-JOISTS, SHINGLES, SIDING, INSULATION, WINDOWS, DOORS, APPLIANCES, ETC.
- 14. WINDOW MANUFACTURER TO DESIGN AND PROVIDE NECESSARY REINFORCING FOR WIND LOADS IN MULLIONS OF COMBINED WINDOWS VERIFY LOAD
- 15. HEARTH EXTENSION MIN. 16" TO FRONT & 8" TO SIDE OF FIREPLACE OPENING -IF OPENING IS 6 SQ. FT. OR GREATER 20" TO FRONT AND 12" TO SIDES.
- 16. EMERGENCY EGRESS WINDOWS PER SEC R310 OF 2015 IRC
- 17. PROVIDE A (1) HOUR FIRE SEPARATION AT WALLS AND CEILINGS IN GARAGE COMMON TO RESIDENCE - 5/8" TYPE "X" GYP. BD. AT WALLS AND CEILING AND PROTECTING ALL STRUCTURAL AND STEEL MEMBERS
- 18. ARC-FAULT INTERRUPTER DISCONNECT (AFCI) IS REQUIRED PER 2015 IRC E3902.11 OR 2014 NEC ARTICLE 210.12 19. ALL OUTLES IN GARAGE, BATHROOMS, KITCHEN, EXTERIOR AND BASEMENT TO
- BE GFI PROTECTED OUTLETS AT FOR SUMP PUMP, FURNACE AND EJECTOR PITS TO BE SINGLE DEDICATED OUTLES. - SEE ELECTRICAL DRAWIGS 20. ALL BEDROOMS SHALL HAVE AT LEAST ONE EGRESS WINDOW WITH A MINIMUM
- NET CLEAR OPENING OF 5.7 SQ. FT., A MINIMUM NET CLEAR OPENING HEIGHT DIMENSION OF 24", MINIMUM WIDTH OF 20" AND A MAXIMUM SILL HEIGHT OF 44" ABOVE THE FINISHED FLOOR. PROVIDE WINDOW FALL PROTECTION AS PER R312 OF THE 2015 IRC
- 22. INSTALL (1) 110V ELECTRIC FIRE AND SMOKE DETECTOR ON EACH FLOOR. INCLUDING BASEMENT, AND EACH BEDROOM WIRED IN SERIES FOR
- 23. ALL FRAMING DRILLED FOR PLUMBING VENTS OR SIMILAR HOLES SHALL BE A MINIMUM OF 2 x 6 STUDS IN LIEU OF 2 x 4 STUDS.
- 24. ALL GUARDRAILS (VERANDA, BALCONY, DECK, AND INTERIOR STAIRWELLS, ETC.) SHALL HAVE BALUSTERS WHICH ARE SPACED SO THAT A 4" DIAMETER SPHERE
- 25. PENETRATIONS BETWEEN STORIES AND THE ROOF SPACE SHALL BE

SIMULTANEOUS ACTION

- FIRESTOPPED AS WELL AS SOFFITS, DROP CEILINGS, ET. 26. WINDOW WELLS ARE TO HAVE A PROTECTIVE COVER TO PREVENT PEOPLE AND ANIMALS FROM FALLING IN
- 27. ALL PREFAB FIREPLACES SHALL RECEIVE FIVE-EIGHTHS INCH (5/8") TYPE "X" GYPSUM BOARD ON INSIDE OF ALL CHASE WALLS AND BE FIRESTOPPED AT ALL FLOOR AND CEILING LINES, INCLUDING ATTIC.

28. PROVIDE WALL TIE DOWNS ON BOTH SIDES OF CORNERS AND EVERY 25' R802.11

& TABLE R301.2(1) 29. USE CEMENT BOARD IN LIU OF WATER RESISTANT DRYWALL IN WET LOCATIONS SUCH AS SHOWERS AND BATHTUBS WALLS AND CEILINGS

ROOF RAFTER SCHEDULE

RAFTER SIZE	RAFTER SPACING	MAX. SPAN VAULTED CLG.	MAX. SPAN			
2 x 12	16" O.C.	19'-11"	21'-1"			
2 x 10	16" O.C.	17'-2"	18'-2"			
2 x 10	12" O.C.	19'-10"	21'-0"			
2 x 8 16" O.C. 14'-0" 14'-11" ALL RAFTERS SHALL BE MINIMUM SIZE AND SPACING PER						
SCHEDULE ABOVE UNLESS OTHERWISE NOTED ON PLANS - ALL						

2 CANADIAN SPRUCE PINE FIR (E = 1,400,000 MIN.) OR BETTER

RAFTERS SHALL BE # 2 HEM - FIR (E = 1,200,000 MIN.)

CELLING TOTAL SCHEDULE

JOIST SPACING	MAX. SPAN
AT 16" O.C.	6'-6"
AT 16" O.C.	12'-0"
AT 16" O.C.	16'-0"
AT 12" O.C.	18'-6"
AT 16" O.C.	19'-7"
AT 12" O.C.	22'-7"
AT 16" O.C.	22'-8"
AT 12" O.C.	26'-3"
	AT 16" O.C. AT 16" O.C. AT 12" O.C. AT 16" O.C. AT 12" O.C. AT 12" O.C. AT 16" O.C.

SPUCE PINE FIR OR BETTER. ALL JOISTS SHALL BE MINIMUM

NOTED OTHERWISE ON PLANS.

SIZE AND SPACING PER SCHEDULE ABOVE UNLESS OTHERWISE

FLOOR JOIST SCHEDULE

		MAXIMUM SPAN
JOIST & SPACING	NON-SLEEPING ROOMS	SLEEPING ROOMS
L / 360	40# LL - 10# DL	30# LL - 10# DL
2 x 8 AT 12" O.C.	13'-2"	14'-6"
2 x 8 AT 16" O.C.	12'-0"	13'-2"
2 x 10 AT 12" O.C.	16'-10"	18'-6"
2 x 10 AT 16" O.C.	15'-2"	16'-10"
2 x 10 AT 16" O.C. DBL. EVERY OTHER JOIST	15'-9"	17'-5"
2 x 12 AT 12" O.C.	20'-4"	22'-6"
2 x 12 AT 16" O.C.	17'-7"	19'-8"
2 x 12 AT 16" O.C. DBL. EVERY OTHER JOIST	19'-1"	21'-4"

PROVIDE DBL. FLOOR JOIST BELOW ALL PARALLEL PARTITIONS, UNLESS NOTED OTHERWISE ON PLANS. ALL FLOOR JOISTS SHALL BE #2 DOMESTIC HEM-FIR, # 2 CANADIAN SPRUCE PINE FIR OR BETTER. PROVIDE CROSS BRIDGING AT MAX. 8'-0" O.C.



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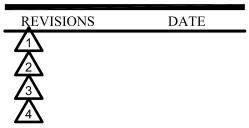
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POSED NEW RESIDENCE GREYWALL COURT (LOT 96) 3 GROVE, IL 60047

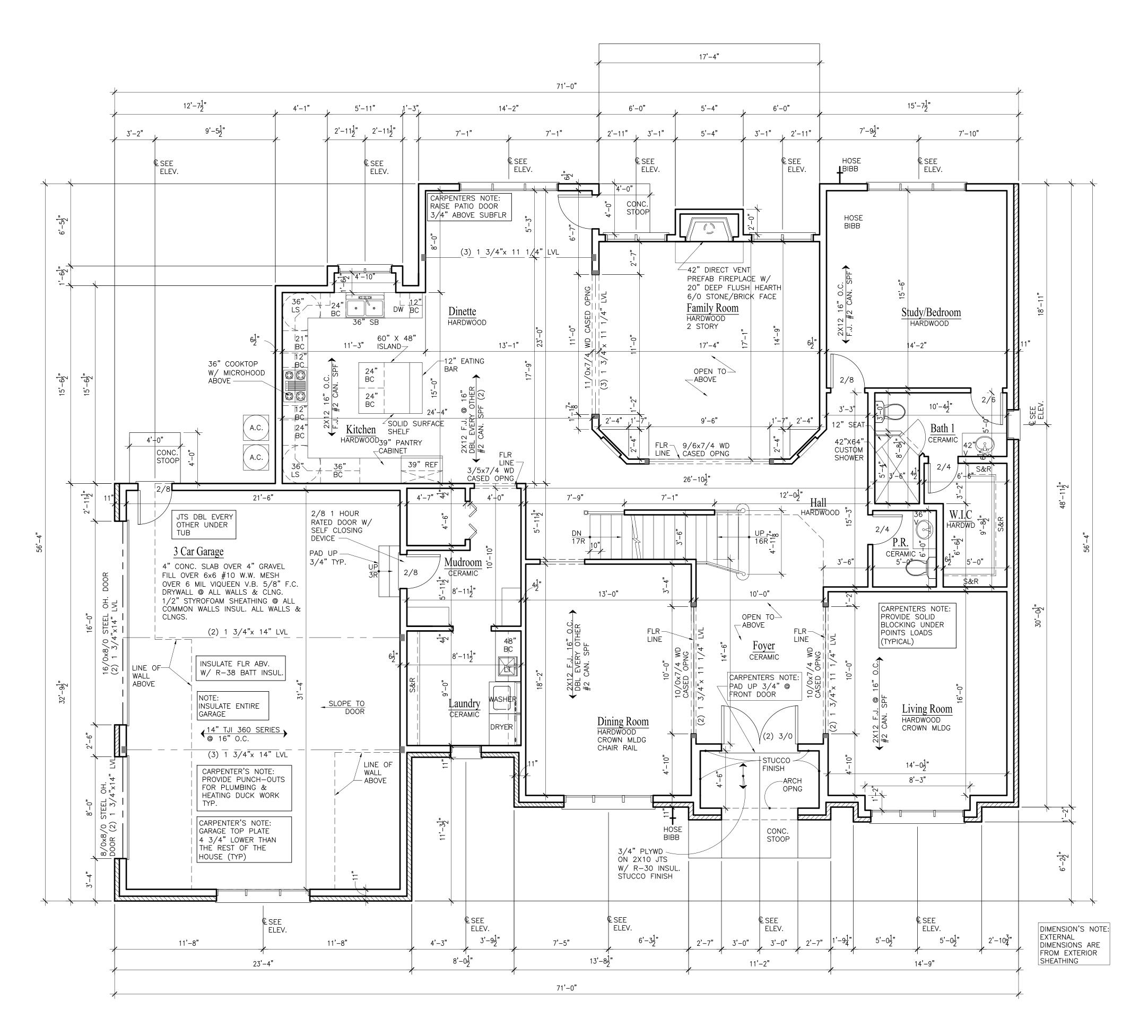
JOB NO. 21–011 DATE 06-10-21 **FILE**

PLOT SCALE 1:1

OWNER APPROVAL

SHEET TITLE BASEMENT PLAN

SHEET NUMBER **A3**



FIRST FLOOR PLAN - 2,390 S.F.

SCALE: 1/4" = 1'-0"



AREAS	
1ST FLOOR AREA	2,390 S.F.
2ND FLOOR AREA	2,154 S.F.
TOTAL AREA	4,544 S.F.

NOTES

- 1. ALL FLOOR JOISTS SHALL BE #2 DOMESTIC HEM-FIR OR #2 CANADIAN SPRUCE PINE FIR OR BETTER WITH BRIDGING U.N.O. ON PLANS.
- 2. MINIMUM FOOTING SIZES REQ'D: 10" x 20" SOIL BEARING CAPACITY = 3000 PSF
- 3. EXTERIOR WALL FRAMING TO BE FULLY BRACED WITH 1/2" O.S.B SHEATHING
- 4. FOUNDATION WALLS SHALL BE 10" THICK UNDER BRICK VENEER AND 8" THICK
- UNDER FRAME CONSTRUCTION.
- 5. ALL CONSTRUCTION TO MEET APPLICABLE BUILDING CODES
- 6. DOUBLE ALL JOIST UNDER WHIRLPOOL

ENCLOSURES, AND WINDOWS AT TUB AREA

- 7. ALL FOOTINGS TO BEAR ON UNDISTURBED, NON-ORGANIC SOIL CAPABLE OF CARRYING 3,000 PSF MINIMUM AND TO BE A MINIMUM OF 42" BELOW GRADE
- 8. STRUCTURAL STEEL TO BE A.S.T.M. A-36 REINFORCING STEEL TO BE GRADE 60
 9. ALL GLAZING TO FOLLOW R308 OF THE 2015 IRC AS REQUIRED. REQUIREMENTS PROVIDE SAFETY GLASS IN ALL DOORS, SIDELIGHTS, WINDOWS WITH GLAZING

WITHIN 18" OF THE FLOOR & OVER 9 SQUARE FEET OF AREA, GLASS SHOWER

- 10. ANY WHIRLPOOL INSTALLATIONS ARE TO FOLLOW 2014 NEC
- 11. DRYER VENT SHALL BE MADE OF GALVANIZED SHEET METAL OR ALUMINUM VENT DRYERS AND EXHAUST FANS TO OUTSIDE
- 12. A FIRE RATED DOOR IS REQUIRED BETWEEN THE GARAGE AND THE HOUSE SOLID CORE WITH CLOSERS
- SOLID CORE WITH CLOSERS

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MANUFACTURER'S SPECIFICATIONS THIS IS TO INCLUDE LVL BEAMS, I-JOISTS, SHINGLES, SIDING, INSULATION, WINDOWS, DOORS, APPLIANCES, ETC.

- 14. WINDOW MANUFACTURER TO DESIGN AND PROVIDE NECESSARY REINFORCING FOR WIND LOADS IN MULLIONS OF COMBINED WINDOWS VERIFY LOAD
- REQUIREMENTS

 15. HEARTH EXTENSION MIN. 16" TO FRONT & 8" TO SIDE OF FIREPLACE OPENING IE OPENING IS 6 SO ET OR GREATER 20" TO EPONT AND 12" TO SIDES
- IF OPENING IS 6 SQ. FT. OR GREATER 20" TO FRONT AND 12" TO SIDES.

 16. EMERGENCY EGRESS WINDOWS PER SEC R310 OF 2015 IRC

 17. PROVIDE A (1) HOUR FIRE SEPARATION AT WALLS AND CEILINGS IN GARAGE
- COMMON TO RESIDENCE 5/8" TYPE "X" GYP. BD. AT WALLS AND CEILING AND PROTECTING ALL STRUCTURAL AND STEEL MEMBERS

 18. ARC-FAULT INTERRUPTER DISCONNECT (AFCI) IS REQUIRED PER 2015 IRC

PITS TO BE SINGLE DEDICATED OUTLES. - SEE ELECTRICAL DRAWIGS

- E3902.11 OR 2014 NEC ARTICLE 210.12

 19. ALL OUTLES IN GARAGE, BATHROOMS, KITCHEN, EXTERIOR AND BASEMENT TO BE GFI PROTECTED OUTLETS AT FOR SUMP PUMP, FURNACE AND EJECTOR
- 20. ALL BEDROOMS SHALL HAVE AT LEAST ONE EGRESS WINDOW WITH A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT., A MINIMUM NET CLEAR OPENING HEIGHT DIMENSION OF 24", MINIMUM WIDTH OF 20" AND A MAXIMUM SILL HEIGHT OF 44" ABOVE THE FINISHED FLOOR.
- PROVIDE WINDOW FALL PROTECTION AS PER R312 OF THE 2015 IRC

 22. INSTALL (1) 110V ELECTRIC FIRE AND SMOKE DETECTOR ON EACH FLOOR.
 INCLUDING BASEMENT, AND EACH BEDROOM WIRED IN SERIES FOR
- SIMULTANEOUS ACTION

 23. ALL FRAMING DRILLED FOR PLUMBING VENTS OR SIMILAR HOLES SHALL BE A MINIMUM OF 2 x 6 STUDS IN LIEU OF 2 x 4 STUDS.
- 24. ALL GUARDRAILS (VERANDA, BALCONY, DECK, AND INTERIOR STAIRWELLS, ETC.) SHALL HAVE BALUSTERS WHICH ARE SPACED SO THAT A 4" DIAMETER SPHERE CANNOT PASS-THRU.
- 25. PENETRATIONS BETWEEN STORIES AND THE ROOF SPACE SHALL BE FIRESTOPPED AS WELL AS SOFFITS, DROP CEILINGS, ET.
- 26. WINDOW WELLS ARE TO HAVE A PROTECTIVE COVER TO PREVENT PEOPLE AND ANIMALS FROM FALLING IN
- 27. ALL PREFAB FIREPLACES SHALL RECEIVE FIVE-EIGHTHS INCH (5/8") TYPE "X"
 GYPSUM BOARD ON INSIDE OF ALL CHASE WALLS AND BE FIRESTOPPED AT ALL
 FLOOR AND CEILING LINES, INCLUDING ATTIC.
- 28. PROVIDE WALL TIE DOWNS ON BOTH SIDES OF CORNERS AND EVERY 25' R802.11 & TABLE R301.2(1)
- 29. USE CEMENT BOARD IN LIU OF WATER RESISTANT DRYWALL IN WET LOCATIONS SUCH AS SHOWERS AND BATHTUBS WALLS AND CEILINGS

ROOF RAFTER SCHEDULE MAX. SPAN MAX. SPAN FER SIZE RAFTER SPACING VAULTED CLG. NON-VAULTE

RAFTER SPACING	VAULTED CLG.	NON-VAULTED		
16" O.C.	19'-11"	21'-1"		
16" O.C.	17'-2"	18'-2"		
12" O.C.	19'-10"	21'-0"		
2 x 8 16" O.C. 14'-0" 14'-11" ALL RAFTERS SHALL BE MINIMUM SIZE AND SPACING PER				
	16" O.C. 16" O.C. 12" O.C. 16" O.C.	16" O.C. 17'-2" 12" O.C. 19'-10" 16" O.C. 14'-0"		

SCHEDULE ABOVE UNLESS OTHERWISE NOTED ON PLANS - ALL
RAFTERS SHALL BE # 2 HEM - FIR (E = 1,200,000 MIN.)
2 CANADIAN SPRUCE PINE FIR (E = 1,400,000 MIN.) OR BETTER

CEILING JOIST SCHEDULE

	<u> </u>			
JOIST SIZE	JOIST SPACING	MAX. SPAN		
2 x 4	AT 16" O.C.	6'-6"		
2 x 6	AT 16" O.C.	12'-0"		
2 x 8	AT 16" O.C.	16'-0"		
2 x 8	AT 12" O.C.	18'-6"		
2 x 10	AT 16" O.C.	19'-7"		
2 x 10	AT 12" O.C.	22'-7"		
2 x 12	AT 16" O.C.	22'-8"		
2 x 12	AT 12" O.C.	26'-3"		

CEILING JOISTS SHALL BE # 2 HEM - FIR , # 2 CANADIAN SPUCE PINE FIR OR BETTER. ALL JOISTS SHALL BE MINIMUM SIZE AND SPACING PER SCHEDULE ABOVE UNLESS OTHERWISE NOTED OTHERWISE ON PLANS.

FLOOR JOIST SCHEDULE

FLOOR JOIST SCHEDULE				
	MAXIMUM SPAN			
JOIST & SPACING	NON-SLEEPING ROOMS	SLEEPING ROOMS		
L / 360	40# LL - 10# DL	30# LL - 10# DL		
2 x 8 AT 12" O.C.	13'-2"	14'-6"		
2 x 8 AT 16" O.C.	12'-0"	13'-2"		
2 x 10 AT 12" O.C.	16'-10"	18'-6"		
2 x 10 AT 16" O.C.	15'-2"	16'-10"		
2 x 10 AT 16" O.C. DBL. EVERY OTHER JOIST	15'-9"	17'-5"		
2 x 12 AT 12" O.C.	20'-4"	22'-6"		
2 x 12 AT 16" O.C.	17'-7"	19'-8"		
2 x 12 AT 16" O.C. DBL. EVERY OTHER JOIST	19'-1"	21'-4"		

PROVIDE DBL. FLOOR JOIST BELOW ALL PARALLEL PARTITIONS, UNLESS NOTED OTHERWISE ON PLANS.

ALL FLOOR JOISTS SHALL BE #2 DOMESTIC HEM-FIR,

2 CANADIAN SPRUCE PINE FIR OR BETTER.
PROVIDE CROSS BRIDGING AT MAX. 8'-0" O.C.



architecture

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ISSUED	DATE

ISSUED

FOR APPROVAL

FOR PERMIT

FOR BID FOR CONST.

REVISIONS DATE

PROJECT:
PROPOSED NEW RESIDENCE
7237 GREYWALL COURT (LOT 96)
LONG GROVE, IL 60047

JOB NO. 21–011
DATE 06–10–21
FILE 05-a4-first floor plan.dwg

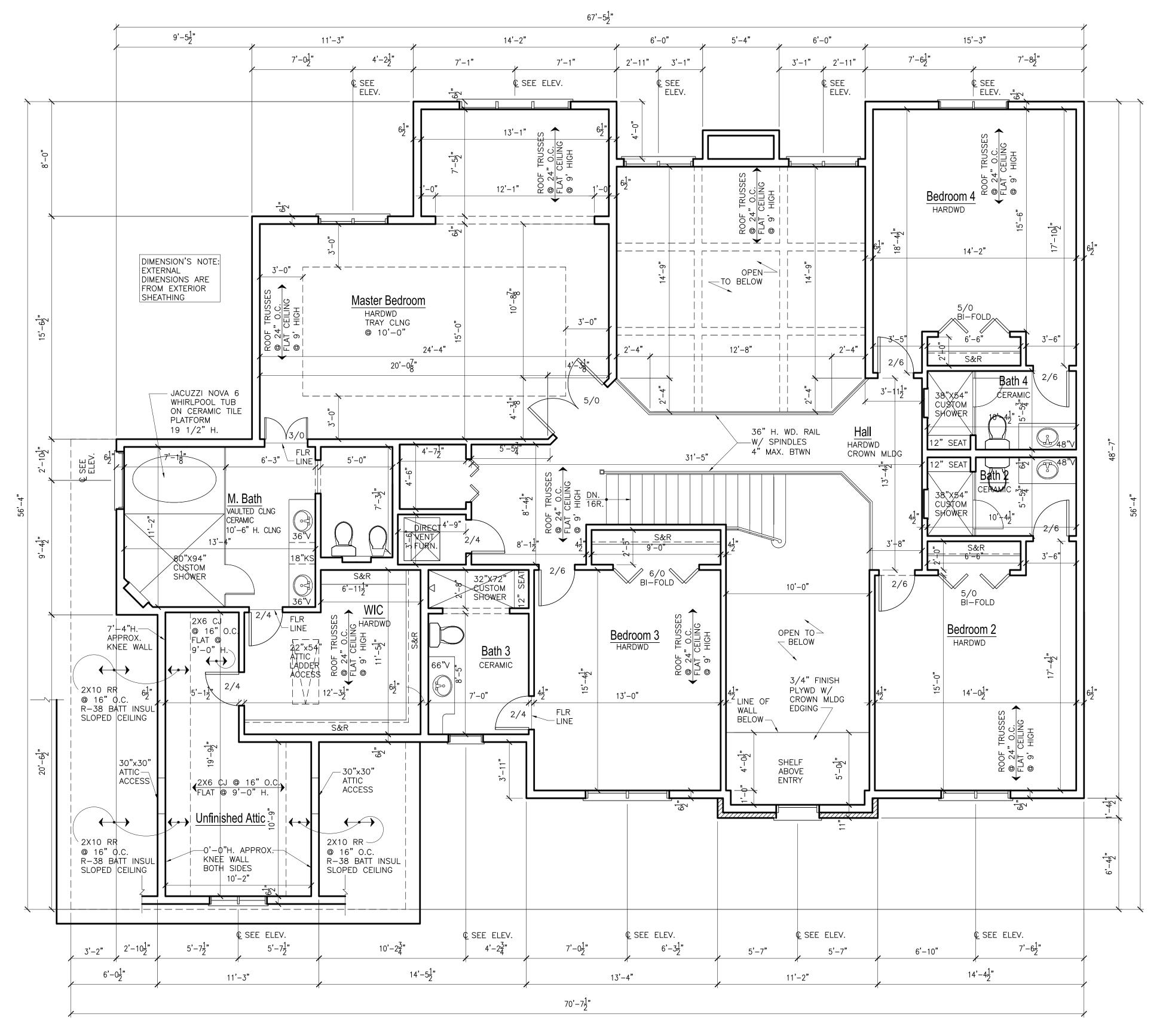
PLOT SCALE 1:1

OWNER APPROVAL



SHEET TITLE FIRST FLOOR PLAN

SHEET NUMBER



SECOND FLOOR PLAN - 2,154 S.F.



- 1. ALL FLOOR JOISTS SHALL BE #2 DOMESTIC HEM-FIR OR #2 CANADIAN SPRUCE PINE FIR OR BETTER WITH BRIDGING U.N.O. ON PLANS.
- 2. MINIMUM FOOTING SIZES REQ'D: 10" x 20" SOIL BEARING CAPACITY = 3000 PSF
- 3. EXTERIOR WALL FRAMING TO BE FULLY BRACED WITH 1/2" O.S.B SHEATHING
- 4. FOUNDATION WALLS SHALL BE 10" THICK UNDER BRICK VENEER AND 8" THICK UNDER FRAME CONSTRUCTION.
- 5. ALL CONSTRUCTION TO MEET APPLICABLE BUILDING CODES
- 6. DOUBLE ALL JOIST UNDER WHIRLPOOL

ENCLOSURES, AND WINDOWS AT TUB AREA

- 7. ALL FOOTINGS TO BEAR ON UNDISTURBED, NON-ORGANIC SOIL CAPABLE OF CARRYING 3,000 PSF MINIMUM AND TO BE A MINIMUM OF 42" BELOW GRADE
- 8. STRUCTURAL STEEL TO BE A.S.T.M. A-36 REINFORCING STEEL TO BE GRADE 60 9. ALL GLAZING TO FOLLOW R308 OF THE 2015 IRC AS REQUIRED. REQUIREMENTS PROVIDE SAFETY GLASS IN ALL DOORS, SIDELIGHTS, WINDOWS WITH GLAZING WITHIN 18" OF THE FLOOR & OVER 9 SQUARE FEET OF AREA, GLASS SHOWER
- 10. ANY WHIRLPOOL INSTALLATIONS ARE TO FOLLOW 2014 NEC
- 11. DRYER VENT SHALL BE MADE OF GALVANIZED SHEET METAL OR ALUMINUM -VENT DRYERS AND EXHAUST FANS TO OUTSIDE
- 12. A FIRE RATED DOOR IS REQUIRED BETWEEN THE GARAGE AND THE HOUSE -SOLID CORE WITH CLOSERS
- 13. CONTRACTORS TO OBTAIN AND FOLLOW THE INSTALLATION DETAILS AND PROCEDURES FOR ALL MANUFACTURED PRODUCTS AS CALLED FOR IN THE MANUFACTURER'S SPECIFICATIONS THIS IS TO INCLUDE LVL BEAMS, I-JOISTS, SHINGLES, SIDING, INSULATION, WINDOWS, DOORS, APPLIANCES, ETC.
- 14. WINDOW MANUFACTURER TO DESIGN AND PROVIDE NECESSARY REINFORCING FOR WIND LOADS IN MULLIONS OF COMBINED WINDOWS VERIFY LOAD
- 15. HEARTH EXTENSION MIN. 16" TO FRONT & 8" TO SIDE OF FIREPLACE OPENING -
- IF OPENING IS 6 SQ. FT. OR GREATER 20" TO FRONT AND 12" TO SIDES. 16. EMERGENCY EGRESS WINDOWS PER SEC R310 OF 2015 IRC
- 17. PROVIDE A (1) HOUR FIRE SEPARATION AT WALLS AND CEILINGS IN GARAGE COMMON TO RESIDENCE - 5/8" TYPE "X" GYP. BD. AT WALLS AND CEILING AND PROTECTING ALL STRUCTURAL AND STEEL MEMBERS
- 18. ARC-FAULT INTERRUPTER DISCONNECT (AFCI) IS REQUIRED PER 2015 IRC E3902.11 OR 2014 NEC ARTICLE 210.12
- 19. ALL OUTLES IN GARAGE, BATHROOMS, KITCHEN, EXTERIOR AND BASEMENT TO BE GFI PROTECTED - OUTLETS AT FOR SUMP PUMP, FURNACE AND EJECTOR PITS TO BE SINGLE DEDICATED OUTLES. - SEE ELECTRICAL DRAWIGS
- 20. ALL BEDROOMS SHALL HAVE AT LEAST ONE EGRESS WINDOW WITH A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT., A MINIMUM NET CLEAR OPENING HEIGHT DIMENSION OF 24", MINIMUM WIDTH OF 20" AND A MAXIMUM SILL HEIGHT OF 44" ABOVE THE FINISHED FLOOR.
- PROVIDE WINDOW FALL PROTECTION AS PER R312 OF THE 2015 IRC 22. INSTALL (1) 110V ELECTRIC FIRE AND SMOKE DETECTOR ON EACH FLOOR. INCLUDING BASEMENT, AND EACH BEDROOM WIRED IN SERIES FOR
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ROOF RAFTER SCHEDULE 16" O.C. 18'-2" 12" O.C. 21'-0"

16" O.C. ALL RAFTERS SHALL BE MINIMUM SIZE AND SPACING PER SCHEDULE ABOVE UNLESS OTHERWISE NOTED ON PLANS - ALL

2 CANADIAN SPRUCE PINE FIR (E = 1,400,000 MIN.) OR BETTER

RAFTERS SHALL BE # 2 HEM - FIR (E = 1,200,000 MIN.)

CEILING JOIST SCHEDULE							
JOIST SIZE	JOIST SIZE JOIST SPACING M.						
2 x 4	AT 16" O.C.	6'-6"					
2 x 6	AT 16" O.C.	12'-0"					
2 x 8	AT 16" O.C.	16'-0"					
2 x 8	AT 12" O.C.	18'-6"					
2 x 10	AT 16" O.C.	19'-7"					
2 x 10	AT 12" O.C.	22'-7"					
2 x 12	AT 16" O.C.	22'-8"					
2 x 12	AT 12" O.C.	26'-3"					
	IALL BE # 2 HEM - FIR , # 2 CANA R BETTER. ALL JOISTS SHALL E						

SIZE AND SPACING PER SCHEDULE ABOVE UNLESS OTHERWISE NOTED OTHERWISE ON PLANS.

FLOOR JOIST SCHEDULE

FLOOR JOIST SCHEDULE								
	MAXIMUM SPAN							
JOIST & SPACING	NON-SLEEPING ROOMS	SLEEPING ROOMS						
L / 360	40# LL - 10# DL	30# LL - 10# DL						
2 x 8 AT 12" O.C.	13'-2"	14'-6"						
2 x 8 AT 16" O.C.	12'-0"	13'-2"						
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2 x 10 AT 16" O.C.	15'-2"	16'-10"						
2 x 10 AT 16" O.C. DBL. EVERY OTHER JOIST	15'-9"	17'-5"						
2 x 12 AT 12" O.C.	20'-4"	22'-6"						
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2 x 12 AT 16" O.C. DBL. EVERY OTHER JOIST	19'-1"	21'-4"						

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PROVIDE CROSS BRIDGING AT MAX. 8'-0" O.C.



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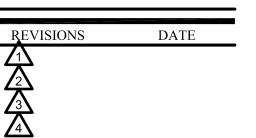
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PROPOSED NEW RESIDENCE 7237 GREYWALL COURT (LOT 96) LONG GROVE, IL 60047

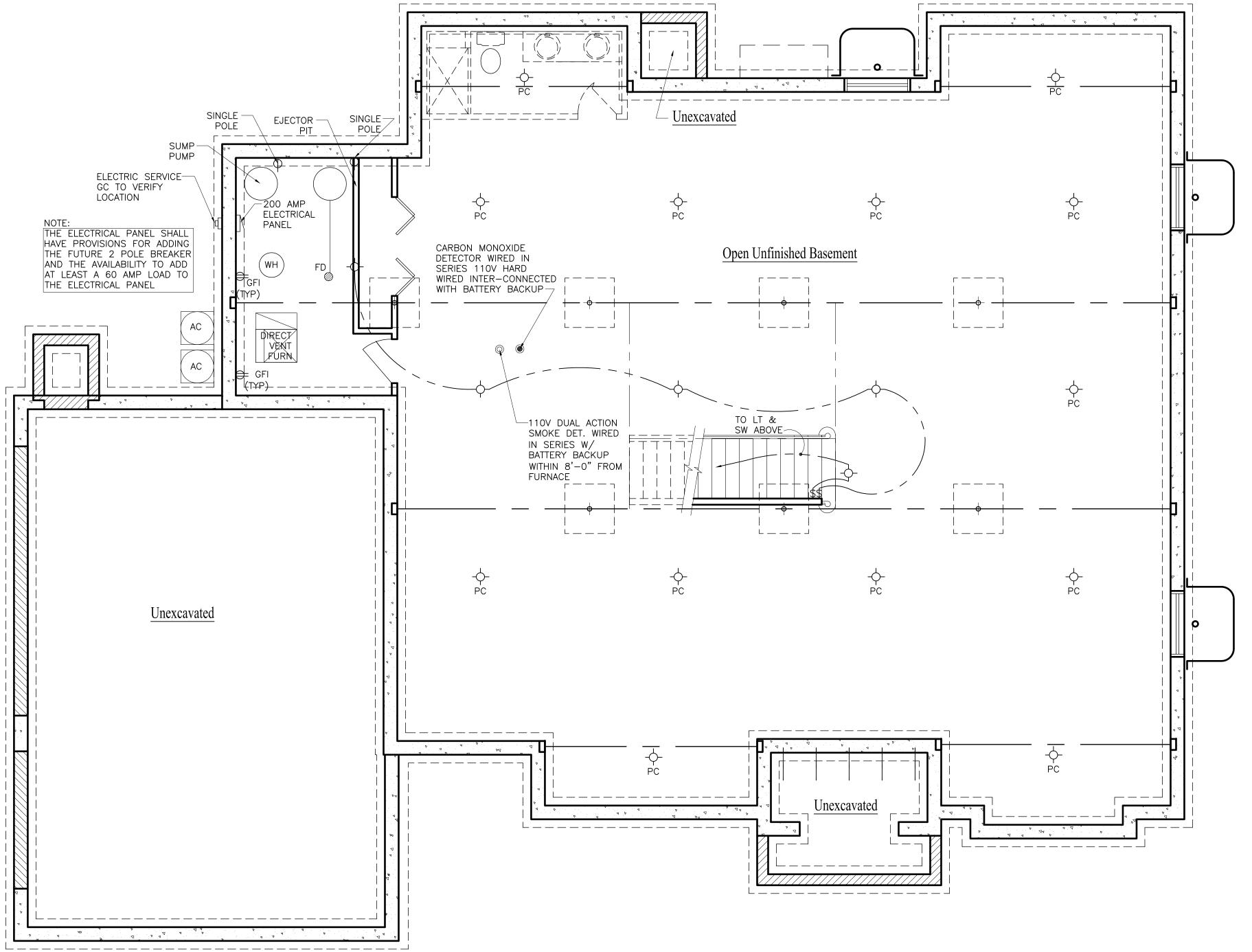
JOB NO. 21-011 DATE FILE

PLOT SCALE 1:1 OWNER APPROVAL

SHEET TITLE SECOND FLOOR PLAN

SHEET NUMBER

NATURAL LIGHT A FOR SINGLE FAMILY RESIDENCE	ND VEN	IILATION	SCHEL	OULE						
ROOM NAME	FLR AREA	ORDIN	ORDINANCE REQ'D			PROVIDED (ACTUAL)	REMARKS		
		GLAZED AREA (S.F)	VENT. AREA (S.F)	MECH. EXH. (CMF)	GLAZED VENT. AREA (S.F) AREA (S.F)		MECH. EXH. (CMF)	WINDOW NUMBER		
1ST FLR		,	,	Ì	,	,	Ì			
KITCHEN / DINETTE	459.00 SF	36.72 SF	18.36 SF		47.20 SF	28.30 SF		(2) 2547, 10882 9' SLIDER		
FAMILY ROOM	291.00 SF	23.28 SF	11.64 SF		76.00 SF	80.80 SF		(4) 2965, (4) 2959		
STUDY / BED	220.00 SF	17.60 SF	8.80 SF		30.00 SF	21.20 SF		(3) 2965		
LIVING ROOM	233.00 SF	18.64 SF	9.32 SF		30.00 SF	21.20 SF		(3) 2965		
DINING ROOM	236.00 SF	18.88 SF	9.44 SF		30.00 SF	21.20 SF		(3) 2965		
LAUNDRY ROOM	81.00 SF			75	9.00 SF	9.60 SF	75	(1) 2959		
BATH 1	65.00 SF			75	5.80 SF	6.30 SF	75	(1) 2947		
POWDER ROOM	30.00 SF			75			75			
2ND FLR										
MASTER BEDROOM / SITTING RM	459.00 SF	36.72 SF	18.36 SF		45.00 SF	38.40 SF		(3) 2959, (2) 2959		
MASTER BATH	189.00 SF			75	5.80 SF	6.30 SF	75	(1) 4725		
BEDROOM 2	219.00 SF	17.52 SF	8.76 SF		18.00 SF	19.20 SF		(2) 2959 W/ TRANSOM		
BEDROOM 3	200.00 SF	16.00 SF	8.00 SF		18.00 SF	19.20 SF		(2) 2959 W/ TRANSOM		
BEDROOM 4	236.00 SF	18.88 SF	9.44 SF		21.77 SF	14.51 SF		(2) 2959		
BATH 2	57.00 SF			75			75			
BATH 3	79.00 SF			75			75			
BATH 4	57.00 SF			75			75			



SCALE: 1/4" = 1'-0"

ELECTRIC KEY

⇒ 120 V. DUPLEX OUTLET □ RECESSED INCAND. 220 V. OUTLET -CEILING INCAND. THERMOSTAT _ PULL CHAIN **₽** DIMMER FLUORESCENT B DOOR BELL — → WALL MOUNT INCAND. ← SINGLE POLE SWITCH -S SPEAKER OUTLET EXHAUST FAN igoplus smoke detector * LOCATION BY OWNER -[≥] TV ANTENNA OUTLET E EXISTING DEVICE JUNCTION BOX R REMOVE OF RELOCATE

-ET ETHERNET OUTLET -CAT CAT OUTLET

-C SPEAKER CONTROL

PROVIDE WALL SWITCH CONTROLLED LIGHT FIXTURE FLUORESCENTS IN ALL CLOSETS OVER 5 S.F. ALL

FIRE AND SMOKE DETECTORS SHALL BE HARDWIRED AND INTERCONNECTED FOR SIMULTANEOUS ACTUATION. PROVIDE A MINIMUM OF ONE DETECTOR PER FLOOR AS SHOWN ON PLAN

ELECTRICAL CODE NOTES

- 1. A RUN OF CONDUIT MAY NOT BE BENT MORE THAN FOUR TIMES (4) AND NOT MORE 360 DEGREES.
- 2. MINIMUM #14 WIRE MUST BE USED IN ALL LIVING AREAS AND MIN. #12 WIRE MUST BE USED IN KITCHEN AREA
- 3. EVERY 500 SF OF LIVING SPAC MUST BE SUPPLIED WITH A SEPARATE CIRCUIT
- 4. RECEPTACLE OUTLETS SUPPLIED BY AT LEAST TWO APPLIANCES RECEPTACLE BRANCH CIRCUITS MUST BE INSTALLED IN THE KITCHEN
- 5. PROVIDE ONE 20 AMP BRANCH CIRCUIT FOR LAUNDRY RECEPTACLE (S)
- 6. EVERY PANEL BOX MUST HAVE EACH CIRCUIT LABELED
- 7. BEDROOM RECEPTACLES REQUIRE ARC-FAULT BRANCH CIRCUIT PROTECTION
- 8. ALL ELECTRIC WORK TO COMPLY WITH LOCAL ELECTRIC CODE AND AMMENDMENTS
- 9. NO MORE THAN 12'-0" PERMITTED BETWEEN ELECTRICAL RECEPTACLES AND THEY SHALL BE LOCATED NOT MORE THAN 6'-0" FROM AN OPENING IN A WALL.
- 10. RACEWAY SEAL REQUIRED FOR SERVICE ENTRANCE (NEC 2014 ART. 230.8 & 300.5)
- 11. ALL OUTSIDE GFCI MUST BE PROTECTE BY A BULB DOOM COVER. (NEC 2014 ART. 406.8(B)(1)
- 12. ANY OUTLET IN LAUNDRY ROOM OPPOSITE TO LAUNDRY TUB MUST BE GFCI PROTECTED
- 13. SMOKE DETETOR IN BASEMENT MUST BE LOCATED WITHIN 8' OF FURNACE AREA
- 14. SMOKE DETECTORS IN DWELLING AREAS SHOULD BE LOCATED CLOSE TO DOOR OPENINGS
- 15. MEANS OF DISCONNECT BOX MUST HAVE A BUILT IN GFCI OUTLET FOR SERVICING OF A.C. UNIT
- 16. ARC-FAULT INTERRUPTER DISCONNECT (AFCI) IS REQUIRED PER 2015 IRC E3902.11 OR 2014 NEC ARTICLE 210.12
- 17. TAMPERED RESISTANT RECEPTACLE ARE REQUIRED PER NEC 406.11 IN AREAS SPECIFIED IN NEC 210.52
- 18. PROVIDE GFCI PROTECTION IN ALL RECEPTACLES IN DAMP OR WET LOCATIONS INCLUDING UNFINISHED BASEMENT PER NEC 406.8 AND 210
- 19. ARC-FAULT PROTECTION ALL CIRCUIT SUPPLYING 120-VOLT SINGLE PHASE, 15 AND 20 AMP OUTLETS WHICH INCLUDE LIGHTING OUTLET, SWITCH OUTLET AND RECEPTACLE OUTLET PER 2015 IRC



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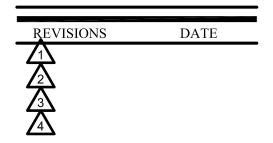
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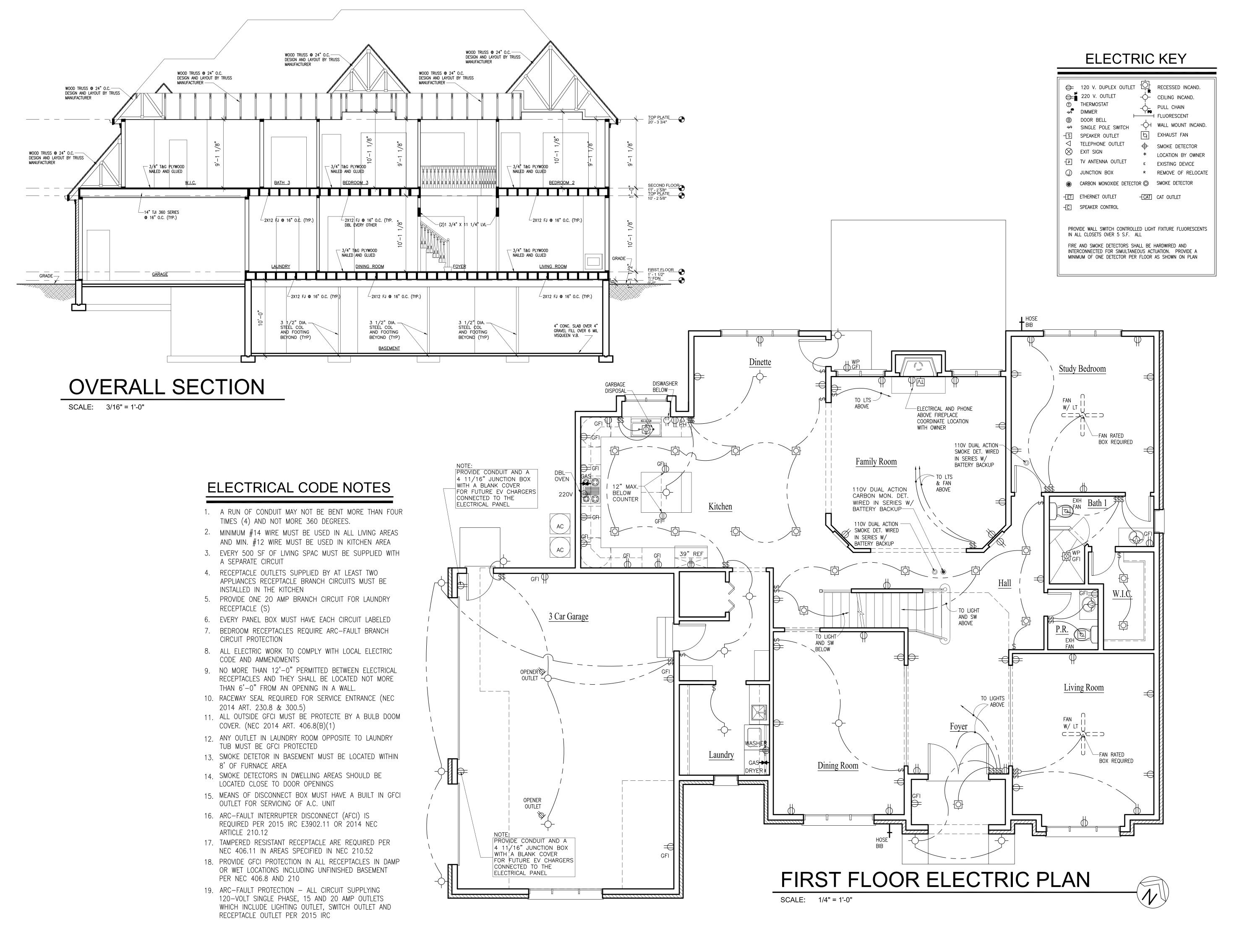
JOB NO. 21–011 DATE 06-10-21 **FILE** PLOT SCALE 1:1

OWNER APPROVAL

SHEET TITLE BASEMENT ELECTRIC PLAN & SCHEDULES

> SHEET NUMBER A6

BASEMENT ELECTRIC PLAN





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REVISIONS DATE

1
2
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PROPOSED NEW RESIDENCE 7237 GREYWALL COURT (LOT 96) LONG GROVE, IL 60047

CLIENT:
GREYWALL COURT LLC
6870 ELLIS DRIVE

JOB NO. 21–011 DATE 06–10–21 FILE PLOT SCALE1:1

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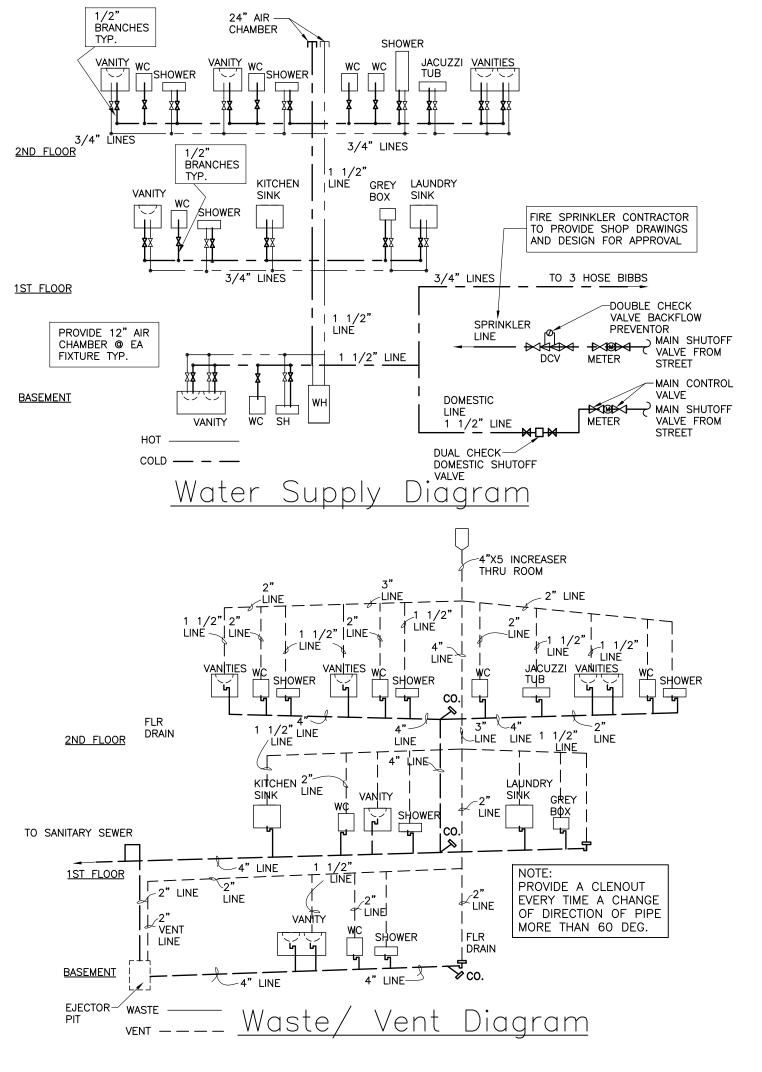
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Date

SHEET TITLE
FIRST FLOOR ELECTRIC PLAN

SHEET NUMBER

A7



WATER SUPPLY FIXTURE UNITS (WSFU)									
able M									
LOAD VALUE	NO. OF FIXTURES	TOTAL LOAD VALUE							
3	8	24							
1	8	8							
2	6	12							
2	1	2							
2	1	2							
1	1	1							
2	1	2							
3	1	3							
		54							
	LOAD VALUE 3 1 2 2 1 2	LOAD NO. OF FIXTURES 3 8 1 8 8 2 6 2 1 1 1 2 1 1 1 2 1 1							

WATER SUPPLY FIXTURE UNITS (WSFU)										
Sec	ction 890. Table N									
W.S.F.U.	DEMAND (GPM)	PIPE SIZE	PRESSURE LOSS (PSI/100' PIPE)	VELOCITY	METER SIZE (INCHES)					
60	32	1 1/2"	5.0 5.8		1"					

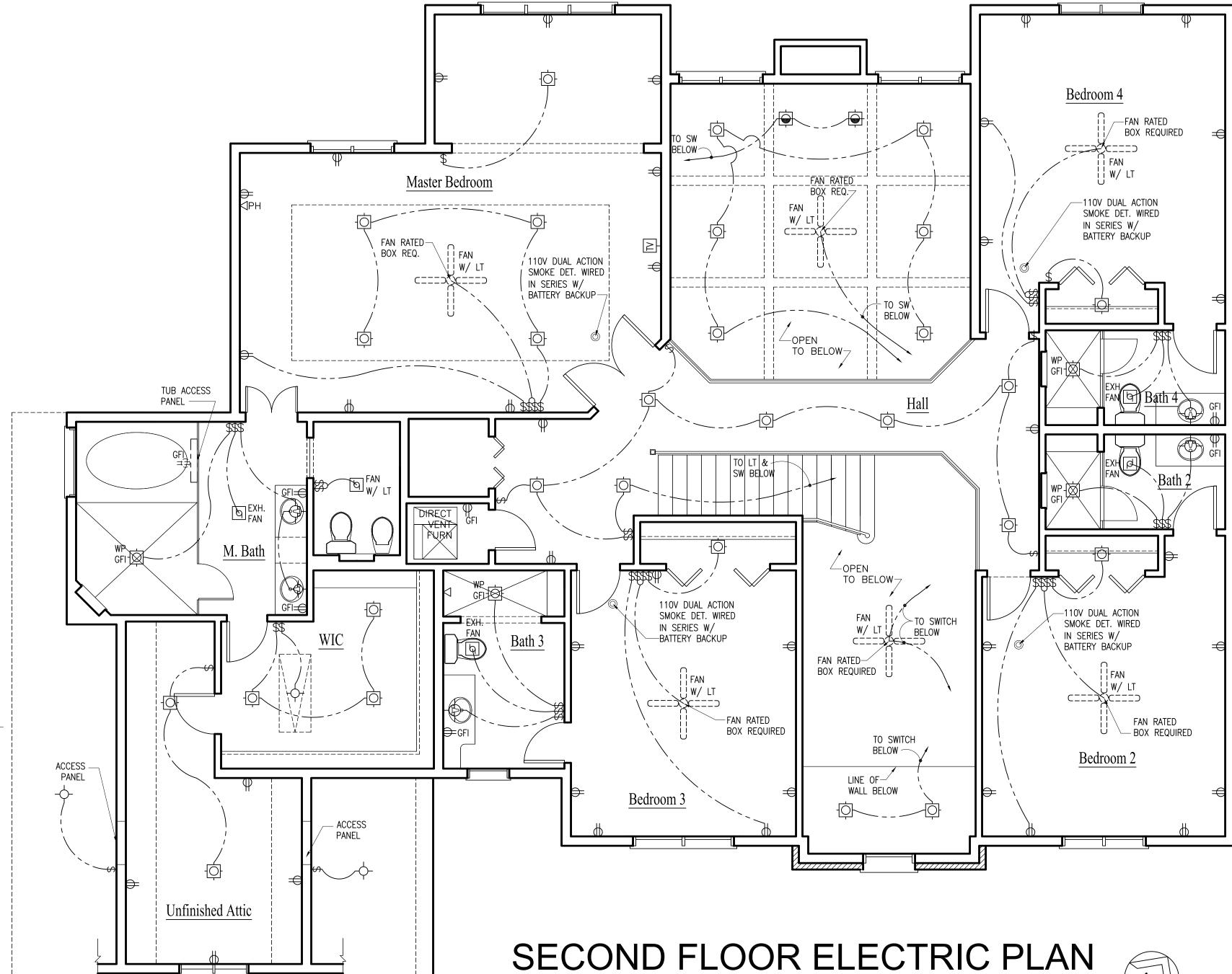
PLUMBING NOTES

- 1. ALL PLUMBING, PIPING, VALVES, INSULATION AND INSTALLATION METHODS AND REQUREMENTS: CONTRACTOR TO STRICTLY ADHERE TO THE ILLINOIS PLUMBING CODE AND VILLAGE OF LONG GROVE ORDINANCE REQUIREMENTS AND INSTALLED PER APPLICABLE
- 2. ALL EXPOSED DOMESTIC WATER PIPING, HORIZONTAL STORM WATER PIPING SHALL BE INSULATED WITH AN APPROVED INSULATION PER 2018 IECC AND VILLAGE OF LONG GROVE
- 3. ORDINANCE DOMESTIC WATER PIPING SHALL BE TYPE "L" COPPER TUBING, WITH 95-5 SOLDER TIN ANTIMONY (NO LEAD) SOLDER JOINT
- CONNECTIONS. ALL FITTINGS WILL BE BRASS OR CASE BRONZE INSULATE PIPING WITH 1/2" THICK INSULATION WITH ASJ JACKET
- 4. TYPE "K" COPPER REQUIRED ON UNDERGROUND DOMESTIC
- 5. ABOVE GROUND WASTE AND VENT PIPING TO BE COPPER TYPE . L OR K, CAST IRON OR SCH. 40 PVC. NO CELL CORE PVC ALLOWED

6. GATE VALVES AND CHECK VALVES SHALL BE BRONZE RATED AT

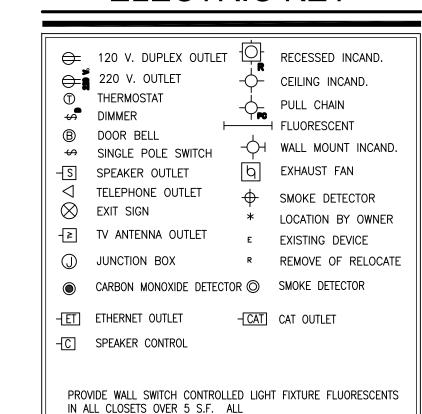
- 125 PSI WATER WORKING PRESSURE. INSULATION: PREMOLDED FIBERGLASS WITH VAPOR BARRIER. JACKET FOR HOT AND COLD WATER PIPING ONLY.
- 7. UNDERGROUND SANITARY TO BE SCH. 40 PVC. MINIMUM FOUR INCHES (4"). NO CELL CORE PVC
- 8. STACK TEST REQUIRED ON ABOVE GROUND WASTE AND VENT
- 9. 75 LB AIR TEST OR WATER PRESSURE REQUIRED ON WATER PIPING AT TIME OF ROUGH INSPECTION

- 10. ALL NEW PLUMBING MUST MEET ILLINOIS PLUMBING CODE AND VILLAGE OF LONG GROVE ORDINANCE
- 11. WATER SERVICE FROM MAIN TO BUILDING TO BE INSTALLED BY A
- LICENSED PLUMBER 12. FULL SIZE RISER CHAMBERS FOR THE DOMESTIC WATER DISTRIBUTION SYSTEM TO BE INSTALLED AND SHALL BE AT LEAST
- 24" IN LENGTH AND THE SAME AS RISERS 13. PLUMBING CONTRACTOR SHALL OBTAIN ANY INSPECTIONS,
- PERMITS REQUIRED DURING THIS CONTRACT.
- 14. PROVIDE FLOOR DRAIN ADJACENT TO WATER HEATER
- 15. ALL FIXTURES TO HAVE 12" AIR CHAMBERS TYP
- 16. ALL FIXTURES TO HAVE SHUT OFF VALVES
- 17. ALL LAVS TO HAVE 1 1/2" AIR GAP, SINKS TO HAVE 2 1/2" AIR GAP, TUBS TO HAVE 3" AIR GAP, WATER CLOSETS TO HAVE ANTISIPHON - TYPE WATER CLOSET FLUSH TANK BALL COCK
- 18. HOSE BIBS TO BE EQUIPPED WITH VACUUM BREAKER PROTECTION.
- 19. FLOOR DRAINS TRAPS AND DRAINS, INSTALLED INSTALLED BELOW A CONCRETE FLOOR OR UNDERGROUND, SHALL BE NOT LESS THAN FOUR (4) INCHES IN DIAMETER.
- 20. TRAP. A CONTINUOUS WAIST SHALL NOT BE USED ON KITCHEN SINK DRAIN LINES. TWO TRAPS ARE REQUIRED. (GARBAGE DISPOSAL, BASKET STRAINER).



SCALE: 1/4"= 1'-0"

ELECTRIC KEY



FIRE AND SMOKE DETECTORS SHALL BE HARDWIRED AND

INTERCONNECTED FOR SIMULTANEOUS ACTUATION. PROVIDE A

MINIMUM OF ONE DETECTOR PER FLOOR AS SHOWN ON PLAN

FOR CONST.

FOR APPROVAL FOR PERMIT FOR BID

ELECTRICAL CODE NOTES

- 1. A RUN OF CONDUIT MAY NOT BE BENT MORE THAN FOUR TIMES (4) AND NOT MORE 360 DEGREES.
- 2. MINIMUM #14 WIRE MUST BE USED IN ALL LIVING AREAS AND MIN. #12 WIRE MUST BE USED IN KITCHEN AREA
- 3. EVERY 500 SF OF LIVING SPAC MUST BE SUPPLIED WITH A SEPARATE CIRCUIT 4. RECEPTACLE OUTLETS SUPPLIED BY AT LEAST TWO
- APPLIANCES RECEPTACLE BRANCH CIRCUITS MUST BE INSTALLED IN THE KITCHEN 5. PROVIDE ONE 20 AMP BRANCH CIRCUIT FOR LAUNDRY
- RECEPTACLE (S)
- 6. EVERY PANEL BOX MUST HAVE EACH CIRCUIT LABELED 7. BEDROOM RECEPTACLES REQUIRE ARC-FAULT BRANCH CIRCUIT PROTECTION
- 8. ALL ELECTRIC WORK TO COMPLY WITH LOCAL ELECTRIC CODE AND AMMENDMENTS
- 9. NO MORE THAN 12'-0" PERMITTED BETWEEN ELECTRICAL RECEPTACLES AND THEY SHALL BE LOCATED NOT MORE THAN 6'-0" FROM AN OPENING IN A WALL
- 10. RACEWAY SEAL REQUIRED FOR SERVICE ENTRANCE (NEC 2014 ART. 230.8 & 300.5)
- 11. ALL OUTSIDE GFCI MUST BE PROTECTE BY A BULB DOOM COVER. (NEC 2014 ART. 406.8(B)(1)
- 12. ANY OUTLET IN LAUNDRY ROOM OPPOSITE TO LAUNDRY TUB MUST BE GFCI PROTECTED 13. SMOKE DETETOR IN BASEMENT MUST BE LOCATED WITHIN
- 8' OF FURNACE AREA 14. SMOKE DETECTORS IN DWELLING AREAS SHOULD BE
- LOCATED CLOSE TO DOOR OPENINGS 15. MEANS OF DISCONNECT BOX MUST HAVE A BUILT IN GFCI
- 16. ARC-FAULT INTERRUPTER DISCONNECT (AFCI) IS REQUIRED PER 2015 IRC E3902.11 OR 2014 NEC

OUTLET FOR SERVICING OF A.C. UNIT

- ARTICLE 210.12 17. TAMPERED RESISTANT RECEPTACLE ARE REQUIRED PER NEC 406.11 IN AREAS SPECIFIED IN NEC 210.52
- 18. PROVIDE GFCI PROTECTION IN ALL RECEPTACLES IN DAMP OR WET LOCATIONS INCLUDING UNFINISHED BASEMENT PER NEC 406.8 AND 210
- 19. ARC-FAULT PROTECTION ALL CIRCUIT SUPPLYING 120-VOLT SINGLE PHASE, 15 AND 20 AMP OUTLETS WHICH INCLUDE LIGHTING OUTLET, SWITCH OUTLET AND RECEPTACLE OUTLET PER 2015 IRC

architecture

129 Commercial Drive Suite 8 Yorkville, Illinois 60560 Phone: 630-381-9019 E-mail: alberto@agamadesigns.com

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ISSUED DATE

REVISIONS

EW RESIDENCE COURT (LOT 96) 60047 OSED NEW F GREYWALL COL GROVE, IL 600.

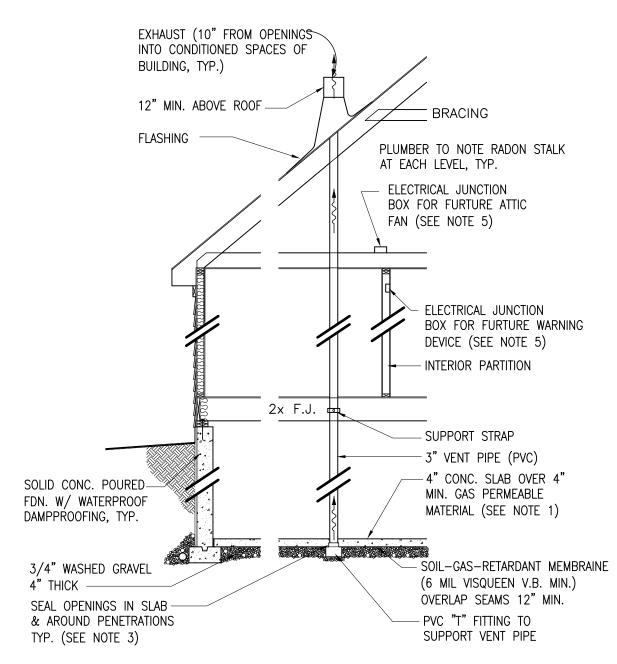
JOB NO. 21–011 DATE 06-10-21 **FILE** PLOT SCALE 1:1

OWNER APPROVAL

SHEET TITLE SECOND FLOOR ELECTRICAL PLAN & PLUMBING DIAGRAMS

SHEET NUMBER

A8

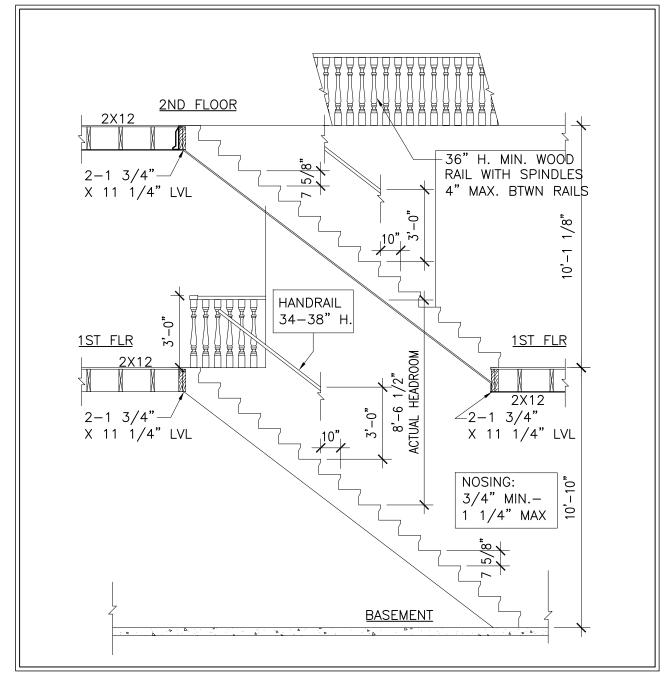


Passive Sub-Slab Depression Control System

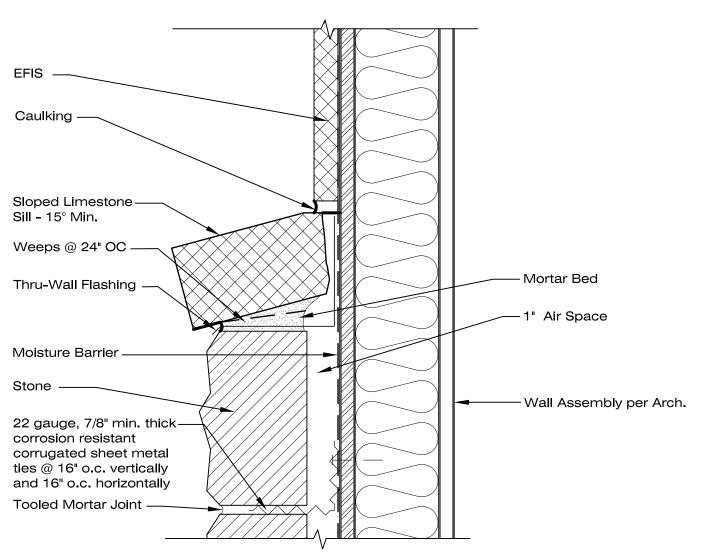
Passive Sub-Slab Depression Control System

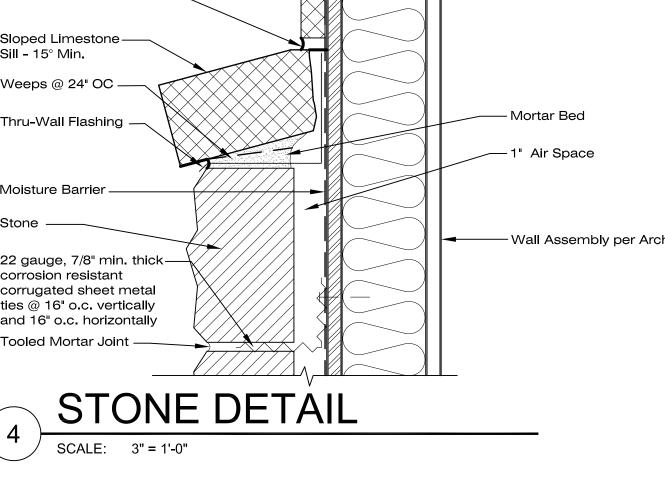
-) ALL CONC. SLABS THAT COME IN CONTACT WITH THE GROUND SHALL BE LAID OVER A GAS PERMIABLE MATERIAL MADE UP OF EITHER A MIN. 4" THICK UNIFORM LAYER OF CLEAN AGGREGATE, OR A 4" MIN. UNIFORM LAYER OF SAND. OVERLAIN BY A LAYER OF MANUFACTURED MATTING DESIGNED TO ALLOW THE LATERAL FLOW OF SOIL GASES.
- ALL CONC. SLABS SHALL BE DESIGNED & CONSTRUCTED IN ACCORDANCE WITH LOCAL BUILDING CODES. ADDITIONAL REFS.: AMERICAN CONCRETE INSTITUTE PUBLICATIONS, "AC1302.1R" & "AC1332R", OR THE POST TENSIONING INSTITUTE MANUAL, "DESIGN & CONSTURCTION OF POST-TENSIONED SLABS ON GROUND".
- ALL OPENINGS, GAPS & JOINTS IN FLOOR & WALL ASSEMBLIES IN CONTACT WITH SOIL OR GAPS AROUND PIPES, TOILETS, BATHTUBS OR DRIANS PRENITRATING THESE ASSEMBLIES SHALL BE FILLED OR CLOSED WITH MATERIALS THAT PROVIDE PERMINENT AIR-TIGHT SEAL. LARGE OPENINGS WITH NON-SHRINK MORTAR, GROUTS OR EXPANDING FOAM MATERIALS & SMALL GAPS WITH AN ELASTIC JOINT SEALANT, AS DEFINED IN ASTM C920-87.
- VENT PIPES SHALL BE INSTALLED SO THAT ANY RAINWATER OR CONDENSATION DRAINS DOWNWARD INTO THE GROUND BENEATH THE SLAB OR SOIL-GAS-RETARDENT MEMBRAINE. "AC1332R", OR THE POST TENSIONING INSTITUTE MANUAL,
- 5.) CIRCUITS SHOULD BE A MIN. OF 15 AMPS, 115 VOLT.
-) RADON SYSTEM TO INCLUDE 5 FEET EXTENSIONS OF EACH SIDE OF "T" IN UNDERSLAB PER STATE OF ILLINOIS
- MIN. 3' HEADROOM REQUIRED IN ATTIC WHERE PIPING EXTENDS THROUGH ROOF

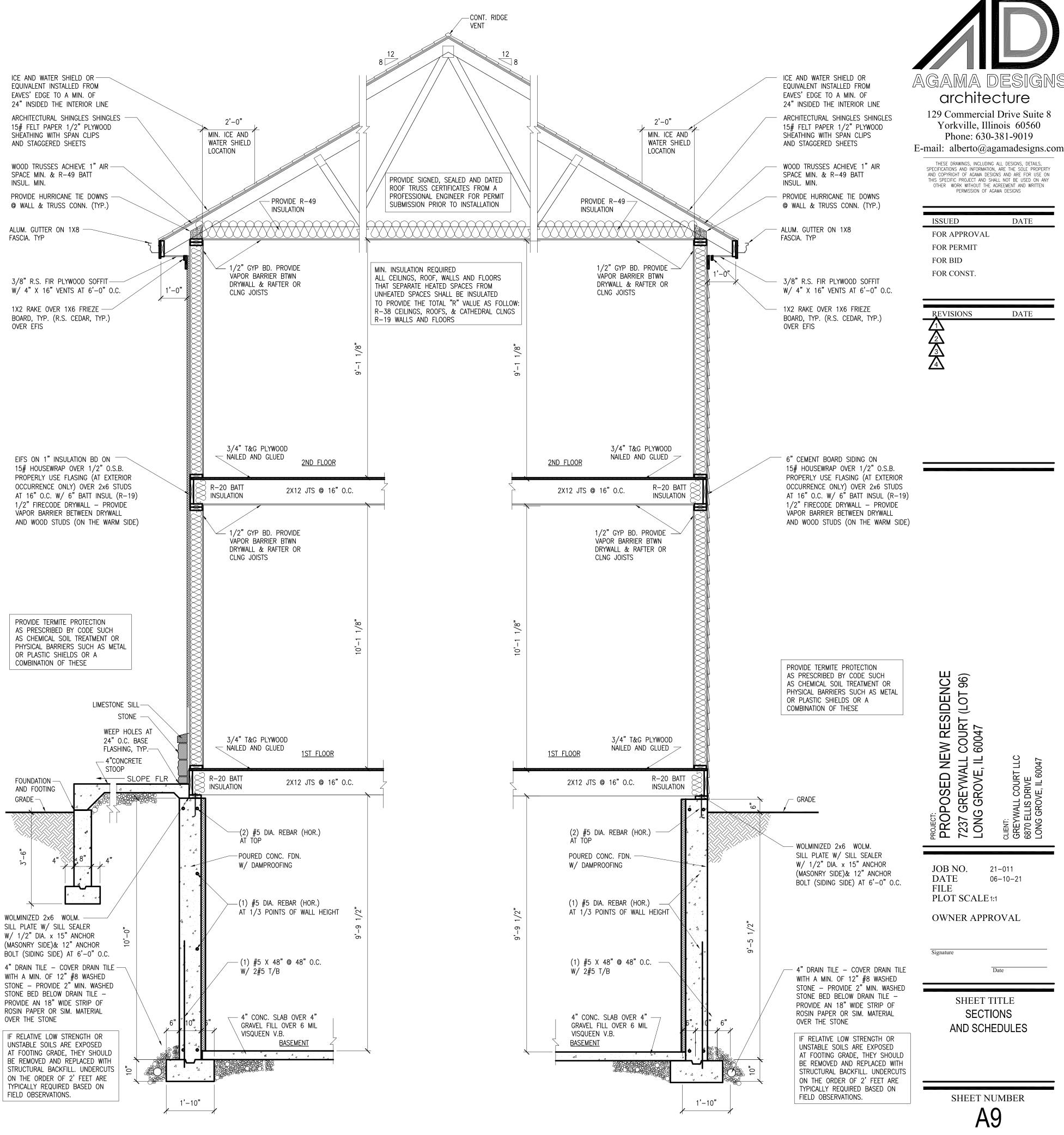
SECTON DETAIL



STAIR SECTION







SECTION THROUGH MAIN STRUCTURE

MECHANICAL GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH CITY OF ELGIN CODES AND ORDINANCES 2. ALL EQUIPMENT SHALL BE U.L., ETL, AND/OR AGA LABELED AS REQUIRED.

3. ALL DUCTWORK SHALL BE PRIME GRADE GALVANIZED SHEET METAL PER SMACNA STANDARDS.

4. DUCTWORK SHALL BE SUPPORTED WITH APPROVED HANGERS AT INTERVALS NOT EXCEEDING TEN (10) FEET OR BY OTHER APPROVED DUCT SUPPORT SYSTEMS DESIGNED IN ACCORDANCE WITH THE BUILDING CODE. FLEXIBLE AND OTHER FACTORY-MADE DUCTS SHALL BE SUPPORTED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

5. ELECTRICAL CONTRACTOR SHALL WIRE ALL EQUIPMENT AND SHALL PROVIDE DISCONNECT SWITCHES, STARTERS AND/OR RELAYS AS REQUIRED.

6. SECTION G2445.5 (621.5) ROOM OR SPACE VOLUME, SHALL BE AMENDED TO READ AS FOLLOWS: WITH ACCA MANUAL J OR OTHER APPROVED HEATING A THE AGGREGATE INPUT RATING OF ALL UNVENTED APPLIANCES COOLING CALCULATION METHODOLOGIES. HEATING AND INSTALLED IN A ROOM OR SPACE SHALL NOT EXCEED 10 BTU/H PER CUBIC FOOT (0.105KW/M3) VOLUME OF SUCH ROOM OR SPACE. WHERE THE ROOM OR SPACE IN WHICH THE EQUIPMENT IS INSTALLED IS DIRECTLY CONNECTED TO ANOTHER ROOM OR SPACE BY A DOORWAY, ARCHWAY OR OTHER OPENING OF COMPARABLE SIZE THAT CANNOT BE CLOSED, THE VOLUME OF SUCH ADJACENT ROOM OR SPACE SHALL BE PERMITTED TO BE INCLUDED IN THE CALCULATIONS.

7. FLEXIBLE AIR DUCTS, BOTH METALLIC AND NON-METALLIC, PRODUCTS OF COMBUSTION TO THE OUTSIDE OF THE SHALL BE LISTED AND LABELLED TO INDICATE CONFORMANCE BUILDING AND CONFORM TO REQUIREMENTS OF SECTION WITH THE REQUIREMENTS OF UL 181 FOR CLASS 0 OR CLASS 1 FLEXIBLE AIR DUCTS. FLEXIBLE AIR DUCTS SHALL NOT EXCEED TEN (10) FEET IN LENGTH.

8. RANGE HOODS SHALL DISCHARGE TO THE OUTDOORS THROUGH A SINGLE-WALL DUCT. THE DUCT SERVING THE AIR TIGHT AND SHALL BE EQUIPPED WITH A BACKDRAFT DAMPER. DUCTS SERVING RANGE HOODS SHALL NOT

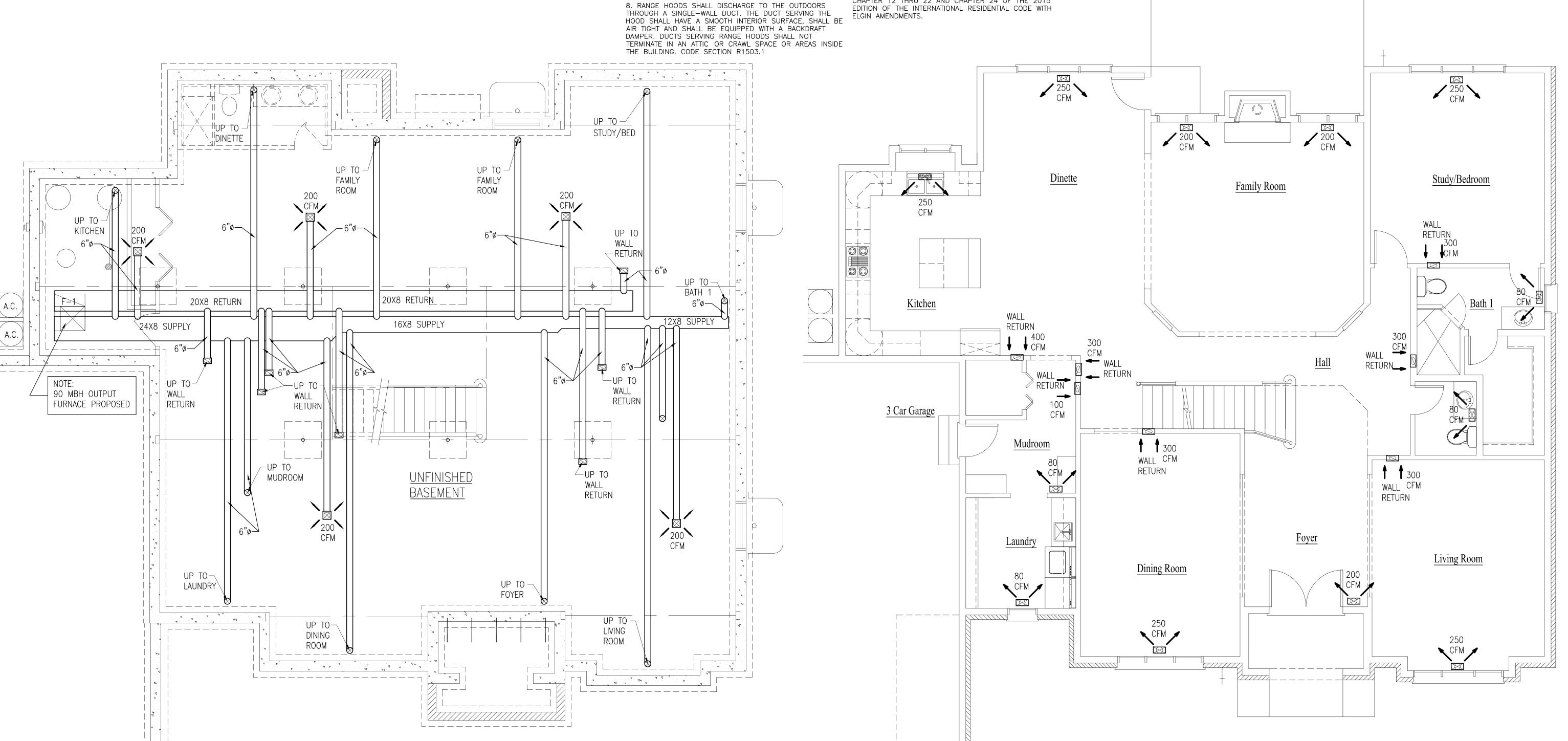
9. EXHAUST HOOD SYSTEMS CAPABLE OF EXHAUSTING IN EXCESS OF 400 CUBIC FEET PER MINUTE (0.19 M3/S) SHALL BE PROVIDED WITH MAKEUP AIR AT A RATE APPROXIMATELY EQUAL TO THE EXHAUST AIR RATE. SUCH MAKEUP AIR SYSTEMS SHALL BE EQUIPPED WITH A MEANS OF CLOSURE AND SHALL BE AUTOMATICALLY CONTROLLED TO START AND OPERATE SIMULTANEOUSLY WITH THE EXHAUST SYSTEM. CODE SECTION M1503.4

10. RANGE HOODS SHALL DISCHARGE TO THE OUTDOORS THROUGH A SINGLE-WALL DUCT. THE DUCT SERVING THE HOOD SHALL HAVE A SMOOTH INTERIOR SURFACE, SHALL BE AIR TIGHT AND SHALL BE EQUIPPED WITH A BACKDRAFT DAMPER. DUCTS SERVING RANGE HOODS SHALL NOT TERMINATE IN AN ATTIC OR CRAWL SPACE OR AREAS INSIDE THE BUILDING. CODE SECTION R1503.1

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12. ALL ROOMS CONTAINING BATHTUBS OR SHOWERS MUST BE MECHANICALLY VENTED PER AMENDMENT M1507.2 13. ALL BATHROOM EXHAUST TO BE VENTED TO EXTERIOR PER IRC R303.3 AS AMENDED 15. CLOTHES DRYER EXHAUST SHALL CONVEY MOISTURE AND

M1502 OF THE 2015 INTERNATIONAL RESIDENTIAL CODE. 16. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF CHAPTER 12 THRU 22 AND CHAPTER 24 OF THE 2015 EDITION OF THE INTERNATIONAL RESIDENTIAL CODE WITH



architecture

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FOR PERMIT FOR BID

FOR CONST.

REVISIONS

DATE

DATE PLOT SCALE 1:1

OWNER APPROVAL

SHEET TITLE

BASEMENT & FIRST FLOOR MECHANICAL & SCHEDULES

> SHEET NUMBER M1



MECHANICAL GENERAL NOTES

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PER IRC R303.3 AS AMENDED 15. CLOTHES DRYER EXHAUST SHALL CONVEY MOISTURE AND

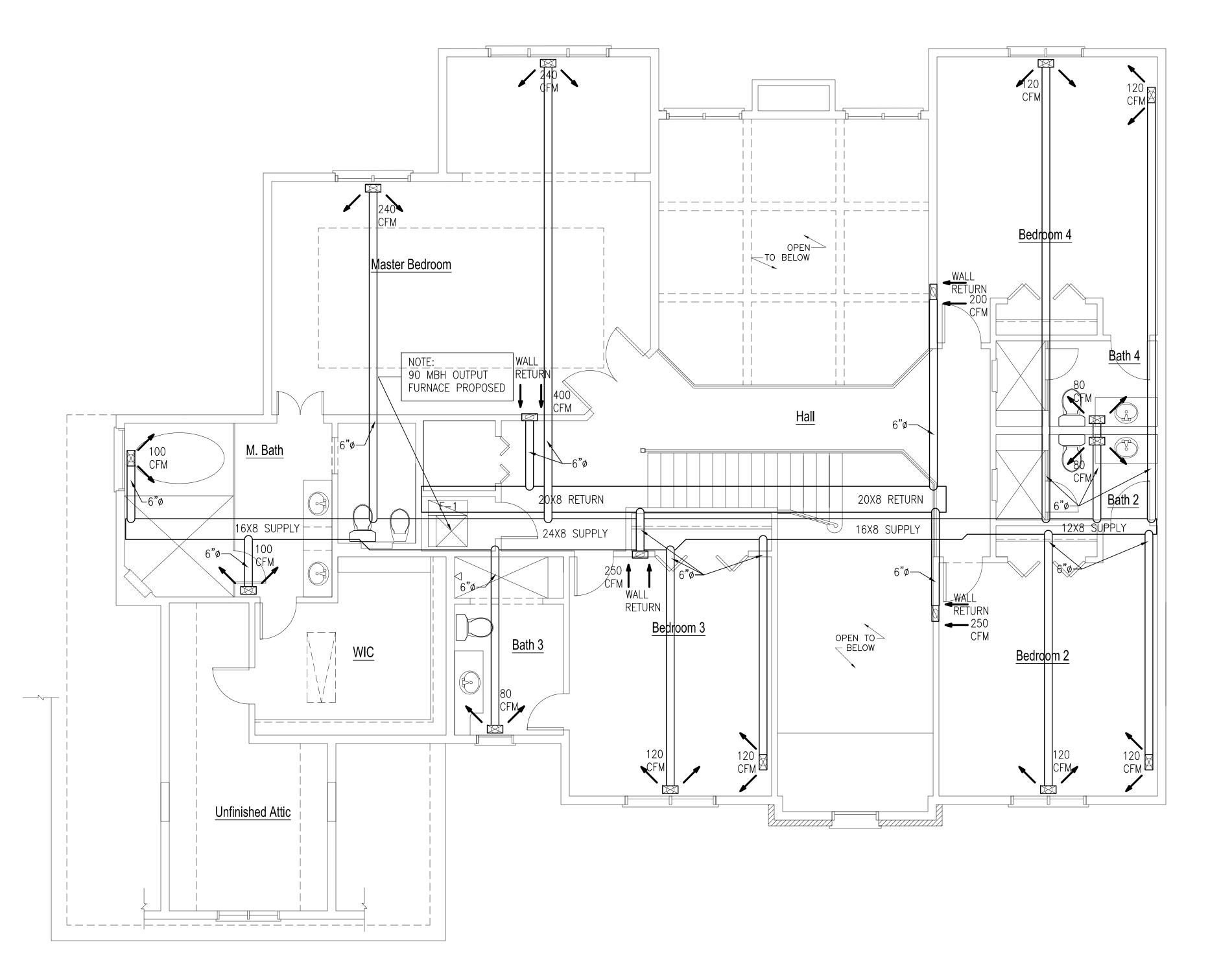
M1502 OF THE 2015 INTERNATIONAL RESIDENTIAL CODE.

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EQUIVALENT HVAC DUCT SIZES BY CFM									
EQUIVALENT RECTANGULAR SIZES	EQUIVALENT ROUND DUCT SIZES								
3X4	4								
3X7, 4X5	5								
4X7, 5X6	6								
4X9, 5X7, 6X6	7								
6X7	8								
5X12, 6X10, 7X8	9								
7X10, 8X9	10								
8X10, 9X9	10								
8X12, 10X10	12								
8X14, 9X12, 10X11	12								
8X15, 10X12	12								
10X14, 12X12	14								
12X14	14								
12X15	15								
10X22, 14X15	16								
12X19, 14X16	17								
10X25, 12X20, 15X16	17								
14X20, 15X18	19								
12X26, 16X20	20								
12X30, 14X25	21								
12X34, 15X25	22								
12X36, 16X25, 20X20	23								
12X45, 16X30, 20X24	24								
	EQUIVALENT RECTANGULAR SIZES 3X4 3X7, 4X5 4X7, 5X6 4X9, 5X7, 6X6 6X7 5X12, 6X10, 7X8 7X10, 8X9 8X10, 9X9 8X12, 10X10 8X14, 9X12, 10X11 8X15, 10X12 10X14, 12X12 12X14 12X15 10X22, 14X15 12X19, 14X16 10X25, 12X20, 15X16 14X20, 15X18 12X26, 16X20 12X30, 14X25 12X34, 15X25 12X36, 16X25, 20X20								

MECHANICAL VENTILATION SYSTEM FAN EFFICACY									
FAN LOCATION	MIN. AIR FLOW RATE (CFM)	MIN. EFFICACY (CFM / WATT)	MAX. AIR FLOW RATE (CFM)						
RANGE HOOD	ANY	2.8 CFM/WATT	ANY						
N-LINE FAN	ANY	2.8 CFM/WATT	ANY						
BATHROOM, JTILITY ROOM	10 CFM	2.8 CFM/WATT	LESS THAN 90 CFM						
BATHROOM, JTILITY ROOM	90 CFM	2.8 CFM/WATT	ANY						

			FURNACE SCHEDULE (DX COOL, GAS HEAT - FURNACE TO BE 92% EFFICIENCY)															
			MARK	MFGR. MODEL/TYPE	QTY.	HEATING OUTPUT (MBH)	G DATA CFM @.5"H20	E AMP	LECTRICAL	DATA VOLT	PH	COOL CFM	NG COIL DE CAPACITY		VENT CONN. SIZE	GAS CONN. SIZE	DRAIN CONN. SIZE	NOTES
NTILATION	SYSTEM FAN EF	FICACY	F-1	AMERICAN STANDARD AS-AUH2B0100A9V3VA	2	100	1600	11.5	60	115	1	1600	39.0	30.5	2"	1/2"	3/4"	NOTE 1, 2, 3, & 4
R FLOW CFM)	MIN. EFFICACY (CFM / WATT)	MAX. AIR FLOW RATE (CFM)	FURNACE NOTES: 1. PROVIDE COOLING COIL															
	2.8 CFM/WATT	ANY	2. ALTERNATE MECHANICAL LAYOUT — PROVIDE 2 FURNACES OF 60 MBH AND 40 MBH 3. PROVIDE EXHAUST THRU ROOF W / 2" PVC — PROVIDE CONCENTRIC VENT TERMINATION 4. PROVIDE ELECTRIC DUCT HEATER TO TEMPER AIR INTAKE FROM —10 TO 55 DEGREES															
	2.8 CFM/WATT	ANY	5.	5. PROVIDE BAROMETRIC EXAUST TO BALANCE INTAKE 5. PROVIDE BAROMETRIC EXAUST TO BALANCE INTAKE														
	2.8 CFM/WATT	LESS THAN 90 CFM	AIR COOLED CONDENSING UNIT SCHEDULE															
			MARK	MFGR. MODEL/TYPE	QTY	. NOM.	RATING	SUCT.	QTY. AMB. OF TEMP. COMP	COMP.	STEPS		LECTRICAL			PIPE CONN		NOTES
	2.8 CFM/WATT	ANY	AC-1	AMERICAN STANDARD AS-4A7A3048	2	4	13	TEMP. -	<u>– 1</u>	. ŁA. _	UNLOAD –	30	19.1	197/253		SUCTION 7/8	LIQUID 3/8	NOTE 1
			AIR CO	DLED CONDENSING UNIT NOTE MOUNT AC-1 MOUNT ON M		RACKETS	ATTACHE	D TO HO	DUSE									





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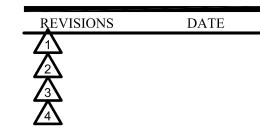
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ISSUED	DATE
FOR APPROVAL	

FOR PERMIT FOR BID

FOR CONST.



POSED NEW RESIDENCE GREYWALL COURT (LOT 96) GROVE, IL 60047

JOB NO. DATE PLOT SCALE 1:1

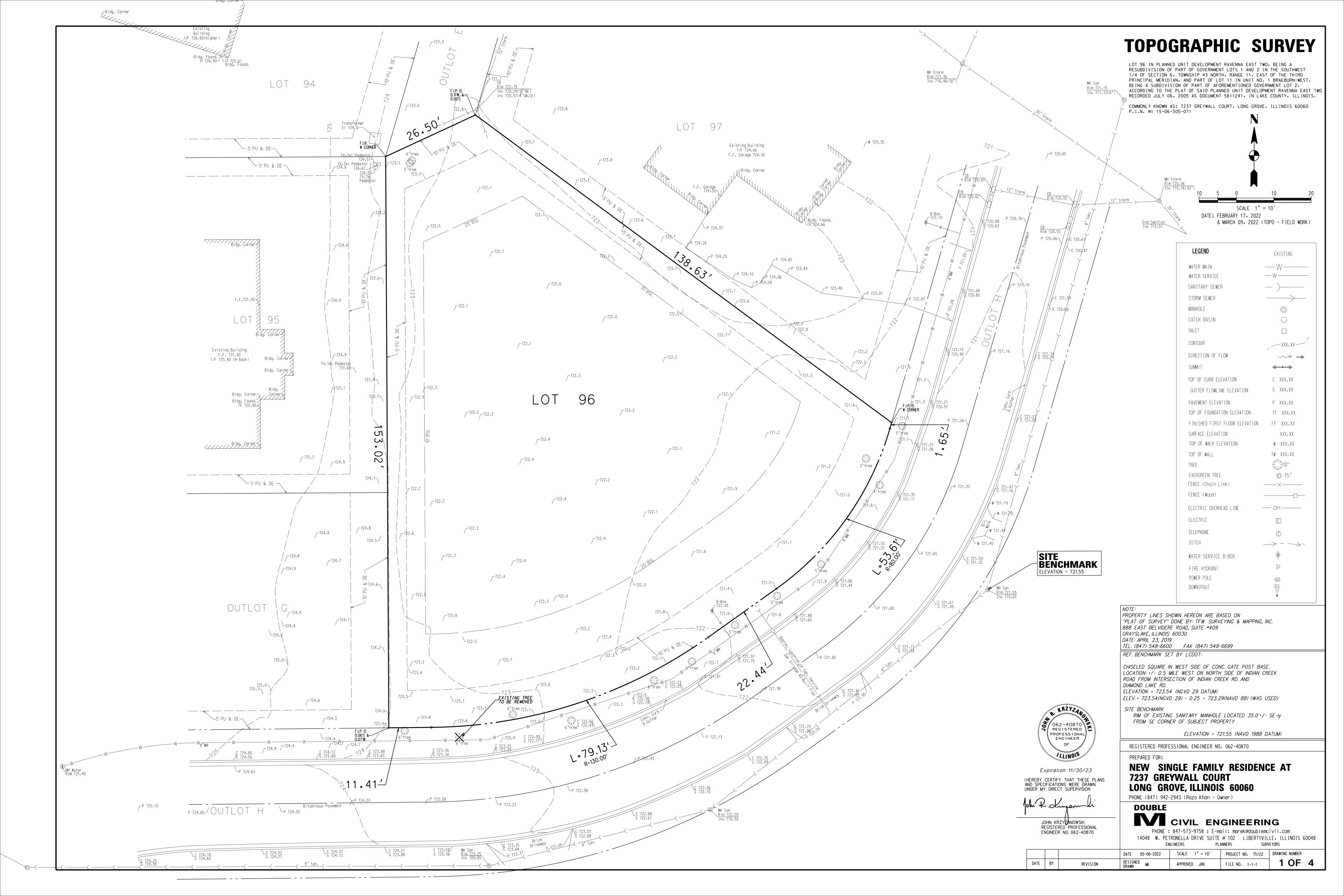
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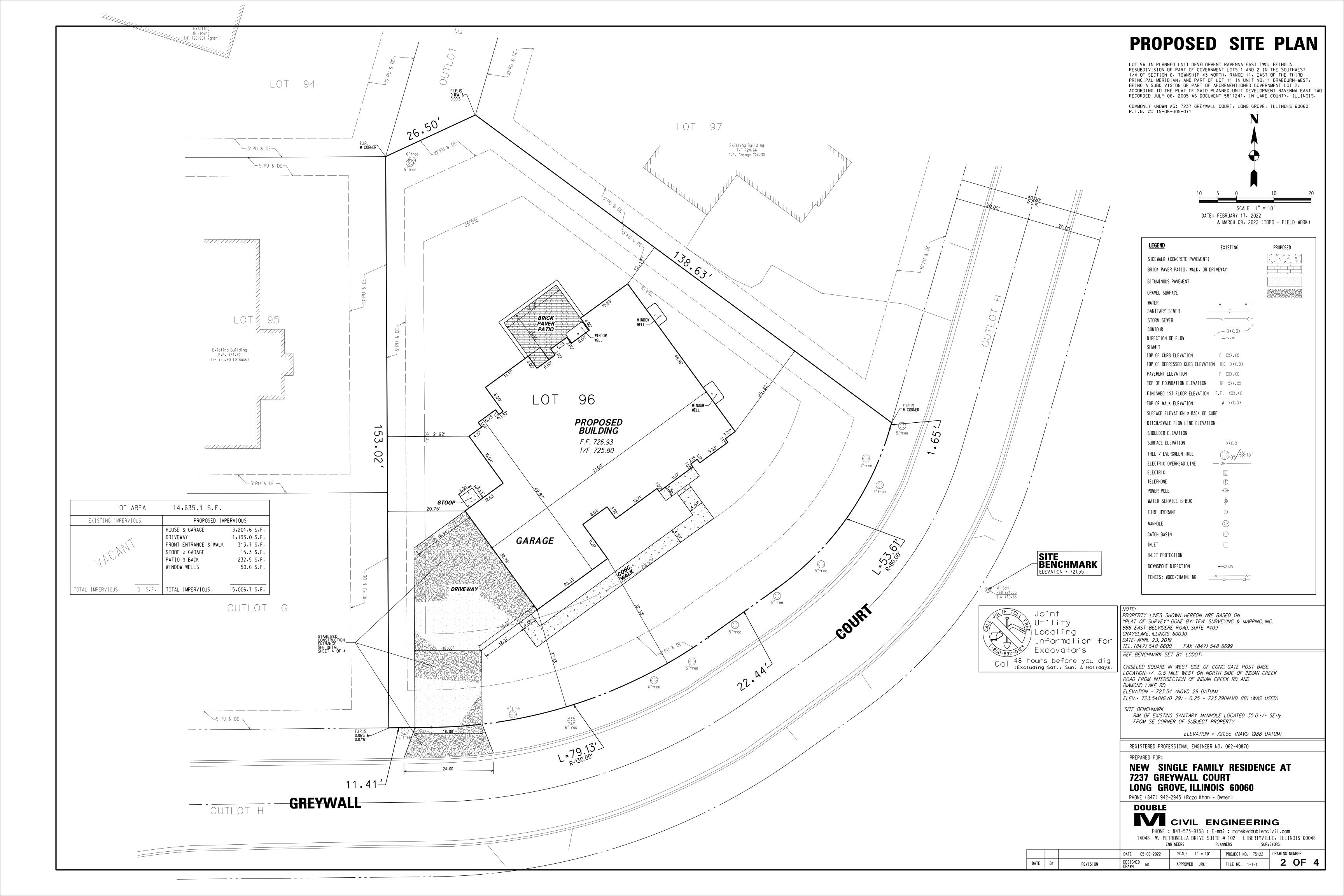
SHEET TITLE **BASEMENT & FIRST FLOOR** MECHANICAL & NOTES

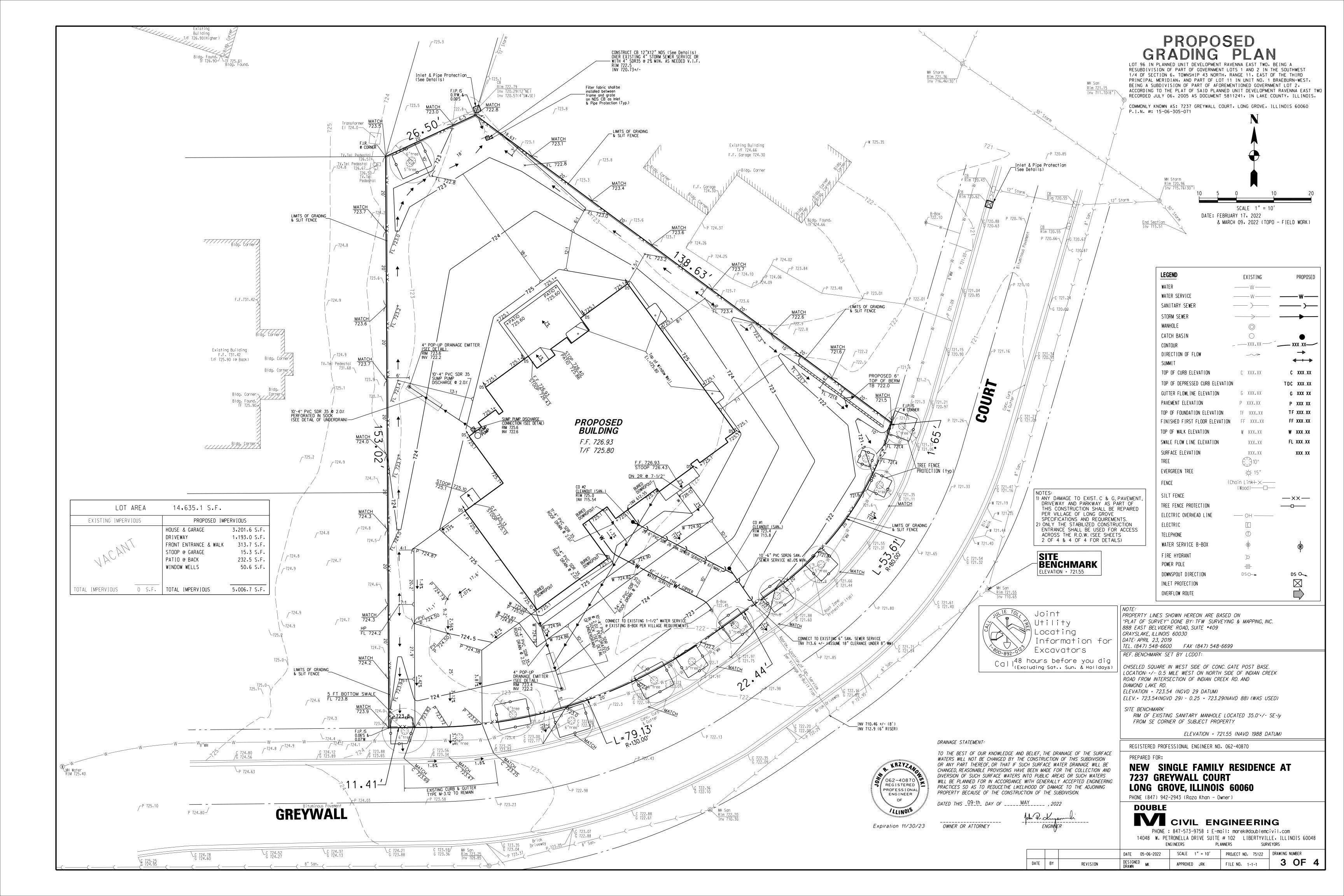
SHEET NUMBER

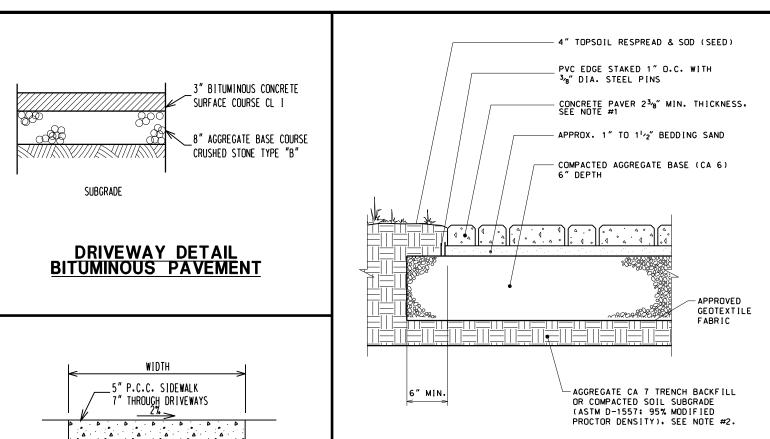
SECOND FLOOR MECHANICAL PLAN











3. PAVERS SHALL NOT BE USED IN PUBLIC STREETS.

4. A HOLD HARMLESS AGREEMENT SHALL BE

VILLAGE RIGHT-OF-WAY

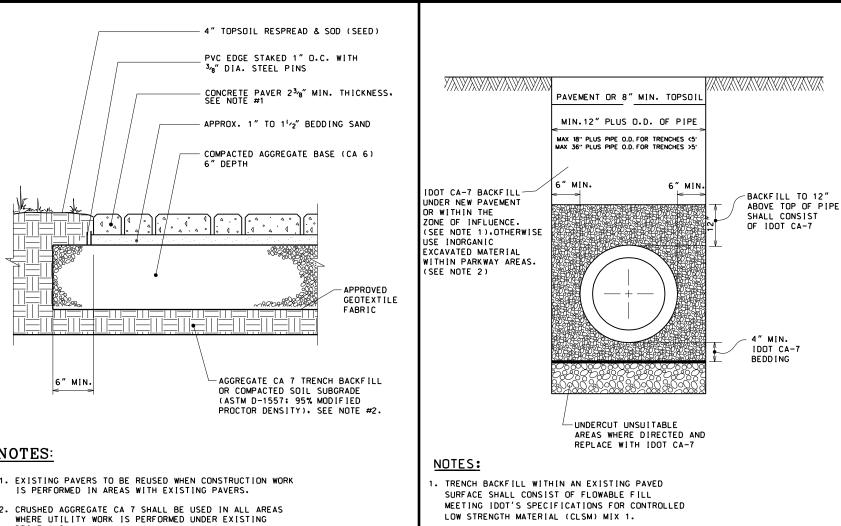
REQUIRED IN ADVANCE OF CONSTRUCTION FOR ANY PAVER INSTALLATION WITHIN THE

— 4" CRUSHED STONE.

SEE PLAN FOR DIRECTION OF

WALK DETAIL

WALK PITCH AND WIDTH.



NOT TO SCALE

PAVER

DETAIL

NSTALLATION

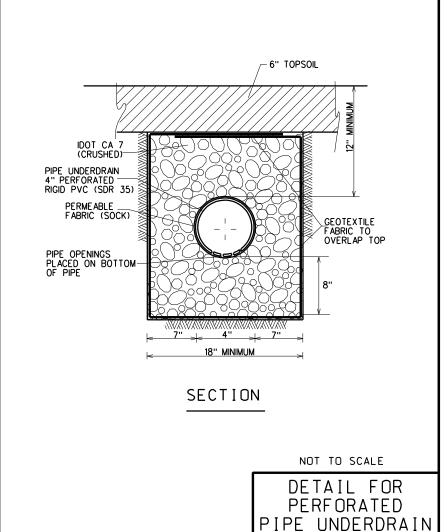
LOW STRENGTH MATERIAL (CLSM) MIX 1.

JETTING NOT ALLOWED)

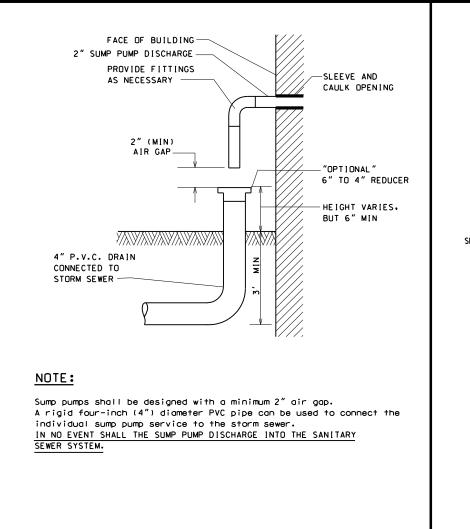
ALL MATERIALS SHALL BE PROPERLY COMPACTED

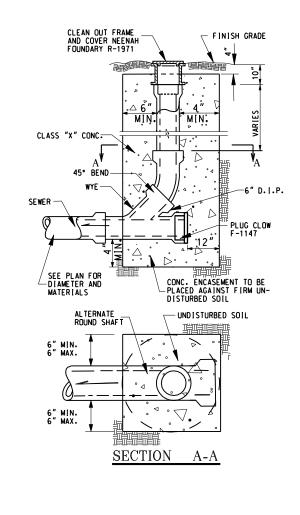
PER SPECIFICATIONS (INUNDATION OR WATER

. ALL TRENCH EXCAVATIONS SHALL MEET OSHA REQUIREMENTS.



%" Grate Openino





CLEANOUT

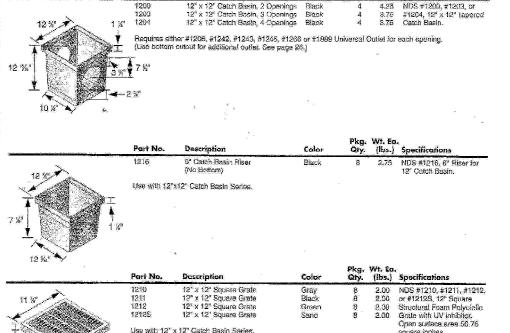
POP-UP DRAINAGE EMITTER



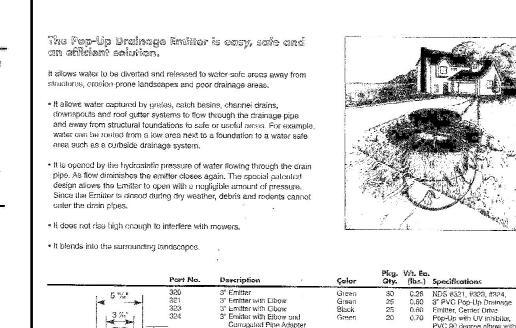
AT THE POP-UP

DRAINAGE

EMITTER



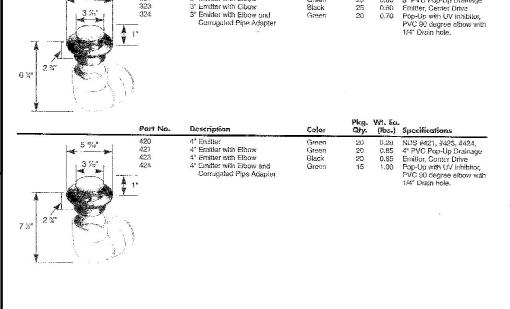
Note: All dimensions are nominal. All weights are for shipping purposes only. NDS For customer service, please send your fax to: 1-800-726-1998 or call 1-800-726-1994.



NOT TO SCALE

SUMP PUMP DISCHARGE

CONNECTION DETAIL



For customer service, pleuse send your fex to: 1-800-726-1998 or cell 1-800-726-1994.

GROUND -EXISTING PAVEMENT COARSE AGGREGATE SILT FENCE -PAVEMENT FILTER FABRIC -MOUNTABLE BERM (TIED INTO SILT FENCE ELEVATION TO EXTEND FULL WIDTH OF ENTRANCE —3" MIN SECTION A-A

STABILIZED

ENTRANCE

DETAIL

ONSTRUCTION

GEOTEXTILE FILTER FABRIC SHALL BE PLACED OVER THE CLEARED AREA PRIOR TO PLACING COARSE AGGREGATE
 COARSE AGGREGATE (OR CRUSHED CONCRETE) SHALL MEET

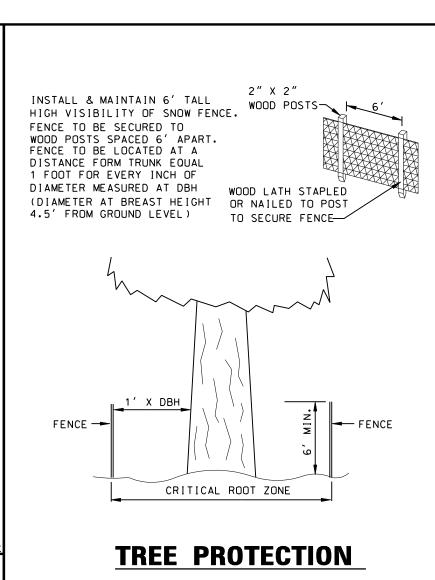
STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED

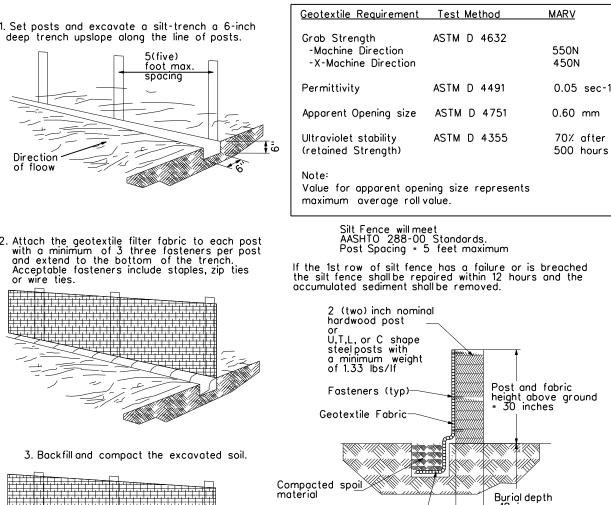
. CONSTRUCTION ENTRANCE SHALL BE REMOVED UPON

PRIOR TO ONSET OF CONSTRUCTION OPERATIONS AND SHALL

IDOT GRADATION FOR CA-1 CRUSHED AGGREGATE

DIRECTED BY THE CITY.





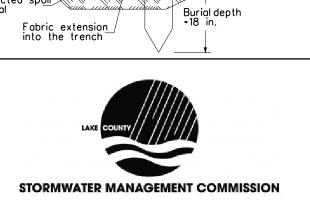
SILT FENCE DETAIL

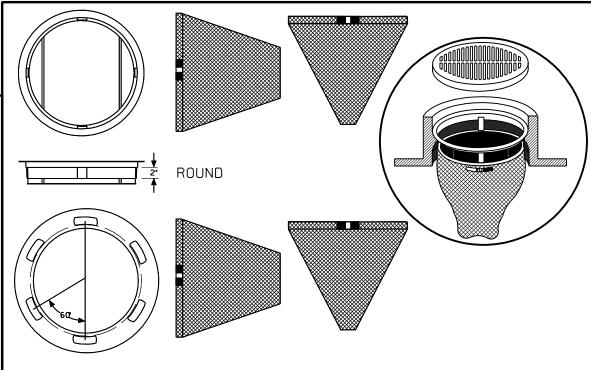
NOT TO SCAL

PIPE

TRENCH

DETAIL





INLET AND PIPE PROTECTION DESCRIPTION: This work shall consist of furnishing, installation, and removal of a drainage structure inlet filter assembly, consisting of a frame and filter bag, to collect sediment in surface storm water runoff at locations shown on the plans or as directed by the Engineer. The Contractor shall inspect the worksite and review the plans to determine the number and dimensions of the various types of drainage structure frames (circular and rectangular) into which the inlet filters will be installed prior to The drainage structure inlet filter assembly shall be installed under the grate on the lip of the drainage structure frame with the fabric bag hanging down into the drainage structure.

The drainage structure inlet filter assembly shall remain in place until final removal of the assembly is directed by the Engineer.
The drainage structure inlet filter assembly shall remain the property of the Contractor. Final removal of the assembly shall include the disposal of debris or silt that has accumulated in the filter bag at the time of final removal. Periodic cleaning of the filter is paid for separately.

MATERIALS: The drainage structure inlet shall be the (INLET AND PIPE PROTECTION), as furnished by Marathon Materials, Inc. 25523 W. Shultz St., Plainfield, IL 60544, (800) 983-9493, or approved equal. A detailed drawing in the plans depicts the drainage structure inlet filter assembly. The drainage structure inlet filter assembly shall consist of a steel frame with a replaceable geotextile fabric bag attached with a steelband with locking cap that is suspended from the frame. A clean used bag and used steel frame in good

The drainage structure inlet filter assembly frame shall be rigid steel meeting the requirements of INLET AND PIPE PROTECTION

condition, meeting the approval of the Engineer, may



TYPICAL CONSTRUCTION SEQUENCING 1.) Installation of soil erosion and sediment control SE/SC measures

a.) Selective vegetation removal for silt fence installation b.) Silt fence installation c.) Construction fencing around areas not to be disturbed d.) Stabilized construction entrance

Tree removal where necessary (clear & grub) Construct sediment trapping devices (sediment traps, basins...) 4.) Construct detention facilities and outlet control structure with

restrictor & temporary perforated riser 5.) Strip topsoil, stockpile topsoil and grade site 6.) Temporarily stabilize topsoil stockpiles (seed and silt fence around toe of slope)

7.) Install storm sewer, sanitary sewer, water and associated inlet & outlet protection 8.) Permanently stabilize detention basins with seed and erosion

9.) Temporarily stabilize all areas including lots that have reached

temporarý grade 10.) Install roadways

I1.) Permanently śtabilize alloutlot areas

2.) Install structures and grade individual lots l3.) Permanently stabilize ľot 14.) Remove all temporary SE/SC measures after the site is stabilized with vegetation

Soil erosion and sediment control maintenance must occur every

two weeks and after every 1/2 inch or greater rainfall event

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION IN ILLINOIS. LATEST EDITION ADOPTED BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION AND STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS AND THE VILLAGE OF LONG GROVE REQUIREMENTS ALL REVISION THERETO. WITH THE "SPECIAL PROVISIONS" AND WITH THESE CONSTRUCTION NOTES AND IN ACCORDANCE WITH LOCAL CODE. IN CASE OF CONFLICT,

GENERAL NOTES AND

CONSTRUCTION DETAILS

- LOCAL SHALL GOVERN. 2. SANITARY SERVICE SHALL BE 6" PVC SDR-26 @ 2.00% MIN.
- 3. WATER SERVICE SHALL BE 1-1/2" TYPE "K" COPPER. 4. VILLAGE OF LONG GROVE HAS TO BE NOTIFY AT LEAST 24 HRS IN ADVANCE OF CONNECTION TO EXISTING UTILITIES IN ORDER TO SCHEDULE AN INSPECTION.
- 5. ALL DOWNSPOUTS SHALL SPLASH ON THE SPLASHBLOCKS OR AS SHOWN.
- 6. THE CONTRACTOR IS REQUIRED TO MEET ALL SOIL EROSION AND SEDIMENTATION CONTROL REQUIREMENTS AS SET FOR IN IEPA STANDARDS & VILLAGE OF LONG GROVE ORDINANCES.
- 7. IN THE EASEMENTS AREA CONSTRUCTING SIDEWALK OR LANDSCAPING IS PROHIBITED.
- 8. DRIVEWAY SHALL BE BITUMINOUS PER DETAIL SHOWN ON THIS SHEET 10. IN ORDER TO PREVENT SOIL EROSION ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE SEEDED, SODDED OR PLANTED WITHIN THIRTY DAYS AFTER GRADING IS COMPLETED PER VILLAGE OF LONG GROVE REQUIREMENTS (WEATHER PERMITTING)
- 1. PARKWAYS AREA DISTURBED DURING CONSTRUCTION SHALL BE REPLACED WITH 6" TOPSOIL AND SODDED.
- 12. NOTIFY ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION FOR THE EXACT LOCATIONS OF THE UTILITIES AND FOR THEIR PROTECTION DURING CONSTRUCTION. IF EXISTING UTILITIES ARE ENCOUNTERED THAT CONFLICT IN LOCATION WITH NEW CONSTRUCTION, NOTIFY THE ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED. FOR UNDERGROUND UTILITY LOCATIONS CALL J.U.L.I.E. AT 1-800-892-0123.
- 13. PRIOR TO COMMENCEMENT OF ANY EARTHWORK ON THIS SITE THE EROSION CONTROL FENCE SHALL BE INSTALLED
- 14. CONTRACTOR SHALL OBTAIN PERMITS FOR ALL WORKS.
- 15. TREE PROTECTION FENCE SHALL BE INSTALLED AT DRIP LINE OF TREE IN ORDER TO BE EFFECTIVE
- 16. ANY FIELD TILES ENCOUNTERED MUST BE REROUTED AND/OR RECONNECTED AND INSPECTED PRIOR TO BACKFILL
- 17. ALL CONSTRUCTION DEBRIS TO BE REMOVED FROM SITE.
- 18. NO OPEN CUTTING OF STREET ALLOWED IN VILLAGE OF LONG GROVE
- 19. CONTRACTOR SHALL BE RESPONSIBLE AT ALL TIMES FOR TRAFFIC CONTROL AND PROTECTION IN ACCORDANCE WITH THE IDOT STANDARD SPECIFICATIONS ADOPTED JANUARY 1, 2002, THE LATEST EDITION OF THE ILLINOIS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, AND THE STANDARD SPECIFICATIONS FOR TRAFFIC CONTROL ITEMS.
- 20. DESIGN ENGINEER HAS TO VISIT THE SITE AFTER THE COMPLETION OF CONSTRUCTION AND PREPARE AND SUBMIT TO THE VILLAGE AN AS-BUILT PLAN SHOWING THE DRAINAGE AND GRADING FEATURES AS THEY WERE ACTUALLY CONSTRUCTED.

LAKE COUNTY STORMWATER MANAGEMENT COMMISSION SOIL EROSION AND SEDIMENT CONTROL CONSTRUCTION NOTES

- A. SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF HYDROLOGIC DISTURBANCE OF UPLAND AREAS.
- B. FOR THOSE DEVELOPMENTS THAT REQUIRE A DESIGNATED EROSION CONTROL INSPECTOR (DECI), INSPECTIONS AND DOCUMENTATION SHALL BE PERFORMED, AT A MINIMUM: * UPON COMPLETION OF SEDIMENT AND RUNOFF CONTROL MEASURES (INCLUDING PERIMETER CONTROLS AND DIVERSIONS), PRIOR TO PROCEEDING WITH ANY OTHER EARTH DISTURBANCE
- OR GRADING * AFTER EVERY SEVEN (7) CALENDAR DAYS OR STORM EVENT WITH GREATER THAN 0.5
- INCH OF RAINFALL OR LIQUID EQUIVALENT PRECIPITATION. . SOIL DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. IF STRIPPING, CLEARING, GRADING, OR LANDSCAPING ARE TO BE DONE IN PHASES, THE PERMITTEE
- SHALL PLAN FOR APPROPRIATE SOIL EROSION AND SEDIMENT CONTROL MEASURES. D. A STABILIZED MAT OF CRUSHED STONE MEETING IDOT GRADATION CA-1 UNDERLAIN WITH FILTER FABRIC AND IN ACCORDANCE WITH THE ILLINOIS URBAN MANUAL, OR OTHER APPROPRIATE MEASURE(S) AS APPROVED BY THE ENFORCEMENT OFFICER, SHALL BE INSTALLED AT ANY POINT WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE. SEDIMENT OR SOIL REACHING AN IMPROVED PUBLIC RIGHT-OF-WAY, STREET, ALLEY OR PARKING AREA SHALL BE REMOVED BY SCRAPING OR STREET CLEANING AS ACCUMULATIONS WARRANT AND TRANSPORTED
- TO A CONTROLLED SEDIMENT DISPOSAL AREA.
- . TEMPORARY DIVERSIONS SHALL BE CONSTRUCTED AS NECESSARY TO DIRECT ALL RUNOFF FROM HYDROLOGICALLY DISTURBED AREAS TO AN APPROPRIATE SEDIMENT TRAP OR BASIN.
- DISTURBED AREAS SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT MEASURES WITHIN SEVEN (7) CALENDAR DAYS FOLLOWING THE END OF ACTIVE HYDROLOGIC DISTURBANCE OR
- . ALL STOCKPILES SHALL HAVE APPROPRIATE MEASURES TO PREVENT EROSION. STOCKPILES SHALL NOT BE PLACED IN FLOOD PRONE AREAS OR WETLANDS AND DESIGNATED BUFFERS.
- H. SLOPES STEEPER THAN 3H:1V SHALL BE STABILIZED WITH APPROPRIATE MEASURE'S AS APPROVED BY THE ENFORCEMENT OFFICER.
- APPROPRIATE EROSION CONTROL BLANKET SHALL BE INSTALLED ON ALL INTERIOR DETENTION BASIN SIDE SLOPES BETWEEN THE NORMAL WATER LEVEL AND HIGH WATER LEVEL.
- STORM SEWERS THAT ARE OR WILL BE FUNCTIONING DURING CONSTRUCTION SHALL BE PROTECTED BY AN APPROPRIATE SEDIMENT CONTROL MEASURE.
- I. IF DEWATERING SERVICES ARE USED, ADJOINING PROPERTIES AND DISCHARGE LOCATIONS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION. DISCHARGES SHALL BE ROUTED THROUGH AN APPROVED ANIONIC POLYMER DEWATERING SYSTEM OR A SIMILAR MEASURE AS APPROVED BY THE ENFORCEMENT OFFICER. DEWATERING SYSTEMS SHOULD BE INSPECTED
- DAILY DURING OPERATIONAL PERIODS. THE ENFORCEMENT OFFICER, OR APPROVED REPRESENTATIVE MUST BE PRESENT AT THE COMMENCEMENT OF DEWATERING ACTIVITIES. IF INSTALLED SOIL EROSION AND SEDIMENT CONTROL MEASURES DO NOT MINIMIZE SEDIMENT LEAVING THE DEVELOPMENT SITE, ADDITIONAL MEASURES SUCH AS ANIONIC POLYMERS OR
- FILTRATION SYSTEMS MAY BE REQUIRED BY THE ENFORCEMENT OFFICER. M. ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES MUST BE MAINTAINED AND
- REPAIRED AS NEEDED. THE PROPERTY OWNER SHALL BE ULTIMATELY RESPONSIBLE FOR MAINTENANCE AND REPAIR. N. ALL TEMPORARY SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO
- THE EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM
- REQUIREMENTS. ADDITIONAL MEASURES MAY BE REQUIRED, AS DIRECTED BY THE ENGINEER, ENFORCEMENT OFFICER, OR OTHER GOVERNING AGENCY.

REGISTERED PROFESSIONAL ENGINEER NO. 062-40870

NEW SINGLE FAMILY RESIDENCE AT 7237 GREYWALL COURT LONG GROVE, ILLINOIS 60060

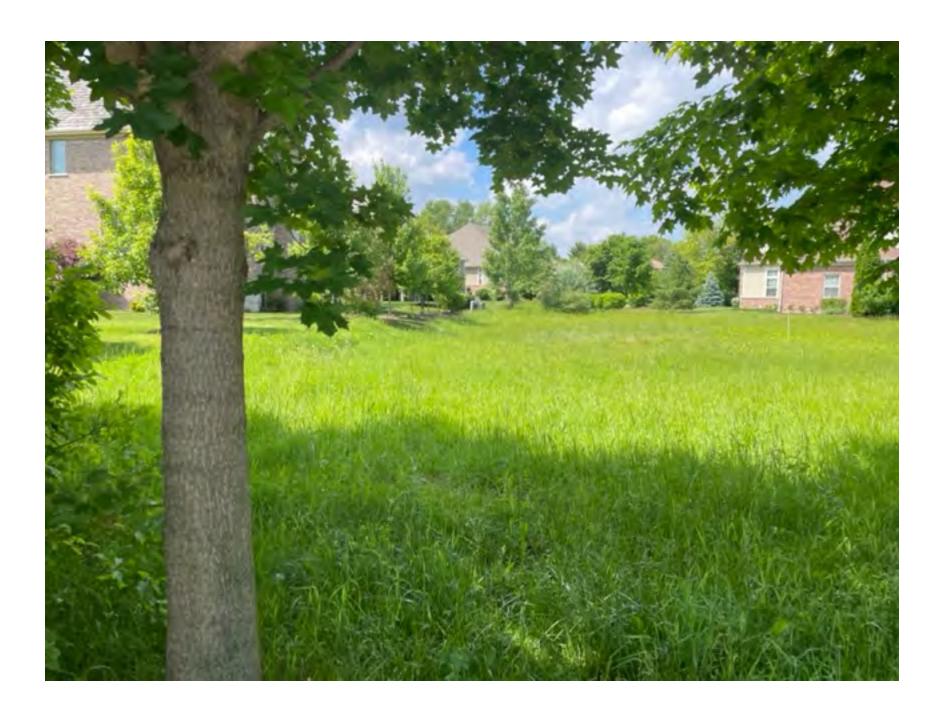
PHONE (847) 942-2943 (Raza Khan - Owner)

DOUBLE

CIVIL ENGINEERING

PHONE: 847-573-9758; E-mail: marek@doublemcivil.com 14048 W. PETRONELLA DRIVE SUITE # 102 LIBERTYVILLE. ILLINOIS 60048 PLANNERS SURVEYORS

SCALE AS SHOWN PROJECT NO. 75122 DRAWING NUMBER 4 OF 4 REVISION APPROVED JRK









List of exterior material for new resident, Please see sample attachments.

Natural stone- Found du lac.

Fiber cement board siding, soffit and facia, Color, Navajo beige.

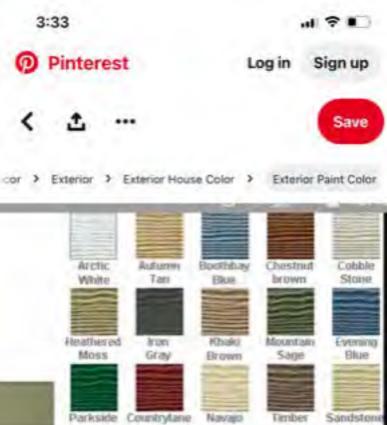
Stucco, 404 Barn swallow.

Heavy Cedar shingle, natural color.

Regular concrete driveway.











Siding Colors For Houses

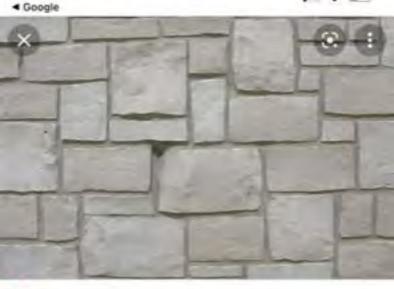
Hardie board color chart More







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RESIDENTIAL REGULATIONS (Section 5-3-11):

The following are excerpts of applicable portions of the Village Sign Ordinance.

- (A) Purpose. The intent of this section is to ensure sufficient variety in detached single-family dwellings to prevent monotony, and to foster the quality and character of residential construction traditionally found in the Village. At the same time, these regulations are designed to provide freedom for homeowners to design detached single-family dwellings that meet their needs and choices and to encourage creativity.
- (B) Mandatory Criteria. The following criteria shall apply to all new detached single-family dwelling construction:
 - Similarity Regulated. No detached single-family dwelling may be similar to any other detached single-family dwelling along a street or cul-de-sac, or within 1,500 feet (as measured from lot line to lot line), whichever is more restrictive.
 - Window, Door, and Trim. Each detached single-family dwelling shall have similar style and quality window, door, trim, and decorative moldings on all exterior building elevations of the detached singlefamily dwelling.
 - 3. Building Materials. Identical or substantially similar siding materials or veneers shall be used on all exterior sides of the detached single-family dwelling. This does not prohibit the use of veneers or changes of materials on a facade where, for example, materials might change at the second floor or at a windowsill height. Where a wing or projection of the building is offset, the wing or projection may use different materials to give it emphasis, provided the materials are applied to the entire wing or projection.
 - 4. Roof Overhangs. An important element of design is the shadow lines that are created by roofs and help articulate the building. Any detached single-family dwelling having a pitched roof shall have eaves that extend a sufficient distance to create shadow lines. A variety of overhangs is desired. The following standards shall apply:
 - (a) Variety. Within a subdivision or planned unit development, the detached single-family dwellings shall have a variety of different roof overhang profiles.
 - (b) Extension. The overhang of a detached single-family dwelling, not including gutters, shall extend at least eight inches beyond the plane of the wall.
 - (c) Exception. The minimum overhang shall not apply to any individual detached single-family dwelling built in a historical style where overhangs were not part of the style (Cape Cod, for example) or in a unique individual design. The architectural board shall review the architectural plans for such dwellings.
 - 5. Garage Placement and Orientation. Within a particular subdivision or planned unit development, no more than 25 percent of garages may be front loads located at the front of the detached single-family dwelling. The following are preferred alternatives to front load garages, which alternatives are illustrated on appendix 1 on file in the village:
 - (a) Side load garages.
 - (b) Side loading front garages. These are garages located in wings in front of the principal facade or entrance facade.
 - (c) Recessed front loading garages. Where the two-car garage is in a wing that is recessed 20 feet or more behind the front elevation, it shall not be considered a front-loaded garage.
 - (d) Rear garages. These are either freestanding or attached garages that are located to the rear and that have the view from the street screened by a wing of the building.

- (C) Multiple Dwellings. An owner who builds more than one detached single-family dwelling must utilize four or more of the following techniques to avoid monotony and ensure quality:
 - 1. Roof Heights. Utilize dissimilar roof heights. One or a combination of the following shall be used to achieve the desired effect:
 - (a) Vary the number of stories on adjoining lots.
 - (b) Vary the roof pitches on otherwise similar detached single-family dwellings.
 - (c) Vary the roofline height on the individual detached single-family dwelling. The number of stories can be varied on the dwelling. Where the width of the dwelling is changed, the roof can be stepped down even though the stories remain similar. Wings should be of different heights based on different stories or widths.
 - 2. Roof Orientation. Vary roof orientation so that the gable ends are oriented in a different direction than an otherwise similar detached single-family dwelling.
 - 3. Floor Plans. Utilize different floor plans with distinctive shapes, such as wings or elements that sharply contrast with adjoining dwellings or significant (at least 20 percent) changes in width of the central dwelling. Repetitive use of a similar form and floor plans having similar masses on different models is not permitted. A wing must protrude from the front of the building a minimum of eight feet to be considered a wing.
 - 4. *Placement on Lots.* Vary the location of the detached single-family dwellings in relation to the required front and side yard setbacks.
 - 5. *Rotation or Flipping*. Rotate the floor plan by 90 degrees or utilize a 180-degree flip combined with major differences in the plane of the front elevation.
 - 6. Lot Frontage and Size. Utilize significant variation in the width of detached single-family dwellings which results in clearly different modules of windows and doors.
 - 7. Architectural Style. Utilize different architectural styles for similar floor plans, which employ all the elements of a given style and are applied consistently throughout the dwelling.
 - Architectural Details and Features. Utilize different details for the chimney, entrance, garage design, dormers, porches, and building materials to significantly alter the appearance of a detached singlefamily dwelling to make it visually very different.
- (D) Individual Review. The owner shall submit a separate plan for each detached single-family dwelling to the Building Superintendent for individual review and approval prior to issuance of a building permit. Applications shall include photos of the facades of the buildings or architectural elevations of existing dwellings along the same street or cul-de-sac or within 1,500 feet of the lot line of the proposed lot, whichever is more restrictive. The Building Superintendent may, when he deems it necessary to ensure compliance with this section, refer any such application to the Architectural Board for review and comments.

(E) Appeals.

- If the Building Superintendent denies an application, the owner can appeal that decision to the Architectural Board within ten days of the denial by filing a written notice of appeal with the Village Clerk. The Architectural Board may affirm, modify, or reverse the decision of the Building Superintendent.
- The owner can appeal a decision of the Architectural Board to the Village Board within ten days of the denial by filing a written notice of appeal with the Village Clerk. The Village Board may affirm, modify, or reverse the decision of the Architectural Board.

- 3. Any appeal under this subsection (E) shall be reviewed in light of the criteria in subsections (B) and (C) of this section and the purposes in subsection (A) of this section.
- (F) Responsibility. It is the responsibility of the owner to establish to the satisfaction of the Village that the application fully complies with the provisions of this section.
- (G) *Deviations*. for good cause shown, the Village Board may approve deviations from strict conformity with this section when the owner establishes to the satisfaction of the Village Board that any such deviations are reasonably necessary and are not contrary to the purpose and intent of this section.

CHAPTER 20

ARCHITECTURAL CONTROL

SECTION:

5-20-1:

Prohibition, Criteria

5-20-1: **PROHIBITION, CRITERIA:** No building permits shall be issued for any new building or for remodeling or alteration of an existing building which if erected, remodeled or altered would produce one or more of the harmful effects set forth in section 2-3-1 of this code. In considering whether the erection, remodeling or alteration of a building, awning, sign, fence or other structure will produce one or more of the harmful effects set forth in section 2-3-1 of this code, the architectural board shall consider whether there exists one or more of the following:

- (A) Excessive similarity or dissimilarity in design in relation to any other structure existing or for which a permit has been issued within a distance of one thousand feet (1,000') of the proposed site or in design generally prevailing in the area in respect to one or more of the following features:
 - 1. Apparently identical facade;
 - 2. Substantially identical size and arrangement of either doors, windows, porticoes or other openings or breaks in the facade facing the street, including a reverse arrangement thereof;
 - 3. Cubical contents;
 - 4. Gross floor area;
 - 5. Other significant design features, such as, but not limited to, roofline, height of building, construction or quality of architectural design; or

5-20-1 5-20-1

6. Location and elevation of building upon the site in relation to contiguous properties.

(B) Inappropriateness in relation to any other property in same or any adjoining district of design, landscaping, building materials, and use thereof, orientation to site, or placement of parking, storage or refuse areas. (Ord. 98-O-14, 5-26-1998)

CHAPTER 22

ANTIMONOTONY STANDARDS

SECTION:

5-22-1:	Purpose
5-22-2:	Mandatory Criteria
5-22-3:	Multiple Homes
5-22-4:	Individual Review
5-22-5:	Appeals
5-22-6:	Responsibility
5-22-7:	Deviations

5-22-1: PURPOSE: The intent of this chapter is to ensure sufficient variety in residential homes to prevent monotony and to foster the quality and character of residential construction traditionally found in the village. At the same time, these regulations are designed to provide freedom for homeowners to design homes that meet their needs and choices and to encourage creativity. (Ord. 2002-O-6, 2-12-2002)

- 5-22-2: MANDATORY CRITERIA: The following criteria shall apply to all new single-family residence construction:
- (A) Similarity Regulated: No home may be similar to any other home along a street or cul-de-sac, or within one thousand five hundred feet (1,500') (as measured from property line to property line), whichever is more restrictive.
- (B) Window, Door, And Trim: The home shall have similar style and quality window, door, trim, and decorative moldings on all exterior building elevations of the home.
- (C) Building Materials: Identical or substantially similar siding materials or veneers shall be used on all exterior sides of the home. This does not prohibit the use of veneers or changes of materials on a facade where, for example, materials might change at the second floor or at

a windowsill height. Where a wing or projection of the building is offset, the wing or projection may use different materials to give it emphasis, provided the materials are applied to the entire wing or projection.

- (D) Roof Overhangs: An important element of design is the shadow lines which are created by roofs and help articulate the building. All homes having pitched roofs shall have eaves that extend a sufficient distance to create shadow lines. A variety of overhangs is desired. The following standards shall apply:
 - 1. Variety: The subdivision or planned unit development as a whole shall have a variety of different roof overhang profiles.
 - 2. Extension: The overhang, not including gutters, shall extend at least eight inches (8") beyond the plane of the wall.
 - 3. Exception: The minimum overhang shall not apply for individual homes built in an historical style where overhangs were not part of the style (Cape Cod, for example) or in a unique individual design. The architectural board shall review the architectural plans for such buildings.
- (E) Garage Placement And Orientation: Within a particular subdivision or planned unit development, no more than twenty five percent (25%) of garages may be front loads located at the front of the house. The following are preferred alternatives to front load garages:
 - 1. Side load garages.
 - 2. Side loading front garages. These are garages located in wings in front of the principal facade or entrance facade.
 - 3. Recessed front loading garages. Where the two (2) car garage is in a wing that is recessed twenty feet (20') or more behind the front elevation, it shall not be considered a front loaded garage.
 - 4. Rear garages. These are either freestanding or attached garages that are located to the rear and that have the view from the street screened by a wing of the building. (Ord. 2002-O-6, 2-12-2002)
- 5-22-3: MULTIPLE HOMES: Applicants who build more than one home within a subdivision or planned unit development must

utilize four (4) or more of the following techniques to avoid monotony and ensure quality:

- (A) Roof Heights: Utilize dissimilar roof heights. One or a combination of the following shall be used to achieve the desired effect:
 - 1. Vary the number of stories on adjoining lots.
 - 2. Vary the roof pitches on otherwise similar homes.
 - 3. Vary the roofline height on the individual house. The number of stories can be varied on the dwelling. Where the width of the home is changed, the roof can be stepped down even though the stories remain similar. Wings should be of different heights based on different stories or widths.
- (B) Roof Orientation: Vary roof orientation so that the gable ends are oriented in a different direction than an otherwise similar home.
- (C) Floor Plans: Utilize different floor plans with distinctive shapes, such as wings or elements that sharply contrast with adjoining units or significant (at least 20 percent) changes in width of the central building. Repetitive use of a similar form and floor plans having similar masses on different models is not permitted. A wing must protrude a minimum of eight feet (8') to be considered a wing.
- (D) Placement On Lots: Vary the location of the homes in relation to the required front and side yard setbacks.
- (E) Rotation Or Flipping: Rotate the floor plan by ninety degrees (90°) or utilize a one hundred eighty degree (180°) flip combined with major differences in the plane of the front elevation.
- (F) Lot Frontage And Size: Utilize significant variation in the width of homes which results in clearly different modules of windows and doors.
- (G) Architectural Style: Utilize different architectural styles for similar floor plans, which employ all the elements of a given style and are applied consistently throughout the home.
- (H) Architectural Details And Features: Utilize different details for the chimney, entrance, garage design, dormers, porches, and building materials to significantly alter the appearance of a home to make it visually very different. (Ord. 2002-O-6, 2-12-2002)

5-22-4: INDIVIDUAL REVIEW: The applicant shall submit a separate plan for each home to the village superintendent for individual review and approval prior to issuance of a building permit. Applications shall include photos of the facades of the buildings or architectural elevations of existing homes along the same street or cul-desac or within one thousand five hundred feet (1,500') of the property line of the proposed homesite, whichever is more restrictive. The village superintendent may, when he deems it necessary to ensure compliance with this chapter, refer any such application to the architectural board for review and comments. (Ord. 2002-O-6, 2-12-2002)

5-22-5: **APPEALS:**

- (A) If the village superintendent denies an application, the applicant can appeal that decision to the architectural board within ten (10) days of the denial by filing a written notice of appeal with the village clerk. The architectural board may affirm, modify, or reverse the decision of the village superintendent.
- (B) The applicant can appeal a decision of the architectural board to the village board within ten (10) days of the denial by filing a written notice of appeal with the village clerk. The village board may affirm, modify, or reverse the decision of the architectural board. (Ord. 2002-O-6, 2-12-2002)
- 5-22-6: **RESPONSIBILITY:** It is the responsibility of the applicant to establish to the satisfaction of the village that the application fully complies with the provisions of this chapter. (Ord. 2002-O-6, 2-12-2002)
- 5-22-7: **DEVIATIONS:** For good cause shown, the village board may approve deviations from strict conformity with this chapter when the applicant establishes to the satisfaction of the village board that any such deviations are reasonably necessary and are not contrary to the purpose and intent of this chapter. (Ord. 2002-O-6, 2-12-2002)

AC2022-013 New Single Family Home 7234 Roxbury Court



ARCHITECTURAL COMMISSION STAFF REPORT

To: Jeanne Sylvester, Chair

Architectural Commission Members

From: Jessica Marvin, Community Development Services

Subject: 7234 Roxbury Court

Requests: New Single-Family Residence

Public Meeting Date: August 29, 2022

Attachments: 1. Petitioner's Application

2. Location Map

3. Current Applicable Architectural Standards4. Previous Zoning Code Sections 5-20 and 5-22

PETITIONER Joon Kim on behalf of

Hyung Yun Park (future homeowner)

PNK Design Build, INC. 1901 Raymond Dr. STE 15

Northbrook, IL

REQUEST

Review of a proposed single-family residence at 7234 Roxbury Court.

HISTORY

In 2001, the Village of Long Grove entered into a Settlement Agreement with the owner of a 113.5-acre property which would eventually become the Ravenna subdivision. This Settlement Agreement stipulated that the property would be zoned R-3 Single Family Residential and developed as a planned unit development. In accordance with the Agreement, a final PUD for the Ravenna subdivision was approved on September 14, 2004 and included a provision that all new homes would require approval by the Architectural Commission.

Most of the 133 lots in the subdivision were developed between 2006-2014. Of these lots, fifteen (15) remain unimproved including the Subject Property at 7234 Roxbury Court. Another single-family home in the subdivision, located at 7237 Greywall Court, was considered by the Architectural Commission at the July 18, 2022 meeting.

The Concord Homes' Ravenna Planned Unit Development requires that all new buildings in the subdivision comply with section 5-20-1 of the Long Grove Zoning Code (2004 edition):

Prohibition, Criteria: No building permit shall be issued for any new building or for remodeling or alteration of an existing building which if erected, remodeled or altered would produce one or more of the harmful effects set forth in section 2-3-1 of this code. In awning, sign, fence, or other structure will produce one or more of the harmful effects set forth in section 2-3-1 of this code, the architectural board shall consider whether there exists one or more of the following:

- A. Excessive similarity or dissimilarity in design in relation to any other structure existing or for which permit has been issued within a distance of one thousand feet (1,000') of the proposed site or in design generally prevailing in the area in respect to one or more of the following features:
 - 1. Apparently identical façade.
 - Substantially identical size and arrangement of either doors, windows, porticoes
 or other openings or breaks in the façade facing the street, including a reverse
 arrangement thereof.
 - 3. Cubical contents.
 - 4. Gross floor area.
 - 5. Other significant design features, such as but not limited to, roofline, height of building, construction or quality of architectural design; or
 - 6. Location and elevation of building upon the site in relation to contiguous properties.
- B. Inappropriateness in relation to any other property in same or any adjoining district of design, landscaping, building material, and use thereof, orientation to site, or placement of parking, storage or refuse areas.

PROPOSED PROJECT

The proposed 2,658 sf single-family residence is located at 7234 Roxbury Court. It is a side-loaded, two-story home with a basement.

Proposed materials for the residence include:

Brick Veneer

o Color: Postrock

Asphalt Shingles

o Color: Gray

Vinyl Siding

o Color: Light Maple

Limestone

o Color: Smooth Face

Tempered Glass

Color: Clear
 ter and Downspouts

Gutter and Downspouts

o Color: Cream

The proposed residence incorporates a variety of rectangular windows on all façades which are a prominent feature throughout the whole design. Rectangular windows are common throughout the neighborhood; however, additional styles are also used to introduce some variation in design and dimensions.

The residences on Roxbury Court all use similar materials such as: brick veneer, vinyl siding, natural stone, and asphalt shingles. The residence located at 7235 Roxbury Court is similar to the proposed residence in its building materials and colors.

The front façade of the proposed residence features more brick than other homes on Roxbury Court. The northeast elevation shows the three-car garage, chimney, and five windows. The southwest façade includes five windows and a large expanse of brick on the backside of the garage. Both side elevations utilize brick veneer and vinyl siding. The rear façade is broken up with a multitude of large rectangular windows and only uses vinyl siding.

ARCHITECTURAL COMMISSION DECISION

The AC should review the single-family residence against the anti-monotony regulations and render a determination based upon those criteria as well as the appropriateness of the new single-family residence at this location in relation to other residences in the area. An excerpt from the Long Grove Zoning Ordinance "Residential Chapter" regarding the anti-monotony regulations is included for consideration by the Commission.

STAFF RECOMMENDATION

The AC should consider whether the materials used, and overall design of the proposed structure aligns with the character of new construction projects for the Village of Long Grove. The proposed materials are used for the other homes of the subdivision. The AC should comment on the overall design as presented. The comments of the AC will be taken into consideration with any other required action.

The residence utilizes more than four (4) techniques to differentiate houses in the Ravenna of Long Grove neighborhood as required by the anti-monotony regulations. The proposed single-family residence uses an architectural style that is similar to the current residences in the neighborhood but still unique. The color of the building materials used is also similar, but not identical, to the existing materials within the neighborhood. The proposed dwelling satisfies the 2004 Zoning Code's criteria for roof overhangs, similar quality and design of doors and windows, and varied roof lines.

JNM/JLM/TW



STRUCTURE/FIXTURE ARCHITECTURAL COMMISSION APPLICATION

				DATE:	JUNE 13, 2022
APPL	ICANT	"S NAME: JOON KIM		E-MAI	L_JOON@PNKDB.COM
ADDI	RESS:_	1901 RAYMOND DR. S	TE 15, NORTHBROO	OK, IL	PHONE: 312.543.6932
NAM	E OF B	USINESS: PNK DESIGN	N BUILD, INC.		
BUSI	NESS A	ADDRESS: THE SAME A	AS ABOVE		PHONE: 847.414.5114
TYPI	E OF ST	TRUCTURE/FIXTURE:	A NEW SINGLE FAM	IILY RE	SIDENCE
1.		ATION OF STRUCTURE/ PROVIDE SITE PLAN. PROVIDE <mark>PHOTOGRA</mark> SQUARE FOOTAGE O	FIXTURE ON PROPE (ATTACHED) PH OF SITE. (ATTAC	RTY:	SQUARE FEET.
2.	DRAV A. B. C.	WING OF PLANNED STI DIMENSIONS. (ATTA) ELEVATIONS (ALL DI LIST <mark>MATERIALS</mark> TO	CHED) (RECTIONS). (ATTAC	CHED)	RS. (ATTACHED)
3.	STRI	E, ADDRESS, AND PHO ICTURE: DESIGN BUILD, INC.	NE NUMBER OF FIR		TING OR MANAGING ONE: 847.414.5114
	1901	RAYMOND DR. STE 1	5, NORTHBROOK, IL		 MAIL JKK@PNKDB.COM
unders governand is	stood by ning the liable f	owner's signature is required the property owner(s) that commercial property und for any corrections or modifications of the work to be done	at he or she has read and er this application in the fications required to me the on their property.	oplication d underst e Village	n may be processed. It is ands the regulations of Long Grove, accepts
BUSIN	ESS OW	NER(S)	Jin K Kim		
PROPE	ERTY OV	WNER(S)	Mung No	rk.	
ΔPDI	ICATIO	ON APPROVAL:	,	DAT	Γ F ·



COLOR/FINISH:
POSTROCK / BRICK VENEER



COLOR/FINISH: LIGHT MAPLE / VINYL SIDING



COLOR/FINISH: GRAY / ASPHALT SHINGLES



COLOR/FINISH:SMOOTH FACE / LIMESTONE



COLOR/FINISH:CREAM / GUTTER & DOWNSPOUTS



COLOR/FINISH: CLEAR / TEMPERED GLASS

COLOR REFERENCE





7234 ROXBURY CT. LONG GROVE, IL 60060









Location Map: 7234 Roxbury Ct, Long Grove, IL



RESIDENTIAL REGULATIONS (Section 5-3-11):

The following are excerpts of applicable portions of the Village Sign Ordinance.

- (A) Purpose. The intent of this section is to ensure sufficient variety in detached single-family dwellings to prevent monotony, and to foster the quality and character of residential construction traditionally found in the Village. At the same time, these regulations are designed to provide freedom for homeowners to design detached single-family dwellings that meet their needs and choices and to encourage creativity.
- (B) Mandatory Criteria. The following criteria shall apply to all new detached single-family dwelling construction:
 - Similarity Regulated. No detached single-family dwelling may be similar to any other detached single-family dwelling along a street or cul-de-sac, or within 1,500 feet (as measured from lot line to lot line), whichever is more restrictive.
 - Window, Door, and Trim. Each detached single-family dwelling shall have similar style and quality window, door, trim, and decorative moldings on all exterior building elevations of the detached singlefamily dwelling.
 - 3. Building Materials. Identical or substantially similar siding materials or veneers shall be used on all exterior sides of the detached single-family dwelling. This does not prohibit the use of veneers or changes of materials on a facade where, for example, materials might change at the second floor or at a windowsill height. Where a wing or projection of the building is offset, the wing or projection may use different materials to give it emphasis, provided the materials are applied to the entire wing or projection.
 - 4. Roof Overhangs. An important element of design is the shadow lines that are created by roofs and help articulate the building. Any detached single-family dwelling having a pitched roof shall have eaves that extend a sufficient distance to create shadow lines. A variety of overhangs is desired. The following standards shall apply:
 - (a) Variety. Within a subdivision or planned unit development, the detached single-family dwellings shall have a variety of different roof overhang profiles.
 - (b) Extension. The overhang of a detached single-family dwelling, not including gutters, shall extend at least eight inches beyond the plane of the wall.
 - (c) Exception. The minimum overhang shall not apply to any individual detached single-family dwelling built in a historical style where overhangs were not part of the style (Cape Cod, for example) or in a unique individual design. The architectural board shall review the architectural plans for such dwellings.
 - 5. Garage Placement and Orientation. Within a particular subdivision or planned unit development, no more than 25 percent of garages may be front loads located at the front of the detached single-family dwelling. The following are preferred alternatives to front load garages, which alternatives are illustrated on appendix 1 on file in the village:
 - (a) Side load garages.
 - (b) Side loading front garages. These are garages located in wings in front of the principal facade or entrance facade.
 - (c) Recessed front loading garages. Where the two-car garage is in a wing that is recessed 20 feet or more behind the front elevation, it shall not be considered a front-loaded garage.
 - (d) Rear garages. These are either freestanding or attached garages that are located to the rear and that have the view from the street screened by a wing of the building.

- (C) Multiple Dwellings. An owner who builds more than one detached single-family dwelling must utilize four or more of the following techniques to avoid monotony and ensure quality:
 - 1. Roof Heights. Utilize dissimilar roof heights. One or a combination of the following shall be used to achieve the desired effect:
 - (a) Vary the number of stories on adjoining lots.
 - (b) Vary the roof pitches on otherwise similar detached single-family dwellings.
 - (c) Vary the roofline height on the individual detached single-family dwelling. The number of stories can be varied on the dwelling. Where the width of the dwelling is changed, the roof can be stepped down even though the stories remain similar. Wings should be of different heights based on different stories or widths.
 - 2. Roof Orientation. Vary roof orientation so that the gable ends are oriented in a different direction than an otherwise similar detached single-family dwelling.
 - 3. Floor Plans. Utilize different floor plans with distinctive shapes, such as wings or elements that sharply contrast with adjoining dwellings or significant (at least 20 percent) changes in width of the central dwelling. Repetitive use of a similar form and floor plans having similar masses on different models is not permitted. A wing must protrude from the front of the building a minimum of eight feet to be considered a wing.
 - 4. *Placement on Lots.* Vary the location of the detached single-family dwellings in relation to the required front and side yard setbacks.
 - 5. *Rotation or Flipping*. Rotate the floor plan by 90 degrees or utilize a 180-degree flip combined with major differences in the plane of the front elevation.
 - 6. Lot Frontage and Size. Utilize significant variation in the width of detached single-family dwellings which results in clearly different modules of windows and doors.
 - 7. Architectural Style. Utilize different architectural styles for similar floor plans, which employ all the elements of a given style and are applied consistently throughout the dwelling.
 - Architectural Details and Features. Utilize different details for the chimney, entrance, garage design, dormers, porches, and building materials to significantly alter the appearance of a detached singlefamily dwelling to make it visually very different.
- (D) Individual Review. The owner shall submit a separate plan for each detached single-family dwelling to the Building Superintendent for individual review and approval prior to issuance of a building permit. Applications shall include photos of the facades of the buildings or architectural elevations of existing dwellings along the same street or cul-de-sac or within 1,500 feet of the lot line of the proposed lot, whichever is more restrictive. The Building Superintendent may, when he deems it necessary to ensure compliance with this section, refer any such application to the Architectural Board for review and comments.

(E) Appeals.

- If the Building Superintendent denies an application, the owner can appeal that decision to the Architectural Board within ten days of the denial by filing a written notice of appeal with the Village Clerk. The Architectural Board may affirm, modify, or reverse the decision of the Building Superintendent.
- The owner can appeal a decision of the Architectural Board to the Village Board within ten days of the denial by filing a written notice of appeal with the Village Clerk. The Village Board may affirm, modify, or reverse the decision of the Architectural Board.

- 3. Any appeal under this subsection (E) shall be reviewed in light of the criteria in subsections (B) and (C) of this section and the purposes in subsection (A) of this section.
- (F) Responsibility. It is the responsibility of the owner to establish to the satisfaction of the Village that the application fully complies with the provisions of this section.
- (G) *Deviations*. for good cause shown, the Village Board may approve deviations from strict conformity with this section when the owner establishes to the satisfaction of the Village Board that any such deviations are reasonably necessary and are not contrary to the purpose and intent of this section.

CHAPTER 20

ARCHITECTURAL CONTROL

SECTION:

5-20-1:

Prohibition, Criteria

5-20-1: **PROHIBITION, CRITERIA:** No building permits shall be issued for any new building or for remodeling or alteration of an existing building which if erected, remodeled or altered would produce one or more of the harmful effects set forth in section 2-3-1 of this code. In considering whether the erection, remodeling or alteration of a building, awning, sign, fence or other structure will produce one or more of the harmful effects set forth in section 2-3-1 of this code, the architectural board shall consider whether there exists one or more of the following:

- (A) Excessive similarity or dissimilarity in design in relation to any other structure existing or for which a permit has been issued within a distance of one thousand feet (1,000') of the proposed site or in design generally prevailing in the area in respect to one or more of the following features:
 - 1. Apparently identical facade;
 - 2. Substantially identical size and arrangement of either doors, windows, porticoes or other openings or breaks in the facade facing the street, including a reverse arrangement thereof;
 - 3. Cubical contents;
 - 4. Gross floor area;
 - 5. Other significant design features, such as, but not limited to, roofline, height of building, construction or quality of architectural design; or

5-20-1 5-20-1

6. Location and elevation of building upon the site in relation to contiguous properties.

(B) Inappropriateness in relation to any other property in same or any adjoining district of design, landscaping, building materials, and use thereof, orientation to site, or placement of parking, storage or refuse areas. (Ord. 98-O-14, 5-26-1998)

CHAPTER 22

ANTIMONOTONY STANDARDS

SECTION:

5-22-1: Purpose
5-22-2: Mandatory Criteria
5-22-3: Multiple Homes
5-22-4: Individual Review
5-22-5: Appeals
5-22-6: Responsibility
5-22-7: Deviations

5-22-1: PURPOSE: The intent of this chapter is to ensure sufficient variety in residential homes to prevent monotony and to foster the quality and character of residential construction traditionally found in the village. At the same time, these regulations are designed to provide freedom for homeowners to design homes that meet their needs and choices and to encourage creativity. (Ord. 2002-O-6, 2-12-2002)

- 5-22-2: MANDATORY CRITERIA: The following criteria shall apply to all new single-family residence construction:
- (A) Similarity Regulated: No home may be similar to any other home along a street or cul-de-sac, or within one thousand five hundred feet (1,500') (as measured from property line to property line), whichever is more restrictive.
- (B) Window, Door, And Trim: The home shall have similar style and quality window, door, trim, and decorative moldings on all exterior building elevations of the home.
- (C) Building Materials: Identical or substantially similar siding materials or veneers shall be used on all exterior sides of the home. This does not prohibit the use of veneers or changes of materials on a facade where, for example, materials might change at the second floor or at

a windowsill height. Where a wing or projection of the building is offset, the wing or projection may use different materials to give it emphasis, provided the materials are applied to the entire wing or projection.

- (D) Roof Overhangs: An important element of design is the shadow lines which are created by roofs and help articulate the building. All homes having pitched roofs shall have eaves that extend a sufficient distance to create shadow lines. A variety of overhangs is desired. The following standards shall apply:
 - 1. Variety: The subdivision or planned unit development as a whole shall have a variety of different roof overhang profiles.
 - 2. Extension: The overhang, not including gutters, shall extend at least eight inches (8") beyond the plane of the wall.
 - 3. Exception: The minimum overhang shall not apply for individual homes built in an historical style where overhangs were not part of the style (Cape Cod, for example) or in a unique individual design. The architectural board shall review the architectural plans for such buildings.
- (E) Garage Placement And Orientation: Within a particular subdivision or planned unit development, no more than twenty five percent (25%) of garages may be front loads located at the front of the house. The following are preferred alternatives to front load garages:
 - 1. Side load garages.
 - 2. Side loading front garages. These are garages located in wings in front of the principal facade or entrance facade.
 - 3. Recessed front loading garages. Where the two (2) car garage is in a wing that is recessed twenty feet (20') or more behind the front elevation, it shall not be considered a front loaded garage.
 - 4. Rear garages. These are either freestanding or attached garages that are located to the rear and that have the view from the street screened by a wing of the building. (Ord. 2002-O-6, 2-12-2002)
- 5-22-3: MULTIPLE HOMES: Applicants who build more than one home within a subdivision or planned unit development must

utilize four (4) or more of the following techniques to avoid monotony and ensure quality:

- (A) Roof Heights: Utilize dissimilar roof heights. One or a combination of the following shall be used to achieve the desired effect:
 - 1. Vary the number of stories on adjoining lots.
 - 2. Vary the roof pitches on otherwise similar homes.
 - 3. Vary the roofline height on the individual house. The number of stories can be varied on the dwelling. Where the width of the home is changed, the roof can be stepped down even though the stories remain similar. Wings should be of different heights based on different stories or widths.
- (B) Roof Orientation: Vary roof orientation so that the gable ends are oriented in a different direction than an otherwise similar home.
- (C) Floor Plans: Utilize different floor plans with distinctive shapes, such as wings or elements that sharply contrast with adjoining units or significant (at least 20 percent) changes in width of the central building. Repetitive use of a similar form and floor plans having similar masses on different models is not permitted. A wing must protrude a minimum of eight feet (8') to be considered a wing.
- (D) Placement On Lots: Vary the location of the homes in relation to the required front and side yard setbacks.
- (E) Rotation Or Flipping: Rotate the floor plan by ninety degrees (90°) or utilize a one hundred eighty degree (180°) flip combined with major differences in the plane of the front elevation.
- (F) Lot Frontage And Size: Utilize significant variation in the width of homes which results in clearly different modules of windows and doors.
- (G) Architectural Style: Utilize different architectural styles for similar floor plans, which employ all the elements of a given style and are applied consistently throughout the home.
- (H) Architectural Details And Features: Utilize different details for the chimney, entrance, garage design, dormers, porches, and building materials to significantly alter the appearance of a home to make it visually very different. (Ord. 2002-O-6, 2-12-2002)

5-22-4: INDIVIDUAL REVIEW: The applicant shall submit a separate plan for each home to the village superintendent for individual review and approval prior to issuance of a building permit. Applications shall include photos of the facades of the buildings or architectural elevations of existing homes along the same street or cul-desac or within one thousand five hundred feet (1,500') of the property line of the proposed homesite, whichever is more restrictive. The village superintendent may, when he deems it necessary to ensure compliance with this chapter, refer any such application to the architectural board for review and comments. (Ord. 2002-O-6, 2-12-2002)

5-22-5: **APPEALS:**

- (A) If the village superintendent denies an application, the applicant can appeal that decision to the architectural board within ten (10) days of the denial by filing a written notice of appeal with the village clerk. The architectural board may affirm, modify, or reverse the decision of the village superintendent.
- (B) The applicant can appeal a decision of the architectural board to the village board within ten (10) days of the denial by filing a written notice of appeal with the village clerk. The village board may affirm, modify, or reverse the decision of the architectural board. (Ord. 2002-O-6, 2-12-2002)
- 5-22-6: **RESPONSIBILITY:** It is the responsibility of the applicant to establish to the satisfaction of the village that the application fully complies with the provisions of this chapter. (Ord. 2002-O-6, 2-12-2002)
- 5-22-7: **DEVIATIONS:** For good cause shown, the village board may approve deviations from strict conformity with this chapter when the applicant establishes to the satisfaction of the village board that any such deviations are reasonably necessary and are not contrary to the purpose and intent of this chapter. (Ord. 2002-O-6, 2-12-2002)