



**AGENDA
ARCHITECTURAL COMMISSION
REGULAR MEETING**

Monday, August 29, 2022 at 7:00 P.M.

**Location: Long Grove Village Hall
3110 Old McHenry Road, Long Grove, IL 60047**

- 1. CALL TO ORDER**
- 2. ATTENDANCE**
- 3. VISITOR BUSINESS / PUBLIC COMMENTARY**
- 4. APPROVAL OF MINUTES**
 - a. Approval of the July 18, 2022 Draft Meeting Minutes
- 5. OLD BUSINESS**
 - a. AC2022-011 – Review of a proposed single-family residence at 7237 Greywall Court.
- 6. NEW BUSINESS**
 - a. AC2022-013 - Review of a proposed single-family residence at 7234 Roxbury Court.
- 7. QUESTIONS AND COMMENTS**
- 8. ADJOURNMENT**

Next Scheduled Meeting: September 19, 2022 @ 7:00 PM

The Village of Long Grove is subject to the requirements of the Americans with Disabilities Act of 1990. Individuals with disabilities who plan to attend this meeting and who require certain accommodations in order to allow them to observe and/or participate in this meeting, or who have questions regarding the accessibility of the meeting or the facilities, are requested to phone the Long Grove Village Manager at 847-634-9440 or TDD 847-634-9650 promptly to allow the Village of Long Grove to make reasonable accommodations for those persons.

Meeting Minutes

**MEETING MINUTES OF THE
LONG GROVE ARCHITECTURAL COMMISSION
REGULAR MEETING
July 18, 2022
7:00 P.M.**

Commissioner Roiter called the meeting of the Long Grove Architectural Commission (AC) to order at 7:00 p.m. with the following members present.

Members Present: Allen Roiter; John Marshall; Matthew Akins; Jeanne Sylvester; and John Plunkett.

Members Absent: Laura Mikolajczak

Also Present: Amanda Orenchuk and Jessica Marvin, Community Development Services, and members of the public.

A motion was made by Commissioner Roiter, seconded by Commissioner Marshall, to allow Jeanne Sylvester to participate remotely due to medical reasons.

Ayes: A. Roiter; J. Marshall; J. Plunkett; M. Akins

Nays:

Absent: L. Mikolajczak

Abstain: J. Sylvester

VISITORS BUSINESS

None.

APPROVAL OF MINUTES

1) Approval of the May 16, 2022 Draft Meeting Minutes.

Commissioner Roiter and Chairwoman Sylvester provided corrections to various typographical errors on pages three and six of the minutes.

A motion was made by Commissioner Roiter, seconded by Commissioner Marshall, to recommend approval of the May 16, 2022, meeting minutes, as amended.

Ayes: A. Roiter; J. Marshall; M. Akins; J. Plunkett; J. Sylvester

Nays:

Absent: L. Mikolajczak

2) Approval of the June 20, 2022 Draft Meeting Minutes.

Chairwoman Sylvester provided corrections to various typographical errors on pages two of the minutes.

A motion was made by Commissioner Roiter, seconded by Commissioner Marshall, to recommend approval of the June 20, 2022, meeting minutes, as amended.

Ayes: A. Roiter; J. Marshall; M. Akins; J. Plunkett; J. Sylvester

Nays:

Absent: L. Mikolajczak

NEW BUSINESS

1) Consideration of a request for a new single-family home, 7237 Greywall Court and within the Concord Homes' Ravenna Planned Unit Development, submitted by Muhammad Khan, the future homeowner.

Associate Planner Marvin provided an overview of the proposed new single-family residence. Neither of the homeowner or architect were present for the meeting.

Chairwoman Sylvester had concern with the lack of variety of building materials on the left and right elevation. Commissioner Roiter agreed with her and added there is only one window on those elevations as well. He furthered explained that with new construction all four elevations should have a fair number of windows to provide consistency with the front and rear elevations. Commissioner Marshall wondered why the homeowner wouldn't want to have more windows on the other side of the living room since it isn't a private room.

The commission has also noticed the large amount of stucco used on the front façade of the proposed residence while most of the residences on Greywall Court are constructed out of masonry. Commissioner Roiter added there is a lack of stucco and all the other elevations.

Chairwoman Sylvester drove through this neighborhood and mentioned that other residences use a variety of different materials and rooflines. She thinks the proposed residences would better fit in this neighborhood's style by breaking up the massive flat face planes with different materials or ornamentations.

Commissioner Plunkett mentioned that this is a larger residence and doesn't understand why the architect chose a box chimney that is wrapped with siding. He thinks it cheapens the look of the overall house and is inconsistent with the neighborhood. Commissioner Roiter and Marshall suggested to use a masonry chimney to fit in with the style of the neighborhood.

Chairwoman Sylvester mentioned the proposed residence is what the commission is trying to avoid being constructed under the Village of Long Grove's antimotony ordinance. The front façade is being constructed with multiple materials, and the three remaining facades will be constructed with majority of siding with no variation. She stated the three elevations of just siding is not acceptable within the Anti-Motony Ordinance.

Commissioner Marshall asked what Chairwoman Sylvester if she would like to see more brick where stucco is proposed, and she does not feel comfortable making decisions on what the residence should

look like. She stated it is up to applicant and contractor to take the commissions recommendations and modify the plans to their liking. She also suggested to the commission that they recommend this case to be reheard when the applicant is present.

The commission requested staff to send a list of the commissioners' comments regarding the elevations to the architect to modify and resubmit for architectural review.

A motion was made by Commissioner Roiter, seconded by Commissioner Marshall, to send the application back to the applicant for revisions based on the comments provided from the commission below:

- The Commission had concerns about the lack of variety and consistency of materials and windows on the left, right, and rear elevations. Most of the residences in this neighborhood used a variety of different materials and rooflines. The Commissioners' suggested breaking up the massive flat face planes with different materials or ornamentations. Per the Anti Monotony Ordinance, the commission will not be recommending elevations with majority of the residences being siding. The Commission strongly encourages the applicant to incorporate the materials and windows used on the front façade into the remaining three façades.
- The Commission had concerns about the chimney and stated a box chimney wrapped in siding cheapens the look of the residence and is inconsistent with the neighborhood. They recommend using a masonry chimney to fit in with the style of the neighborhood.
- Due to the applicant/homeowners not attending the meeting the Commission did not feel comfortable reviewing the proposed new single-family residence and voting on this project without them being at the meeting. It is up to the contractor to take the Commissioners' recommendations and modify the plans to the homeowners liking.

Ayes: A. Roiter; J. Marshall; M. Akins; J. Plunkett; J. Sylvester

Nays:

Absent: L. Mikolajczak

2) Consideration of a request for a sign for "New Perspective", 2300 IL Route 53 and within the R-2 Residential Zoning District, submitted by Shannon Jones, the Executive Director of New Perspective.

Associate Planner Marvin provided an overview of the proposed signage. The commissioners compared the old "Arboria of Long Grove" signage to the proposed "New Perspective" signage and commented on the sign faces being dramatically different from each other. The commission remarked on the flatness of the sign, the bare landscaping around the ground light fixtures, and the colors (not desired by the AC).

Eric Galin, New Perspective Maintenance Director, provide more background regarding the new logo of the company. He stated the colors used for the proposed sign are corporate colors and the older residents like the colors used for the logo of the company.

Mr. Galin mentioned all the signs within the company are the same design. Staff have pointed out to the Mr. Galin and the commission that at existing locations for other New Perspective locations have different style and color of signs as the one being proposed.

Chairwoman Sylvester mentioned the Minnesota location has raised lettering and different colors for the signage than the sign being proposed in Long Grove. She asked Mr. Galin if he would change the sign to match the Minnesota location. He responded with he isn't from corporate and will have to ask Shannon Jones to see if it is a possibility to change the colors of the sign. He also stated that the New Perspective company spent a lot of money on items such as a wrapped transportation buses, pens, business cards, stickers, badges, envelopes, and etc. with the company's new logo.

Chairwoman Sylvester raised a concern regarding the flatness of the sign and suggested using raised channel lettering. It would be more pronounced and will have a nice overall appearance with raised channel lettering. Commissioner Roiter stated raised channel lettering has been the main style of signs proposed within the village. The commission has recommended to most businesses to use raised channel lettering and are opposed to flat signs. Commissioner Plunkett mentioned to install a white frame around all sides of the sign face would tie in better with the overall design but also with the crown of the sign.

Chairwoman Sylvester mentioned the ground light fixtures need to be obscured by a non-dieciuous shrub plant to hide the ground light fixtures in the winter. She stated Mr. Galin should plant 3 or 5 shrubs to offset the ground light fixture. The landscaping plan will be approved by the Architectural Commission in regards to how many bushes will be planted, type, and size.

Chairwoman Sylvester made a request to Mr. Galin to use the sign colors of the New Perspective at the Minnesota location because the colors are more subtle and fit within the Long Grove Style. She stated to Mr. Galin that she would like this sign to be reflected of the commissions standards they have for the village. She mentioned that if New Perspective wasn't able to consider using the subtle and elegant colors of the other signage, then the commission would like Mr. Galin to accommodate the commission elsewhere which would be the raised channeled lettering.

A motion was made by Commissioner Plunkett seconded by Commissioner Marshall, to recommend approval of a new sign face on the existing ground monument sign with the following conditions from the commission:

- Install a 2 ½" - 3" (Wooden or PVC) white frame on all 4 sides of the sign face and on both sides of the ground monument sign.
- Use raised channel lettering for the words "New Perspective".
- Provide a landscaping plan for the ground monument sign to cover the ground light fixtures.

Ayes: J. Plunkett; J. Marshall; M. Akins; A. Roiter; J. Sylvester

Nays:

Absent: L. Mikolajczak

OTHER BUSINESS

A motion was made by Commissioner Roiter, seconded by Commissioner Plunkett, to cancel the regularly scheduled meeting on August 15, 2022 and reschedule the meeting to August 29, 2022.

Ayes: A. Roiter; J. Plunkett; J. Marshall; J. Sylvester; M. Akins

Nays:

Absent: L. Mikolajczak

Chairwoman Sylvester asked for an update on the following item:

- Shooting Range

There was no other business, and the next scheduled Architectural Commission meeting is for August 29, 2022 7:00 P.M.

ADJOURNMENT

With no further business, a motion to adjourn the meeting was made by Commissioner Roiter, seconded by Commissioner Plunkett.

Ayes: A. Roiter; J. Plunkett; J. Marshall; J. Sylvester; M. Akins

Nays:

Absent: L. Mikolajczak

Meeting Adjourned at 8:36 p.m.

Respectfully Submitted,

Jessica Marvin
Associate Planner

AC2022-011

New Single Family Home
7237 Greywall Court



ARCHITECTURAL COMMISSION STAFF REPORT

To: Jeanne Sylvester, Chair
Architectural Commission Members

From: Jessica Marvin, Community Development Services

Subject: 7237 Greywall Court

Requests: New Single-Family Residence

Public Meeting Date: August 29, 2022

Attachments:

1. Petitioner's Application
2. Location Map
3. Current Applicable Architectural Standards
4. Previous Zoning Code Sections 5-20 and 5-22

PETITIONER Muhammad Khan (future homeowner)
7237 Greywall Court
Long Grove, IL

UPDATE

The applicant and architect were not present at the July 18th Architectural Commission meeting. The owner spoke with staff and the architect will be attending the August 29th scheduled meeting. The architect will discuss the proposed improvements that the commission had suggested at the August 29th meeting, as the owner is out of the country for an extended period of time for a personal matter.

REQUEST

Review of material and design of a new single-family residence at 7237 Greywall Court.

HISTORY

The Village of Long Grove entered a Settlement Agreement with the owner, Indian Valley Golf Club, Inc., consisting of 113.5 acres, generally located east of Route 83 and west of Diamond Lake Road. The Settlement Agreement provided that this property would be zoned R-3 Single Family Residential District and developed as a planned unit development. The proposed development consists of 133 lots that will be developed with single family residential dwellings. The final Concord Homes' Ravenna Planned Unit Development was approved on September 14, 2004. Majority of the homes were constructed between 2006-2014. A new home is proposed at 7237 Greywall Court.

A permit was submitted for the Khan Residence, 7237 Greywall Court, in June 2022. During the review of this new structure, it was realized that the new home required Architectural Review, pursuant to the PUD.

Per The Concord Homes' Ravenna Planned Unit Development, Section 4 (G)(1) the applicant must go through the Architectural Board of review for approval for the proposed new single-family residence.

G. Design Standards.

1. Applicant shall comply with the architectural control regulations contained in Section 5-20-1 of the Long Grove Zoning Code

Section 5-20-1

Prohibition, Criteria: No building permit shall be an existing building which if erected, remodeled or altered would produce one or more of the harmful effects set forth in section 2-3-1 of this code. In awning, sign, fence or other structure will produce one or more of the harmful effects set forth in section 2-3-1 of this code, the architectural board shall consider whether there exists one or more of the following:

A. Excessive similarity or dissimilarity in design in relation to any other structure existing or for which permit has been issued within a distance of one thousand feet (1,000') of the proposed site or in design generally prevailing in the area in respect to one or more of the following features:

1. Apparently identical façade;
2. Substantially identical size and arrangement of either doors, windows, porticoes or other openings or breaks in the façade facing the street, including a reverse arrangement thereof;
3. Cubical contents;
4. Gross floor area;
5. Other significant design features, such as but not limited to, roofline, height of building, construction or quality of architectural design; or
6. Location and elevation of building upon the site in relation to contiguous properties.

B. Inappropriateness in relation to any other property in same or any adjoining district of design, landscaping, building material, and use thereof, orientation to site, or placement of parking, storage or refuse areas.

PROPOSED PROJECT

The proposed new 4,544 sf single-family residence is located at 7237 Greywall Court. It is a side-loaded, two-story home with a basement.

Proposed materials for the Khan residence include:

- Natural Stone
 - Fond du Lac Stone Ridge Cobble
- Fiber Cement Board Siding, Soffit and Facia
 - Color: Navajo Beige
- Stucco
 - Color: 404 Barn Swallow
- Heavy Cedar Shingle
 - Natural Color

The main style of residences in the neighborhood is Millennium Mansions. The proposed residence consists of Millennium Mansions Architecture.

The proposed residence incorporated many different window and door styles. Rectangular windows with transom and fanlight windows are a prominent feature throughout the whole design. The windows in the neighborhood are mainly rectangular but used different styles of windows to add some dimensions to the overall design of the residences.

The residences on Greywall Court all use similar materials such as: brick, vinyl siding, painted cedar siding, natural stone, stucco and/or EIFS. Similar materials that were listed are being used for the Khan residence but in different exterior areas of the façade compared to other residences on this street.

The front façade of the resident compared to the other residence on Greywall Court uses a large amount of stucco. The left façade has a three-car garage and uses more than 2 materials. The right façade has a lot of blank space with little use of different materials. The rear façade is broken up with a multitude of large rectangular and with transom windows.

The criteria require roof overhangs, similar quality and design of doors and windows, and varied roof lines which this proposed residence meets.

ARCHITECTURAL COMMISSION DECISION

The AC should review the single-family residence against the anti-monotony regulations and render a determination based upon those criteria as well as the appropriateness of the new single-family residence at this location in relation to other residences in the area in general. An excerpt from the Long Grove Zoning Ordinance “Residential Chapter” regarding the anti-monotony regulations is included for consideration by the Commission.

STAFF RECOMMENDATION

The AC should consider whether the materials used, and overall design of the proposed structure aligns with the character of new construction projects for the Village of Long Grove. The proposed materials are used for the other homes of the subdivision. The AC should comment on the overall design as presented. The comments of the AC will be taken into consideration with any other required action.

The residence also utilizes more than four (4) techniques to differentiate houses in the Ravenna of Long Grove neighborhood as required in the anti-monotony regulations. The proposed single-family residence uses a unique architectural style that is similar to the current residences in the neighborhood. The type of building materials used to construct this proposed residence uses similar yet different colored materials. The roof height and orientation are one of kind and will blend in with the architectural style of the other residence in the Ravenna of Long Grove neighborhood.

JNM/JLM/AO



RECEIVED
June 13, 2022
Village of Mundelein
Community Development

**STRUCTURE/FIXTURE
ARCHITECTURAL COMMISSION APPLICATION**

DATE: 05-07-2022

APPLICANT'S NAME: Muhammad N Khan E-MAIL _____

ADDRESS: 912 Bedford court Buffalo Grove IL 60089 PHONE: 847-942-2943

NAME OF BUSINESS: _____

BUSINESS ADDRESS: _____ PHONE: _____

TYPE OF STRUCTURE/FIXTURE: Single family house

1. LOCATION OF STRUCTURE/FIXTURE ON PROPERTY:
 - A. PROVIDE SITE PLAN.
 - B. PROVIDE PHOTOGRAPH OF SITE.
 - C. SQUARE FOOTAGE OF STRUCTURE 4544 SQUARE FEET.

2. DRAWING OF PLANNED STRUCTURE/FIXTURE:
 - A. DIMENSIONS.
 - B. ELEVATIONS (ALL DIRECTIONS).
 - C. LIST MATERIALS TO BE USED/SAMPLE OF COLORS.

3. NAME, ADDRESS, AND PHONE NUMBER OF FIRM ERECTING OR MANAGING STRUCTURE:

Muhammad N Khan PHONE: 847-942-2943

E-MAIL _____

The property owner's signature is required below before any application may be processed. It is understood by the property owner(s) that he or she has read and understands the regulations governing the commercial property under this application in the Village of Long Grove, accepts and is liable for any corrections or modifications required to meet the standards of the Village, and further approves the work to be done on their property.

BUSINESS OWNER(S) _____

PROPERTY OWNER(S) _____

APPLICATION APPROVAL: _____ DATE: _____

Ravenna East Homeowners Association

June 06, 2022

Chicago Title Land Trust #8002385580
912 Bedford Court
Buffalo Grove, IL 60089

Reference: Architectural Modification Request Approval Letter
7237 RFD Greywall Court, Long Grove, IL 60060
XN1523199 Acct# 51976912

Dear Chicago Title Land Trust #8002385580,

Your request for an Architectural Modification for the Ravenna East Homeowners Association on your property at 7237 RFD Greywall Court has been approved. Specifically, you have approval to proceed with the following request as submitted: -Plans Resubmitted. Please see Contractors Response.

1- We will do cedar shake shingles per plan attached. 2- Stone will be provided just as it shows on then drawings 3- The chimney was added to the Drawings, please see attached drawings 4-Please see attached stone picture. 5- The material colors were provided on the initial submission of documents. 6-We are working on the plan, but if you can approve the permit we will provide later. 7- The Rear elevation was updated with the sliding on the living room.

The above-mentioned alteration or addition must remain in compliance with the Association's guidelines and restrictions. Please do not deviate from the plans submitted unless otherwise noted. If your plans need to be changed, please contact management and submit a revised architectural request.

Owners are responsible to contact the City or Village to obtain any necessary or required approval or permits. The Association's approval is subject to the municipality's approval or permitting process.

If applicable, please consider the safety of you and your neighbors and contact JULIE before you or a contractor, begin any digging projects, regardless of depth or project size. Today more electric, gas, water, sewer and telecommunication companies are delivering utility services underground. To avoid personal injury and damage to those lines, the state law requires you to contact JULIE before any digging projects.

Any debris, dirt excavated, and building material from the installation or alteration needs to be hauled offsite and NOT dumped in the common areas within the community. If any items located on common areas, public property and neighboring lots are damaged due to the construction of this alteration you, the owner and/or your contractor, must be responsible for any costs to repair the area.

We appreciate your cooperation in meeting the established guidelines as set forth in your community. It is recommended that you keep this approval letter with your other important home-related papers. If you have questions please contact Property Specialists, Inc. at (847) 806-6121 or email, info@psmanagement.net.

Please note that the Association reserves the right to make a final inspection to ensure that your project is compliant with the architectural design standards applicable to your neighborhood.

Sincerely,

Board of Directors

Professionally Managed By:



2155 Point Boulevard, Suite 210 - Elgin, IL 60123
(847) 806-6121 - Fax (847) 806-6154
www.psimanagement.net

Ravenna East Homeowners Association

Ravenna East Homeowners Association

Professionally Managed By:



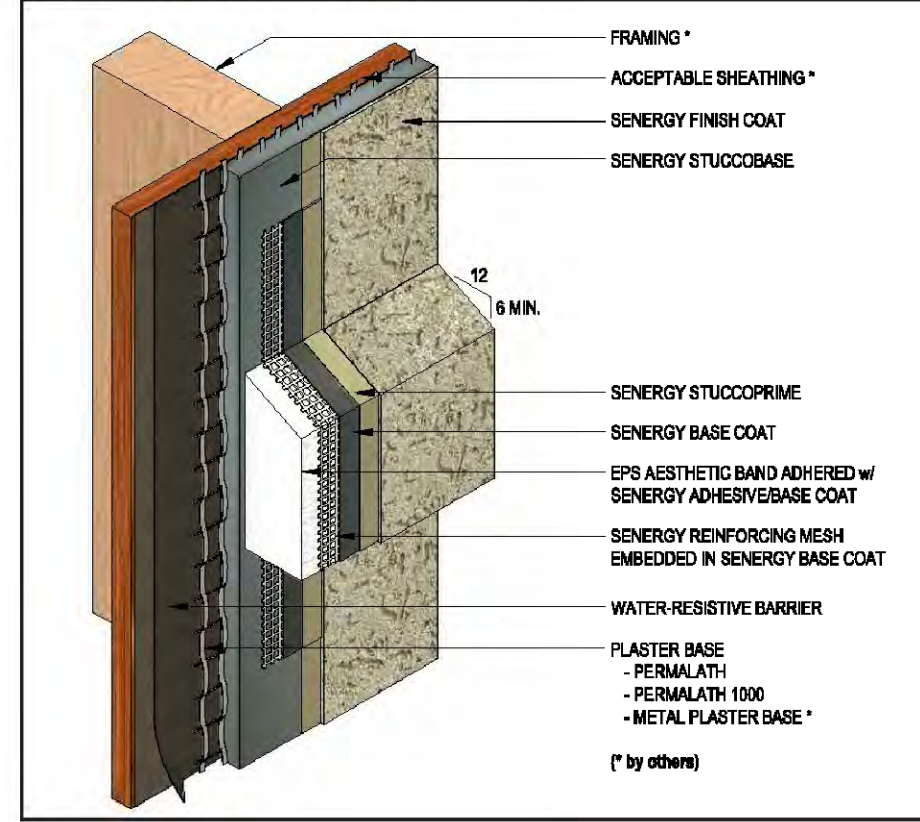
2155 Point Boulevard, Suite 210 - Elgin, IL 60123

(847) 806-6121 - Fax (847) 806-6154

www.psimanagement.net

- Notes:**
- Verify all materials are installed in accordance with installation instructions and applicable code.
 - Overlap reinforced base coat onto StuccoBase a minimum of 76 mm (3").
 - On horizontal projections greater than one inch maintain a minimum 6:12 slope.

TYPICAL EPS SHAPE APPLICATION



USE 2-2X12 HEADER W/ 1/2" R-3 FOAM SPACER IN BETWEEN ABOVE WINDOWS - PLACE HEADER RIGHT BELOW TOP PLATES (TYPICAL)

WINDOW NOTE: ALL WINDOW SIZES ARE ACCORDING TO PELLA PROLINE

E = EGRESS WINDOW
S = SAFETY GLASS

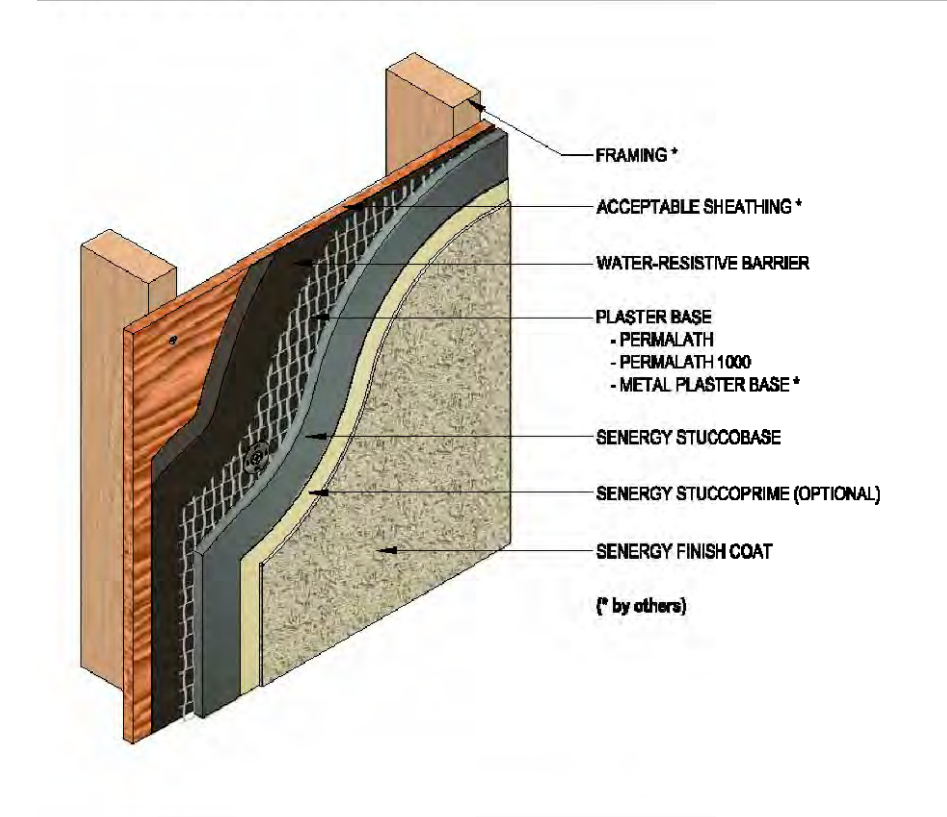
WINDOW NOTE: PROVIDE 0.30 U-FACTOR IN ALL WINDOWS



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

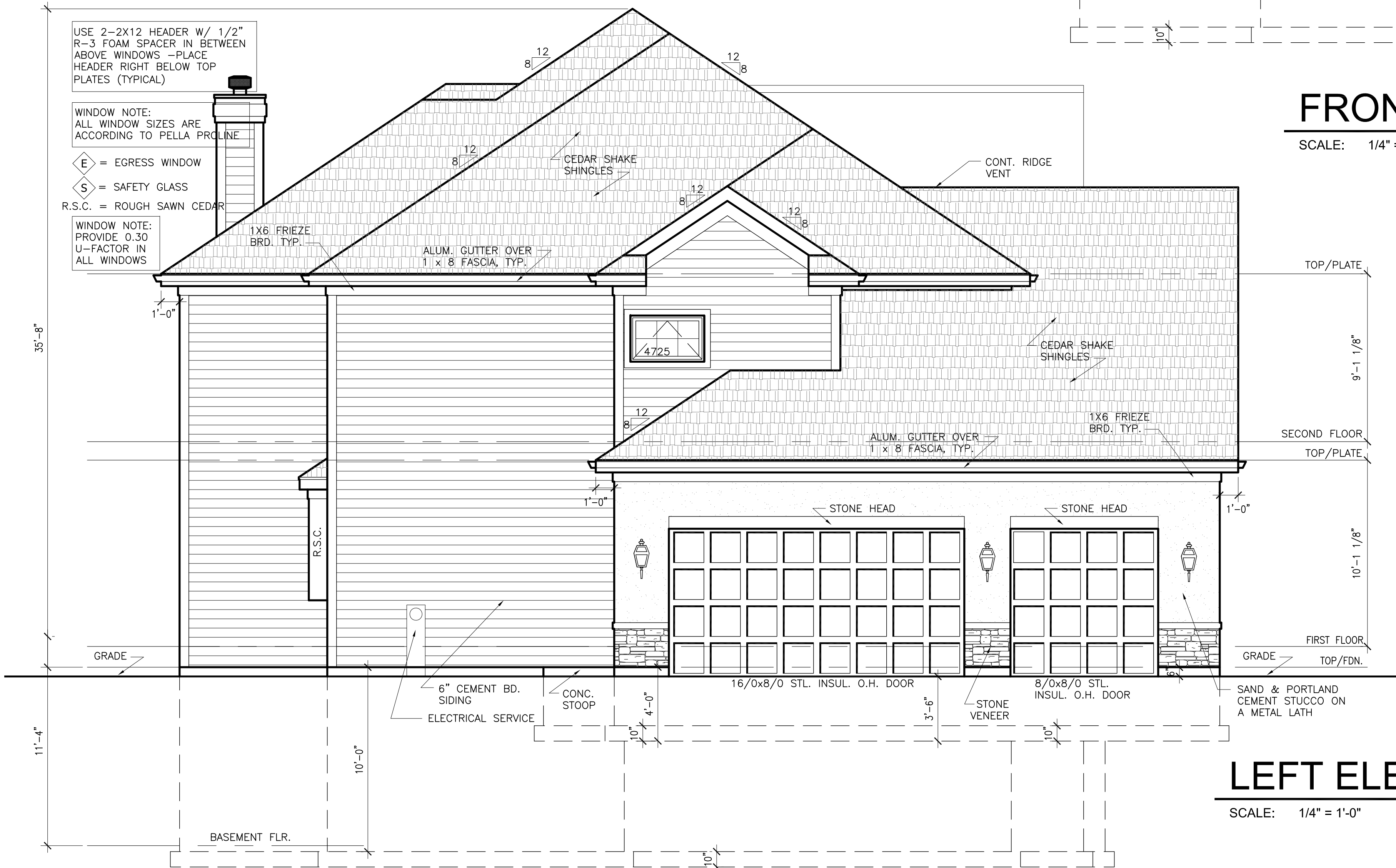
WITH WOOD FRAMING



- Notes:**
- Verify all materials are installed in accordance with installation instructions and applicable code.
 - Basic requirements for water-resistive Barrier:
 - Two layers minimum Grade D on wood based sheathing
 - One layer minimum No.15 felt on non-wood based sheathing
 - Sensshield-R with one layer minimum Grade D as slip sheet on wood and non-wood based sheathing
 - The use of Permalath requires the use of a polymer water-resistive barrier.
 - Comply with applicable local building code.
 - Basic requirements for Plaster Base:
 - StuccoBase 3/8" to 1/2" thickness: Permalath or min. 1" 20 ga. wire, min. 2.5 lbs/sqyd metal lath or acceptable alternative.
 - StuccoBase min. 1/2" to nominal 7/8" thickness: Permalath 1000 or min. 1 1/2" 17 ga. wire, min. 2.5 lbs/sqyd. metal lath or acceptable alternative.

STUCCO DETAILS

SCALE: NTS



LEFT ELEVATION

SCALE: 1/4" = 1'-0"



AGAMA DESIGNS
architecture
129 Commercial Drive Suite 8
Yorkville, Illinois 60560
Phone: 630-381-9019
E-mail: alberto@agamadesigns.com

THESE DRAWINGS, INCLUDING ALL DESIGNS, DETAILS, SPECIFICATIONS AND INFORMATION, ARE THE SOLE PROPERTY AND COPYRIGHT OF AGAMA DESIGNS AND ARE FOR USE ON THIS SPECIFIC PROJECT AND SHALL NOT BE USED ON ANY OTHER WORK WITHOUT THE AGREEMENT AND WRITTEN PERMISSION OF AGAMA DESIGNS.

ISSUED	DATE
FOR APPROVAL	
FOR PERMIT	
FOR BID	
FOR CONST.	

REVISIONS	DATE
1	
2	
3	
4	

PROJECT: **PROPOSED NEW RESIDENCE**
7237 GREYWALL COURT (LOT 96)
LONG GROVE, IL 60047

CLIENT: GREYWALL COURT LLC
6870 ELLIS DRIVE
LONG GROVE, IL 60047

JOB NO. 21-011
DATE 06-10-21
FILE
PLOT SCALE: 1/4"

OWNER APPROVAL

Signature _____
Date _____

SHEET TITLE
EXTERIOR ELEVATIONS & DETAILS

SHEET NUMBER
A1

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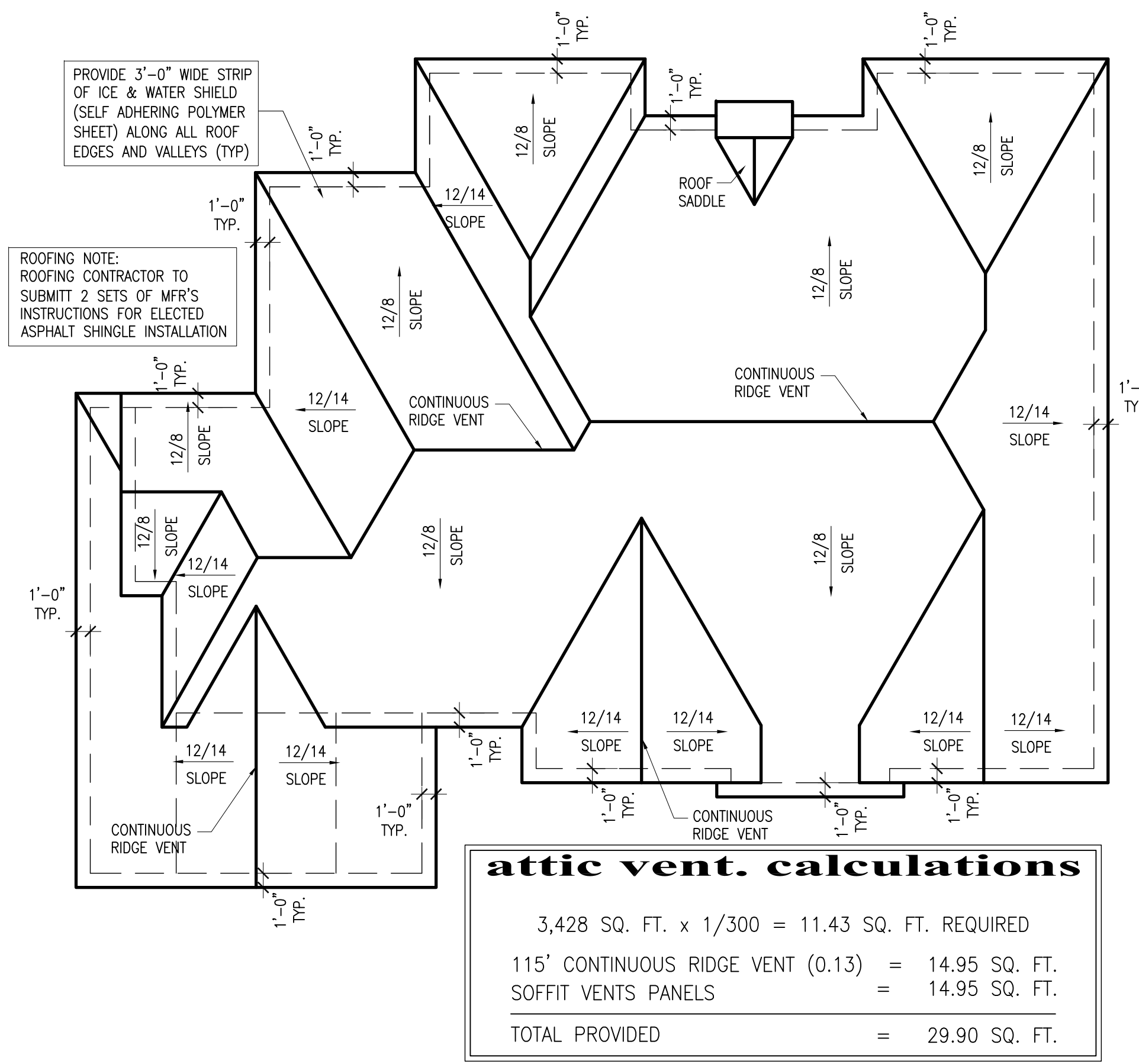
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REVISIONS	DATE
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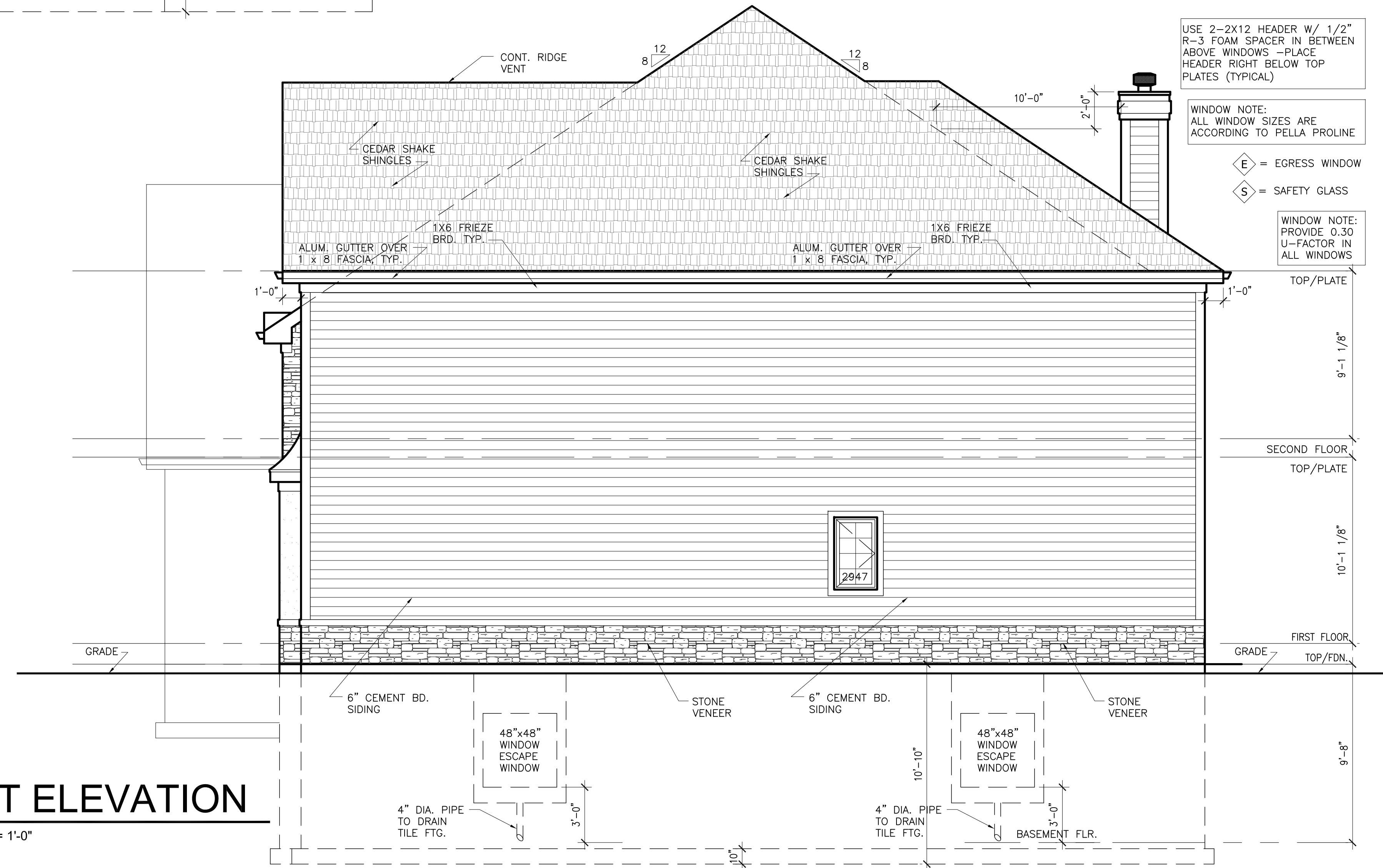
REAR ELEVATION

SCALE: 1/4" = 1'-0"



ROOF PLAN

SCALE: 1/8"=1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

PROJECT: PROPOSED NEW RESIDENCE
7237 GREYWALL COURT (LOT 96)
LONG GROVE, IL 60047
CLIENT: GREYWALL COURT LLC
6870 ELLIS DRIVE
LONG GROVE, IL 60047

JOB NO. 21-011
DATE 06-10-21
FILE
PLOT SCALE: 1:1
OWNER APPROVAL

Signature _____
Date _____

SHEET TITLE
EXTERIOR ELEVATIONS
& ROOF PLAN

SHEET NUMBER
A2

NOTES

- ALL FLOOR JOISTS SHALL BE #2 DOMESTIC HEM-FIR OR #2 CANADIAN SPRUCE PINE FIR OR BETTER WITH BRIDGING U.N.O. ON PLANS.
- MINIMUM FOOTING SIZES REQ'D: 10" x 20" SOIL BEARING CAPACITY = 3000 PSF
- EXTERIOR WALL FRAMING TO BE FULLY BRACED WITH 1/2" O.S.B SHEATHING
- FOUNDATION WALLS SHALL BE 10" THICK UNDER BRICK VENEER AND 8" THICK UNDER FRAME CONSTRUCTION.
- DOUBLE ALL JOIST UNDER WHIRLPOOL
- ALL FOOTINGS TO BEAR ON UNDISTURBED, NON-ORGANIC SOIL CAPABLE OF CARRYING 3,000 PSF MINIMUM AND TO BE A MINIMUM OF 42" BELOW GRADE
- STRUCTURAL STEEL TO BE A.S.T.M. A-36 REINFORCING STEEL TO BE GRADE 60
- ALL GLAZING TO FOLLOW R308 OF THE 2015 IRC AS REQUIRED, REQUIREMENTS PROVIDE SAFETY GLASS IN ALL DOORS, SIDELIGHTS, WINDOWS WITH GLAZING WITHIN 18" OF THE FLOOR & OVER 9 SQUARE FEET OF AREA, GLASS SHOWER ENCLOSURES, AND WINDOWS AT TUB AREA
- ANY WHIRLPOOL INSTALLATIONS ARE TO FOLLOW 2014 NEC
- DRYER VENT SHALL BE MADE OF GALVANIZED SHEET METAL OR ALUMINUM - VENT DRYERS AND EXHAUST FANS TO OUTSIDE
- A FIRE RATED DOOR IS REQUIRED BETWEEN THE GARAGE AND THE HOUSE - SOLID CORE WITH CLOSERS
- CONTRACTORS TO OBTAIN AND FOLLOW THE INSTALLATION DETAILS AND PROCEDURES FOR ALL MANUFACTURED PRODUCTS AS CALLED FOR IN THE MANUFACTURER'S SPECIFICATIONS THIS IS TO INCLUDE LVL BEAMS, JOISTS, SHINGLES, SIDING, INSULATION, WINDOWS, DOORS, APPLIANCES, ETC.
- WINDOW MANUFACTURER TO DESIGN AND PROVIDE NECESSARY REINFORCING FOR WIND LOADS IN MILLIONS OF COMBINED WINDOWS-VERIFY LOAD REQUIREMENTS
- HEARTH EXTENSION - MIN. 16" TO FRONT & 8" TO SIDE OF FIREPLACE OPENING - IF OPENING IS 6 SQ. FT. OR GREATER 20" TO FRONT AND 12" TO SIDES.
- EMERGENCY EGRESS WINDOWS PER SEC R310 OF 2015 IRC
- PROVIDE A (1) HOUR FIRE SEPARATION AT WALLS AND CEILINGS IN GARAGE COMMON TO RESIDENCE - 5/8" TYPE "X" GYP. BD. AT WALLS AND CEILING AND PROTECTING ALL STRUCTURAL AND STEEL MEMBERS
- ARC-FAULT INTERRUPTER DISCONNECT (AFCI) IS REQUIRED PER 2015 IRC E3902.11 OR 2014 NEC ARTICLE 210.12
- ALL OUTLETS IN GARAGE, BATHROOMS, KITCHEN, EXTERIOR AND BASEMENT TO BE GFI PROTECTED - OUTLETS AT FOR SUMP PUMP, FURNACE AND EJECTOR PITS TO BE SINGLE DEDICATED OUTLETS. - SEE ELECTRICAL DRAWINGS
- ALL BEDROOMS SHALL HAVE AT LEAST ONE EGRESS WINDOW WITH A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT., A MINIMUM NET CLEAR OPENING HEIGHT DIMENSION OF 24", MINIMUM WIDTH OF 20" AND A MAXIMUM SILL HEIGHT OF 44" ABOVE THE FINISHED FLOOR. PROVIDE WINDOW FALL PROTECTION AS PER R312 OF THE 2015 IRC
- INSTALL (1) 110V ELECTRIC FIRE AND SMOKE DETECTOR ON EACH FLOOR, INCLUDING BASEMENT, AND EACH BEDROOM WIRED IN SERIES FOR SIMULTANEOUS ACTION
- ALL FRAMING DRILLED FOR PLUMBING VENTS OR SIMILAR HOLES SHALL BE A MINIMUM OF 2" x 6 STUDS IN LIEU OF 2" x 4 STUDS.
- ALL GUARDRAILS (VERANDA, BALCONY, DECK, AND INTERIOR STAIRWELLS, ETC.) SHALL HAVE BALUSTERS WHICH ARE SPACED SO THAT A 4" DIAMETER SPHERE CANNOT PASS-THRU.
- PENETRATIONS BETWEEN STORIES AND THE ROOF SPACE SHALL BE FIRESTOPPED AS WELL AS SOFFITS, DROP CEILING, ETC.
- WINDOW WELLS ARE TO HAVE A PROTECTIVE COVER TO PREVENT PEOPLE AND ANIMALS FROM FALLING IN
- ALL PREFAB FIREPLACES SHALL RECEIVE FIVE-EIGHTHS INCH (5/8") TYPE "X" GYPSUM BOARD ON INSIDE OF ALL CHASE WALLS AND BE FIRESTOPPED AT ALL FLOOR AND CEILING LINES, INCLUDING ATTIC.
- PROVIDE WALL TIE DOWNS ON BOTH SIDES OF CORNERS AND EVERY 25' R802.11 & TABLE R301.2(1)
- USE CEMENT BOARD IN LIEU OF WATER RESISTANT DRYWALL IN WET LOCATIONS SUCH AS SHOWERS AND BATHUBS WALLS AND CEILINGS

ROOF RAFTER SCHEDULE

RAFTER SIZE	RAFTER SPACING	MAX. SPAN VAULTED CLG.	MAX. SPAN NON-VAULTED
2 x 12	16" O.C.	19'-11"	21'-1"
2 x 10	16" O.C.	17'-2"	18'-2"
2 x 10	12" O.C.	19'-10"	21'-0"
2 x 8	16" O.C.	14'-0"	14'-11"

ALL RAFTERS SHALL BE MINIMUM SIZE AND SPACING PER SCHEDULE ABOVE UNLESS OTHERWISE NOTED ON PLANS - ALL RAFTERS SHALL BE #2 HEM - FIR (E = 1,200,000 MIN.) #2 CANADIAN SPRUCE PINE FIR (E = 1,400,000 MIN.) OR BETTER

CEILING JOIST SCHEDULE

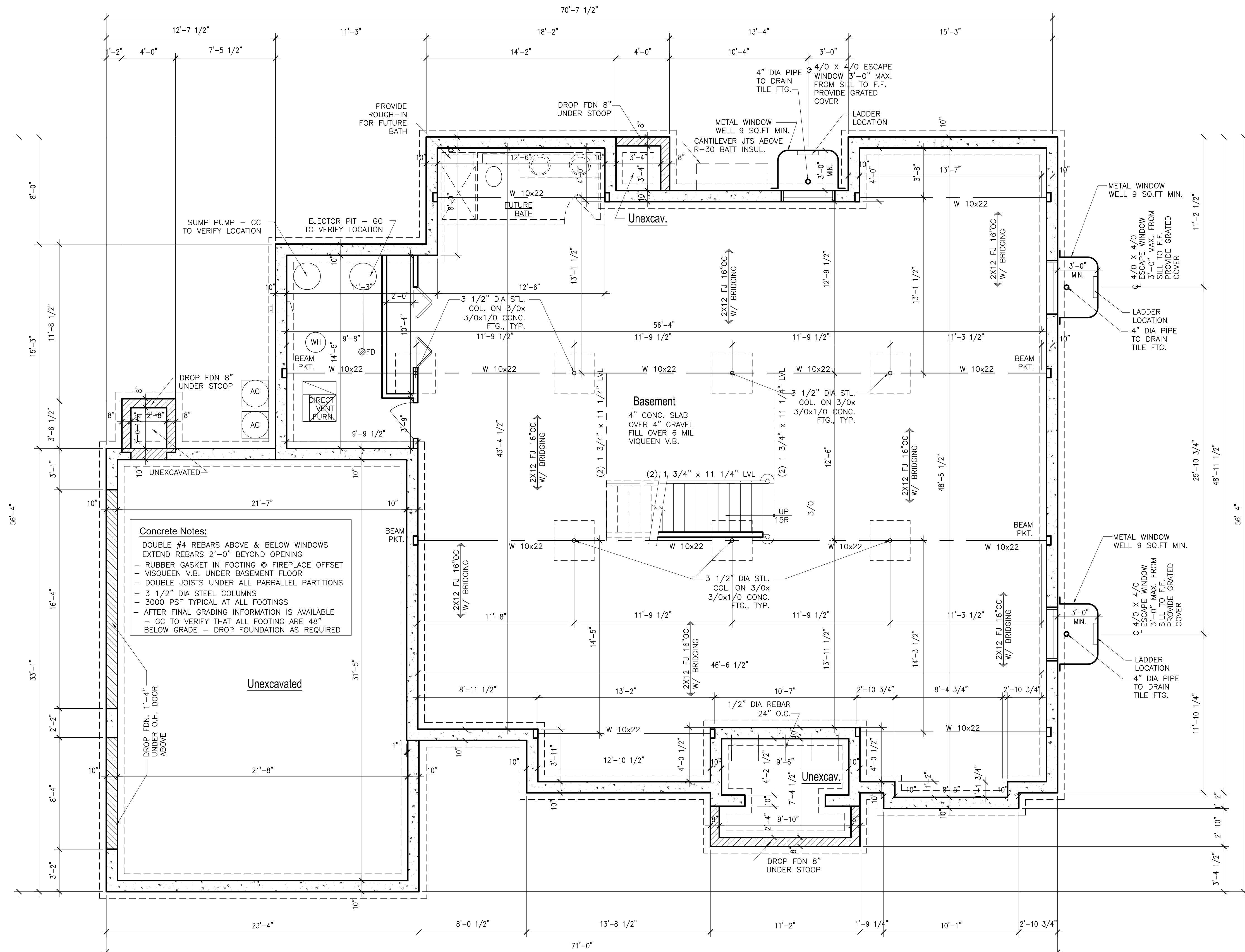
JOIST SIZE	JOIST SPACING	MAX. SPAN
2 x 4	AT 16" O.C.	6'-6"
2 x 6	AT 16" O.C.	12'-0"
2 x 8	AT 16" O.C.	16'-0"
2 x 8	AT 12" O.C.	18'-6"
2 x 10	AT 16" O.C.	19'-7"
2 x 10	AT 12" O.C.	22'-7"
2 x 12	AT 16" O.C.	22'-8"
2 x 12	AT 12" O.C.	26'-3"

CEILING JOISTS SHALL BE #2 HEM - FIR , #2 CANADIAN SPRUCE PINE FIR OR BETTER. ALL JOISTS SHALL BE MINIMUM SIZE AND SPACING PER SCHEDULE ABOVE UNLESS OTHERWISE NOTED OTHERWISE ON PLANS.

FLOOR JOIST SCHEDULE

JOIST & SPACING	MAXIMUM SPAN	
	NON-SLEEPING ROOMS	SLEEPING ROOMS
L / 360	40# LL - 10# DL	30# LL - 10# DL
2 x 8 AT 12" O.C.	13'-2"	14'-6"
2 x 8 AT 16" O.C.	12'-0"	13'-2"
2 x 10 AT 12" O.C.	16'-10"	18'-6"
2 x 10 AT 16" O.C.	15'-2"	16'-10"
2 x 10 AT 16" O.C. DBL, EVERY OTHER JOIST	15'-9"	17'-5"
2 x 12 AT 12" O.C.	20'-4"	22'-6"
2 x 12 AT 16" O.C.	17'-7"	19'-8"
2 x 12 AT 16" O.C. DBL, EVERY OTHER JOIST	19'-1"	21'-4"

PROVIDE DBL. FLOOR JOIST BELOW ALL PARALLEL PARTITIONS, UNLESS NOTED OTHERWISE ON PLANS. ALL FLOOR JOISTS SHALL BE #2 DOMESTIC HEM-FIR, #2 CANADIAN SPRUCE PINE FIR OR BETTER. PROVIDE CROSS BRIDGING AT MAX. 8'-0" O.C.



BASEMENT PLAN

SCALE: 1/4" = 1'-0"

PRESCRIPTIVE METHOD TO BE USED

INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT										
2018 IECC-- TABLE R402.1.2										
CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FEN. SHGC	CEILING R-VALUE	WD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BSMNT WALL R-VALUE	SLAB R-VALUE & DEPTH	CRAWL SPACE WALL R-VALUE
5 AND MARINE 4	0.30	0.55	NR	49	20 OR 13+5	13/17	30	15/19	10 , 2 ft 15, Heated slab	15/19

- R-values are minimums. U-factors and SHGC are maximums. When insulation is installed in a cavity which is less than the label or design thickness of the insulation, the installed R-value of the insulation shall not be less than the R-value specified in the table.
- The fenestration U-factor column excludes skylights. The SHGC column applies to all glazed fenestration. Exception: Skylights may be excluded from glazed fenestration SHGC requirements in Climate Zones 1 through 3 where the SHGC for such skylights does not exceed 0.30.
- "15/19" means R-15 continuous insulation on the interior or exterior of the home or R-19 cavity insulation at the interior of the basement wall. "15/19" shall be permitted to be met with R-13 cavity insulation on the interior of the basement wall plus R-5 continuous insulation on the interior or exterior of the home. "10/13" means R-10 continuous insulation on the interior or exterior of the home or R-13 cavity insulation at the interior of the basement wall.
- R-5 shall be added to the required slab edge R-values for heated slabs. Insulation depth shall be the depth of the footing or 2 feet, whichever is less in Climate Zones 1 through 3 for heated slabs.
- There are no SHGC requirements in the Marine Zone.
- Basement wall insulation is not required in warm-humid locations as defined by Figure R301.1 and Table R301.1.
- Or insulation sufficient to fill the framing cavity, R-19 minimum.
- First value is cavity insulation, second value is continuous insulation, so "13+5" means R-13 cavity insulation plus R-5 continuous insulation.
- The second R-value applies when more than half the insulation is on the interior of the mass wall.



129 Commercial Drive Suite 8
 Yorkville, Illinois 60560
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 E-mail: alberto@agamadesigns.com

ISSUED	DATE
FOR APPROVAL	
FOR PERMIT	
FOR BID	
FOR CONST.	

REVISIONS	DATE
1	
2	
3	

PROJECT: PROPOSED NEW RESIDENCE
 7237 GREYWALL COURT (LOT 96)
 LONG GROVE, IL 60047

CLIENT: GREYWALL COURT LLC
 6870 ELLIS DRIVE
 LONG GROVE, IL 60047

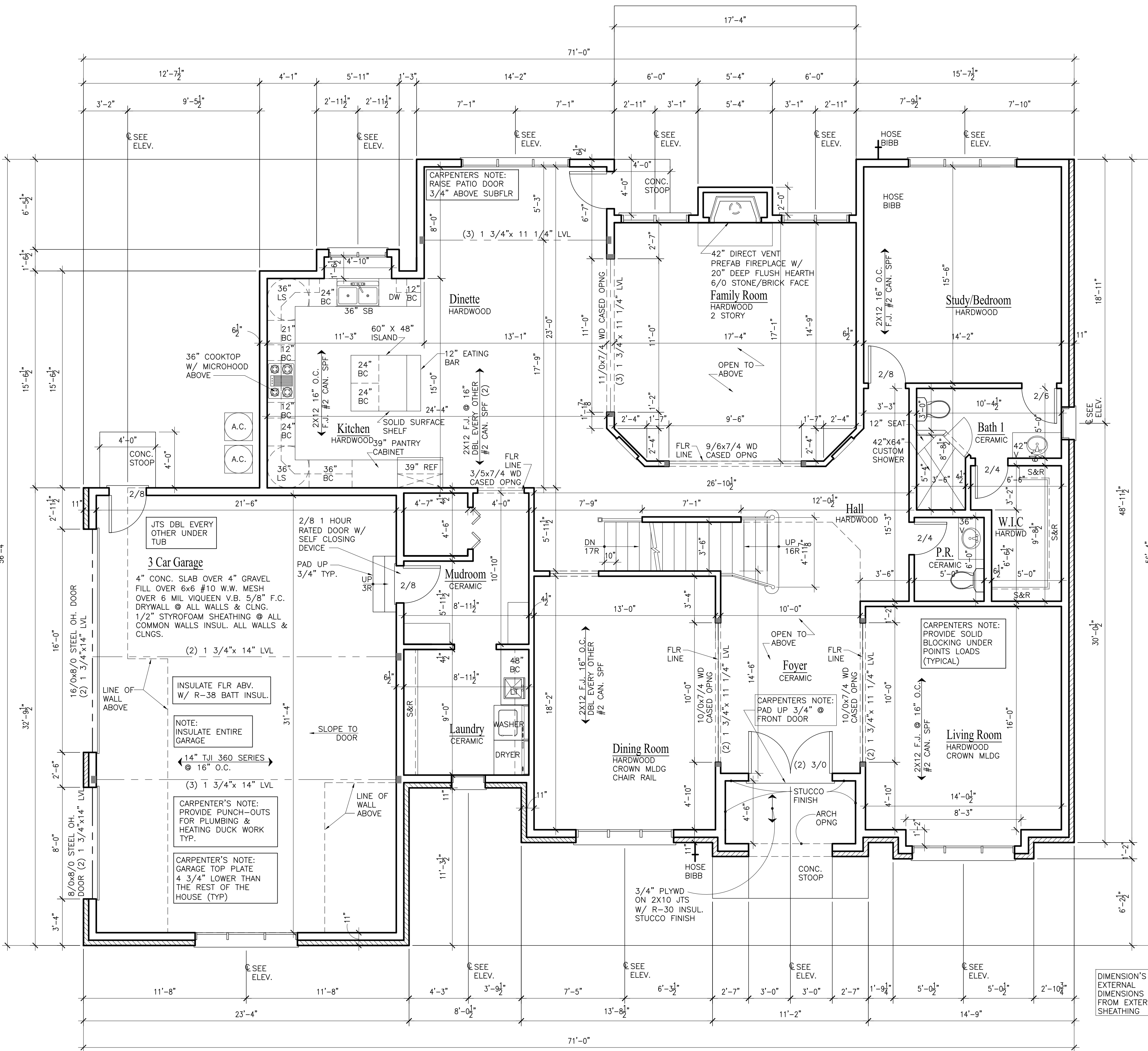
JOB NO. 21-011
 DATE 06-10-21
 FILE
 PLOT SCALE: 1/4"

OWNER APPROVAL

Signature _____
 Date _____

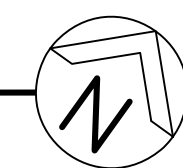
SHEET TITLE
BASEMENT PLAN

SHEET NUMBER
A3



FIRST FLOOR PLAN - 2,390 S.F.

SCALE: 1/4" = 1'-0"



AREAS	
1ST FLOOR AREA	2,390 S.F.
2ND FLOOR AREA	2,154 S.F.
TOTAL AREA	4,544 S.F.

NOTES

- ALL FLOOR JOISTS SHALL BE #2 DOMESTIC HEM-FIR OR #2 CANADIAN SPRUCE PINE FIR OR BETTER WITH BRIDGING U.N.O. ON PLANS.
- MINIMUM FOOTING SIZES REQ'D: 10" x 20" SOIL BEARING CAPACITY = 3000 PSF
- EXTERIOR WALL FRAMING TO BE FULLY BRACED WITH 1/2" O.S.B SHEATHING
- FOUNDATION WALLS SHALL BE 10" THICK UNDER BRICK VENEER AND 8" THICK UNDER FRAME CONSTRUCTION.
- ALL CONSTRUCTION TO MEET APPLICABLE BUILDING CODES
- DOUBLE ALL JOIST UNDER WHIRLPOOL
- ALL FOOTINGS TO BEAR ON UNDISTURBED, NON-ORGANIC SOIL CAPABLE OF CARRYING 3,000 PSF MINIMUM AND TO BE A MINIMUM OF 42" BELOW GRADE
- STRUCTURAL STEEL TO BE A.S.T.M. A-36 REINFORCING STEEL TO BE GRADE 60
- ALL GLAZING TO FOLLOW R308 OF THE 2015 IRC AS REQUIRED, REQUIREMENTS PROVIDE SAFETY GLASS IN ALL DOORS, SIDELIGHTS, WINDOWS WITH GLAZING WITHIN 18" OF THE FLOOR & OVER 9 SQUARE FEET OF AREA, GLASS SHOWER ENCLOSURES, AND WINDOWS AT TUB AREA
- ANY WHIRLPOOL INSTALLATIONS ARE TO FOLLOW 2014 NEC
- DRYER VENT SHALL BE MADE OF GALVANIZED SHEET METAL OR ALUMINUM - VENT DRYERS AND EXHAUST FANS TO OUTSIDE
- A FIRE RATED DOOR IS REQUIRED BETWEEN THE GARAGE AND THE HOUSE - SOLID CORE WITH CLOSERS
- CONTRACTORS TO OBTAIN AND FOLLOW THE INSTALLATION DETAILS AND PROCEDURES FOR ALL MANUFACTURED PRODUCTS AS CALLED FOR IN THE MANUFACTURER'S SPECIFICATIONS THIS IS TO INCLUDE LVL BEAMS, I-JOISTS, SHINGLES, SIDING, INSULATION, WINDOWS, DOORS, APPLIANCES, ETC.
- WINDOW MANUFACTURER TO DESIGN AND PROVIDE NECESSARY REINFORCING FOR WIND LOADS IN MULLIONS OF COMBINED WINDOWS VERIFY LOAD REQUIREMENTS
- HEARTH EXTENSION - MIN. 16" TO FRONT & 8" TO SIDE OF FIREPLACE OPENING - IF OPENING IS 6 SO. FT. OR GREATER 20" TO FRONT AND 12" TO SIDES.
- EMERGENCY EGRESS WINDOWS PER SEC R310 OF 2015 IRC
- PROVIDE A (1) HOUR FIRE SEPARATION AT WALLS AND CEILINGS IN GARAGE COMMON TO RESIDENCE - 5/8" TYPE "X" GYP. BD. AT WALLS AND CEILING AND PROTECTING ALL STRUCTURAL AND STEEL MEMBERS
- ARC-FAULT INTERRUPTER DISCONNECT (AFCI) IS REQUIRED PER 2015 IRC E9902.11 OR 2014 NEC ARTICLE 210.12
- ALL OUTLETS IN GARAGE, BATHROOMS, KITCHEN, EXTERIOR AND BASEMENT TO BE GFI PROTECTED - OUTLETS AT FOR SUMP PUMP, FURNACE AND EJECTOR PITS TO BE SINGLE DEDICATED OUTLETS. - SEE ELECTRICAL DRAWINGS
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FLOOR JOIST SCHEDULE

JOIST & SPACING	MAXIMUM SPAN	
	NON-SLEEPING ROOMS	SLEEPING ROOMS
L / 360	40# LL - 10# DL	30# LL - 10# DL
2 x 8 AT 12" O.C.	13'-2"	14'-6"
2 x 8 AT 16" O.C.	12'-0"	13'-2"
2 x 10 AT 12" O.C.	16'-10"	18'-6"
2 x 10 AT 16" O.C.	15'-2"	16'-10"
2 x 10 AT 16" O.C. DBL. EVERY OTHER JOIST	15'-9"	17'-5"
2 x 12 AT 12" O.C.	20'-4"	22'-6"
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ISSUED	DATE
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FOR CONST.	

REVISIONS	DATE
1	
2	
3	

PROJECT: PROPOSED NEW RESIDENCE
 7237 GREYWALL COURT (LOT 96)
 LONG GROVE, IL 60047

CLIENT: GREYWALL COURT LLC
 6870 ELLIS DRIVE
 LONG GROVE, IL 60047

JOB NO. 21-011
 DATE 06-10-21
 FILE 05-04-first floor plan.dwg
 PLOT SCALE: 1:1

OWNER APPROVAL

Signature _____
 Date _____

SHEET TITLE
 FIRST FLOOR PLAN

SHEET NUMBER
A4

NOTES

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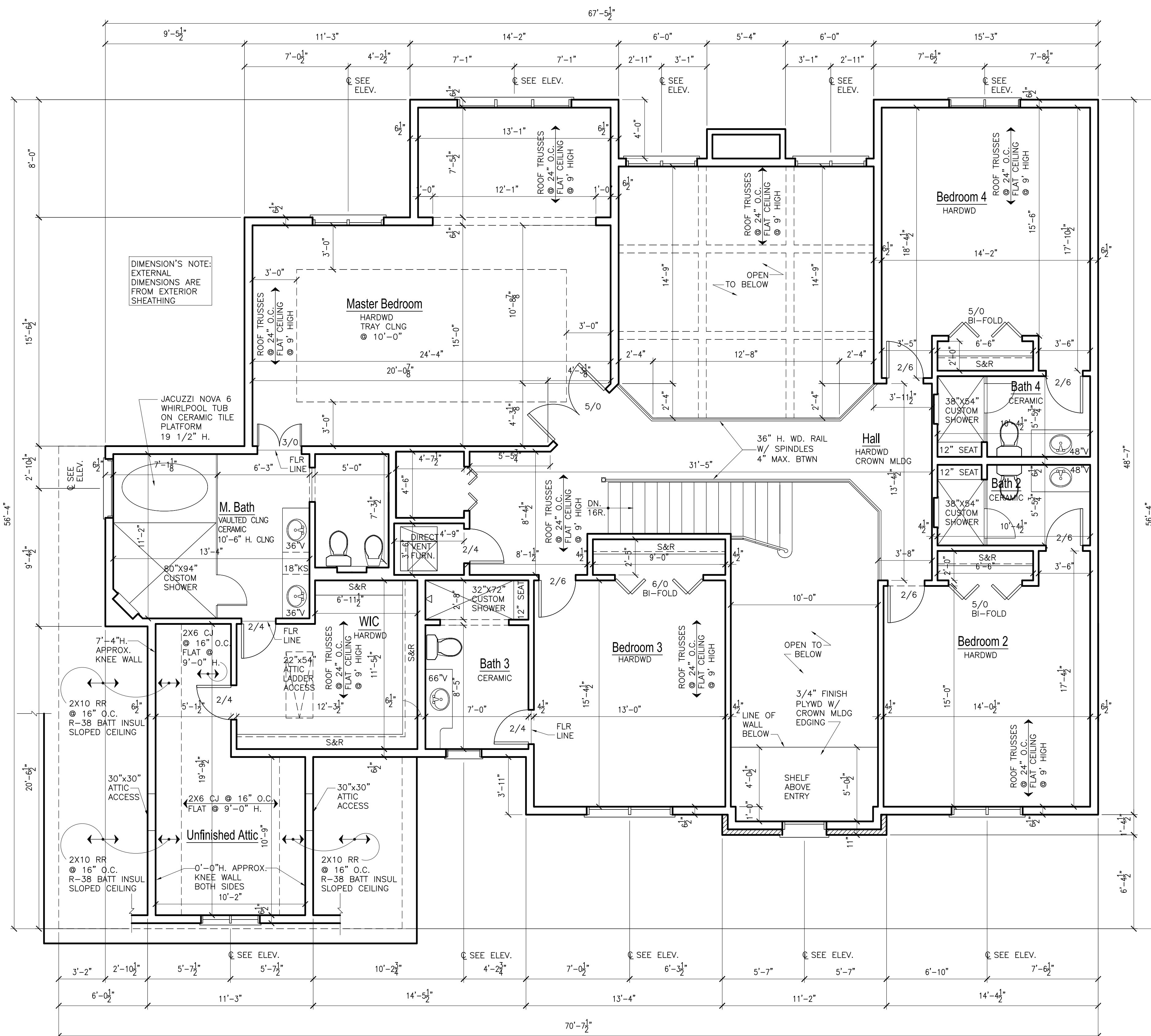
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FLOOR JOIST SCHEDULE

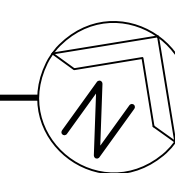
JOIST & SPACING	MAXIMUM SPAN	
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PROVIDE CROSS BRIDGING AT MAX. 8'-0" O.C.



SECOND FLOOR PLAN - 2,154 S.F.

SCALE: 1/4" = 1'-0"



AGAMA DESIGNS
architecture
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FOR BID	
FOR CONST.	

REVISIONS	DATE
1	
2	
3	

PROJECT: PROPOSED NEW RESIDENCE
7237 GREYHALL COURT (LOT 96)
LONG GROVE, IL 60047
CLIENT: GREYHALL COURT LLC
6870 ELLIS DRIVE
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JOB NO. 21-011
DATE 06-10-21
FILE
PLOT SCALE: 1/4"

OWNER APPROVAL
Signature _____
Date _____

SHEET TITLE
SECOND FLOOR PLAN

SHEET NUMBER
A5

NATURAL LIGHT AND VENTILATION SCHEDULE FOR SINGLE FAMILY RESIDENCE								
ROOM NAME	FLR AREA	ORDINANCE REQ'D			PLAN PROVIDED (ACTUAL)			REMARKS
		GLAZED AREA (S.F)	VENT. AREA (S.F)	MECH. EXH. (CMF)	GLAZED AREA (S.F)	VENT. AREA (S.F)	MECH. EXH. (CMF)	
1ST FLR								
KITCHEN / DINETTE	459.00 SF	36.72 SF	18.36 SF		47.20 SF	28.30 SF		(2) 2547, 10882 9' SLIDER
FAMILY ROOM	291.00 SF	23.28 SF	11.64 SF		76.00 SF	80.80 SF		(4) 2965, (4) 2959
STUDY / BED	220.00 SF	17.60 SF	8.80 SF		30.00 SF	21.20 SF		(3) 2965
LIVING ROOM	233.00 SF	18.64 SF	9.32 SF		30.00 SF	21.20 SF		(3) 2965
DINING ROOM	236.00 SF	18.88 SF	9.44 SF		30.00 SF	21.20 SF		(3) 2965
LAUNDRY ROOM	81.00 SF	---	---	75	9.00 SF	9.60 SF	75	(1) 2959
BATH 1	65.00 SF	---	---	75	5.80 SF	6.30 SF	75	(1) 2947
POWDER ROOM	30.00 SF	---	---	75	---	---	75	---
2ND FLR								
MASTER BEDROOM / SITTING RM	459.00 SF	36.72 SF	18.36 SF		45.00 SF	38.40 SF		(3) 2959, (2) 2959
MASTER BATH	189.00 SF	---	---	75	5.80 SF	6.30 SF	75	(1) 4725
BEDROOM 2	219.00 SF	17.52 SF	8.76 SF		18.00 SF	19.20 SF		(2) 2959 W/ TRANSOM
BEDROOM 3	200.00 SF	16.00 SF	8.00 SF		18.00 SF	19.20 SF		(2) 2959 W/ TRANSOM
BEDROOM 4	236.00 SF	18.88 SF	9.44 SF		21.77 SF	14.51 SF		(2) 2959
BATH 2	57.00 SF	---	---	75	---	---	75	---
BATH 3	79.00 SF	---	---	75	---	---	75	---
BATH 4	57.00 SF	---	---	75	---	---	75	---

ELECTRIC KEY			
⊖	120 V. DUPLEX OUTLET	⊖	RECESSED INCAND.
⊖	220 V. OUTLET	⊖	CEILING INCAND.
⊖	THERMOSTAT	⊖	PULL CHAIN
⊖	DIMMER	⊖	FLUORESCENT
⊖	DOOR BELL	⊖	WALL MOUNT INCAND.
⊖	SINGLE POLE SWITCH	⊖	EXHAUST FAN
⊖	SPEAKER OUTLET	⊖	SMOKE DETECTOR
⊖	TELEPHONE OUTLET	⊖	LOCATION BY OWNER
⊖	EXIT SIGN	⊖	EXISTING DEVICE
⊖	TV ANTENNA OUTLET	⊖	REMOVE OF RELOCATE
⊖	JUNCTION BOX	⊖	SMOKE DETECTOR
⊖	CARBON MONOXIDE DETECTOR	⊖	CAT OUTLET
⊖	ETHERNET OUTLET	⊖	
⊖	SPEAKER CONTROL		

PROVIDE WALL SWITCH CONTROLLED LIGHT FIXTURE FLUORESCENTS IN ALL CLOSETS OVER 5 S.F. ALL
FIRE AND SMOKE DETECTORS SHALL BE HARDWIRED AND INTERCONNECTED FOR SIMULTANEOUS ACTIVATION. PROVIDE A MINIMUM OF ONE DETECTOR PER FLOOR AS SHOWN ON PLAN

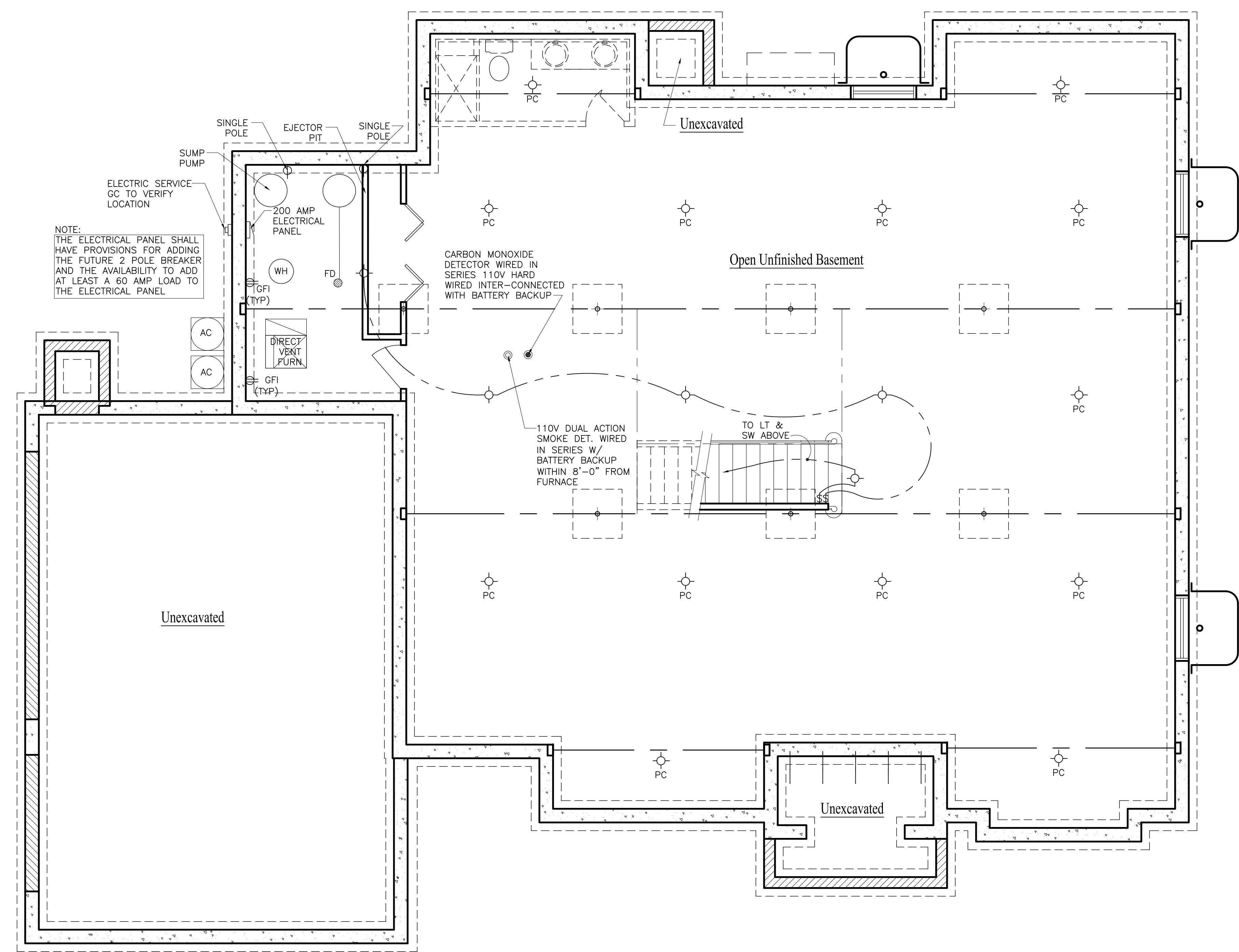
AGAMA DESIGNS
architecture
129 Commercial Drive Suite 8
Yorkville, Illinois 60560
Phone: 630-381-9019
E-mail: alberto@agamadesigns.com

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FOR PERMIT	
FOR BID	
FOR CONST.	

ELECTRICAL CODE NOTES

1. A RUN OF CONDUIT MAY NOT BE BENT MORE THAN FOUR TIMES (4) AND NOT MORE 360 DEGREES.
2. MINIMUM #14 WIRE MUST BE USED IN ALL LIVING AREAS AND MIN. #12 WIRE MUST BE USED IN KITCHEN AREA
3. EVERY 500 SF OF LIVING SPAC MUST BE SUPPLIED WITH A SEPARATE CIRCUIT
4. RECEPTACLE OUTLETS SUPPLIED BY AT LEAST TWO APPLIANCES RECEPTACLE BRANCH CIRCUITS MUST BE INSTALLED IN THE KITCHEN
5. PROVIDE ONE 20 AMP BRANCH CIRCUIT FOR LAUNDRY RECEPTACLE (S)
6. EVERY PANEL BOX MUST HAVE EACH CIRCUIT LABELED
7. BEDROOM RECEPTACLES REQUIRE ARC-FAULT BRANCH CIRCUIT PROTECTION
8. ALL ELECTRIC WORK TO COMPLY WITH LOCAL ELECTRIC CODE AND AMMENDMENTS
9. NO MORE THAN 12'-0" PERMITTED BETWEEN ELECTRICAL RECEPTACLES AND THEY SHALL BE LOCATED NOT MORE THAN 6'-0" FROM AN OPENING IN A WALL.
10. RACEWAY SEAL REQUIRED FOR SERVICE ENTRANCE (NEC 2014 ART. 230.8 & 300.5)
11. ALL OUTSIDE GFCI MUST BE PROTECTE BY A BULB DOOM COVER. (NEC 2014 ART. 406.8(B)(1))
12. ANY OUTLET IN LAUNDRY ROOM OPPOSITE TO LAUNDRY TUB MUST BE GFCI PROTECTED
13. SMOKE DETETOR IN BASEMENT MUST BE LOCATED WITHIN 8' OF FURNACE AREA
14. SMOKE DETECTORS IN DWELLING AREAS SHOULD BE LOCATED CLOSE TO DOOR OPENINGS
15. MEANS OF DISCONNECT BOX MUST HAVE A BUILT IN GFCI OUTLET FOR SERVICING OF A.C. UNIT
16. ARC-FAULT INTERRUPTER DISCONNECT (AFCI) IS REQUIRED PER 2015 IRC E3902.11 OR 2014 NEC ARTICLE 210.12
17. TAMPERED RESISTANT RECEPTACLE ARE REQUIRED PER NEC 406.11 IN AREAS SPECIFIED IN NEC 210.52
18. PROVIDE GFCI PROTECTION IN ALL RECEPTACLES IN DAMP OR WET LOCATIONS INCLUDING UNFINISHED BASEMENT PER NEC 406.8 AND 210
19. ARC-FAULT PROTECTION - ALL CIRCUIT SUPPLYING 120-VOLT SINGLE PHASE, 15 AND 20 AMP OUTLETS WHICH INCLUDE LIGHTING OUTLET, SWITCH OUTLET AND RECEPTACLE OUTLET PER 2015 IRC

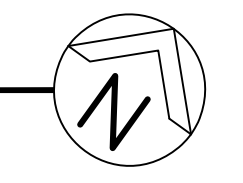
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NOTE:
THE ELECTRICAL PANEL SHALL HAVE PROVISIONS FOR ADDING THE FUTURE 2 POLE BREAKER AND THE AVAILABILITY TO ADD AT LEAST A 60 AMP LOAD TO THE ELECTRICAL PANEL

BASEMENT ELECTRIC PLAN

SCALE: 1/4" = 1'-0"



PROJECT: PROPOSED NEW RESIDENCE
7237 GREYWALL COURT (LOT 96)
LONG GROVE, IL 60047
CLIENT: GREYWALL COURT LLC
6870 ELLIS DRIVE
LONG GROVE, IL 60047

JOB NO. 21-011
DATE 06-10-21
FILE
PLOT SCALE: 1:1

OWNER APPROVAL
Signature _____
Date _____

SHEET TITLE
BASEMENT ELECTRIC PLAN & SCHEDULES

SHEET NUMBER
A6

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ELECTRIC KEY

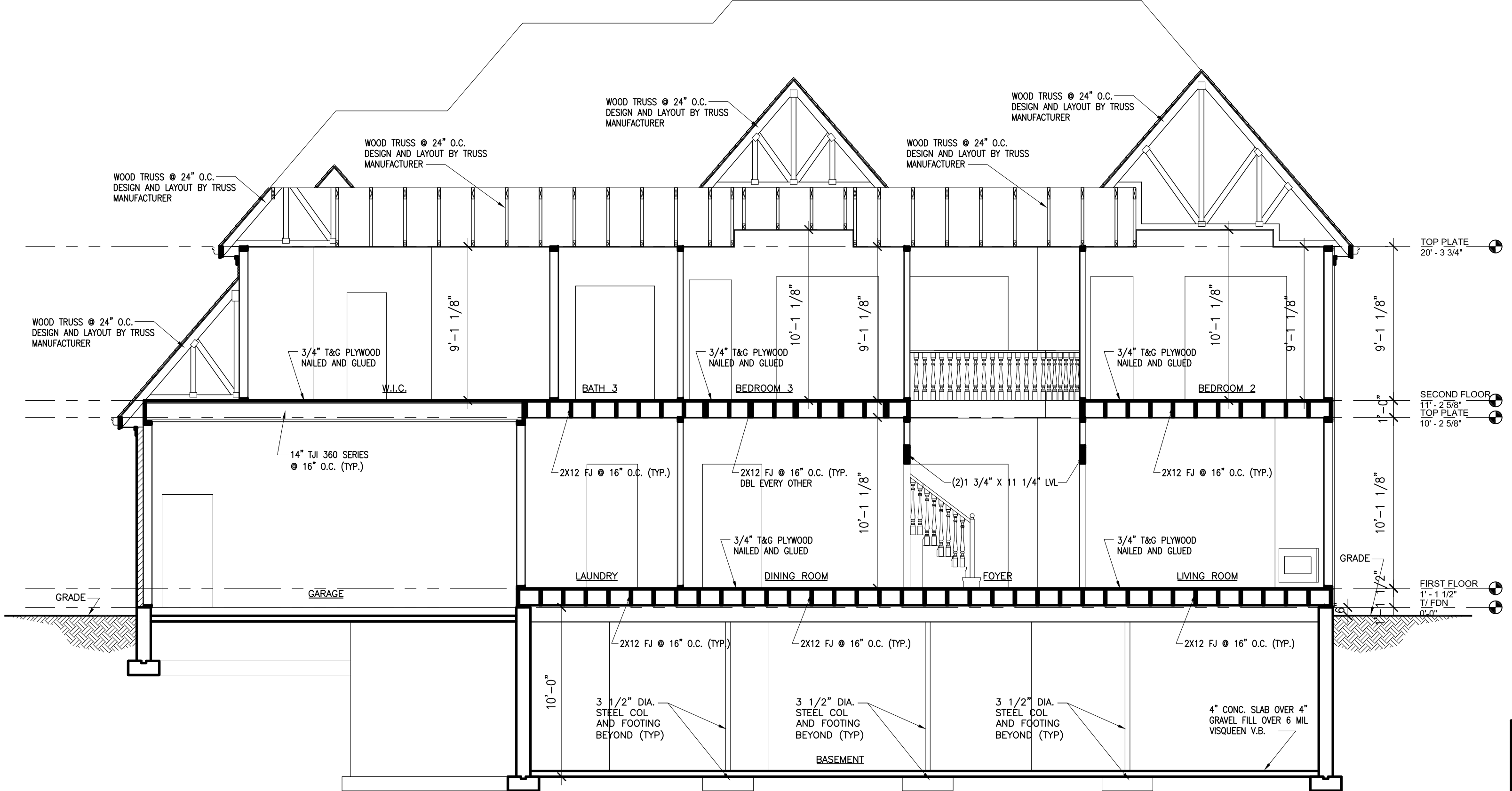
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⊖	220 V. OUTLET	⊖	CEILING INCAND.
⊖	THERMOSTAT	⊖	PULL CHAIN FLUORESCENT
⊖	DIMMER	⊖	WALL MOUNT INCAND.
⊖	DOOR BELL	⊖	EXHAUST FAN
⊖	SINGLE POLE SWITCH	⊖	SMOKE DETECTOR
⊖	SPEAKER OUTLET	⊖	LOCATION BY OWNER
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⊖	TV ANTENNA OUTLET	⊖	SMOKE DETECTOR
⊖	JUNCTION BOX		
⊖	CARBON MONOXIDE DETECTOR		
⊖	ETHERNET OUTLET	⊖	CAT OUTLET
⊖	SPEAKER CONTROL		

PROVIDE WALL SWITCH CONTROLLED LIGHT FIXTURE FLUORESCENTS IN ALL CLOSETS OVER 3 S.F. ALL

FIRE AND SMOKE DETECTORS SHALL BE HARDWIRED AND INTERCONNECTED FOR SIMULTANEOUS ACTUATION. PROVIDE A MINIMUM OF ONE DETECTOR PER FLOOR AS SHOWN ON PLAN

ISSUED	DATE
FOR APPROVAL	
FOR PERMIT	
FOR BID	
FOR CONST.	

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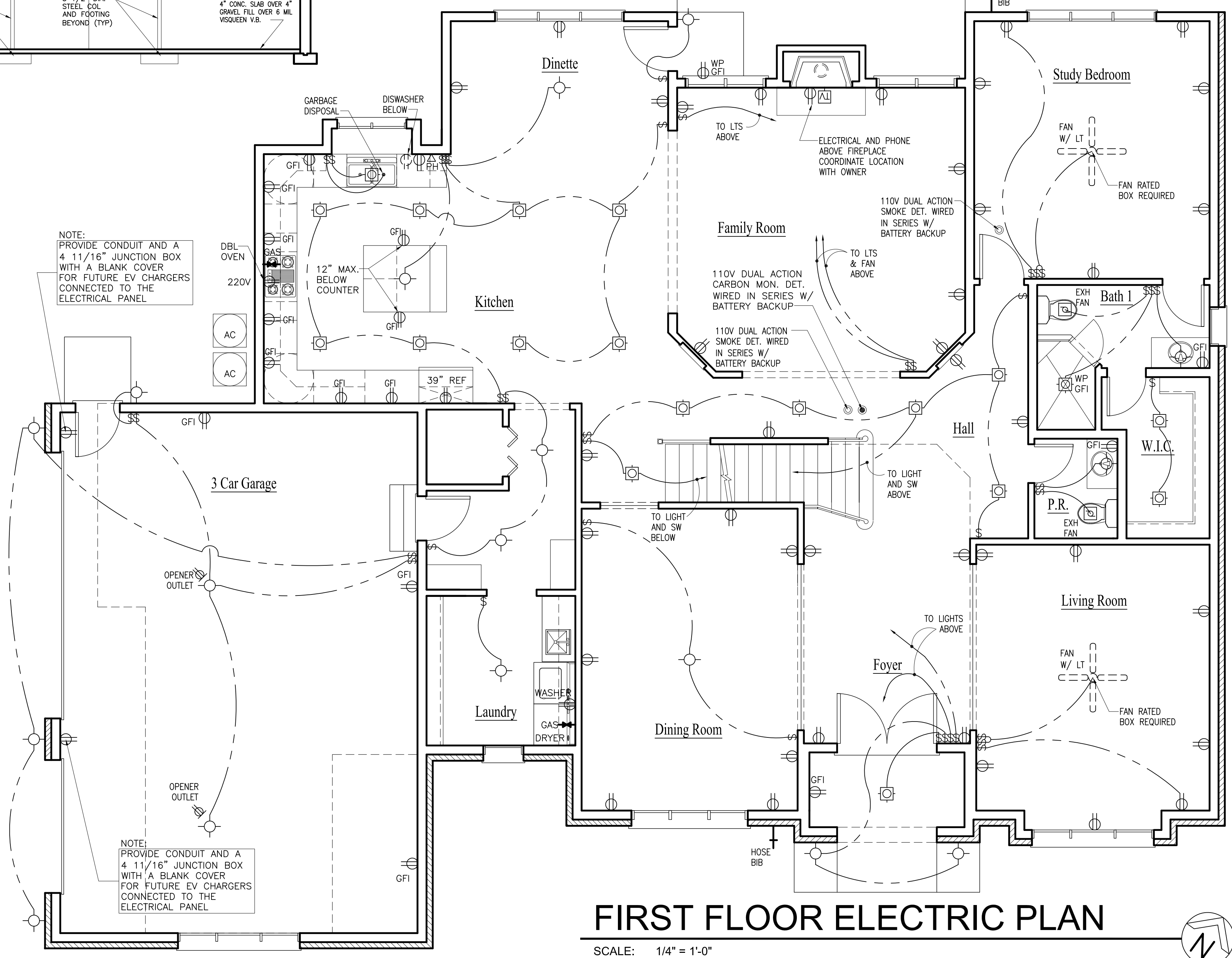


OVERALL SECTION

SCALE: 3/16" = 1'-0"

ELECTRICAL CODE NOTES

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- ARC-FAULT PROTECTION - ALL CIRCUIT SUPPLYING 120-VOLT SINGLE PHASE, 15 AND 20 AMP OUTLETS WHICH INCLUDE LIGHTING OUTLET, SWITCH OUTLET AND RECEPTACLE OUTLET PER 2015 IRC



FIRST FLOOR ELECTRIC PLAN

SCALE: 1/4" = 1'-0"

PROJECT: **PROPOSED NEW RESIDENCE**
 7237 GREYWALL COURT (LOT 96)
 LONG GROVE, IL 60047

CLIENT: **GREYWALL COURT LLC**
 6870 ELLIS DRIVE
 LONG GROVE, IL 60047

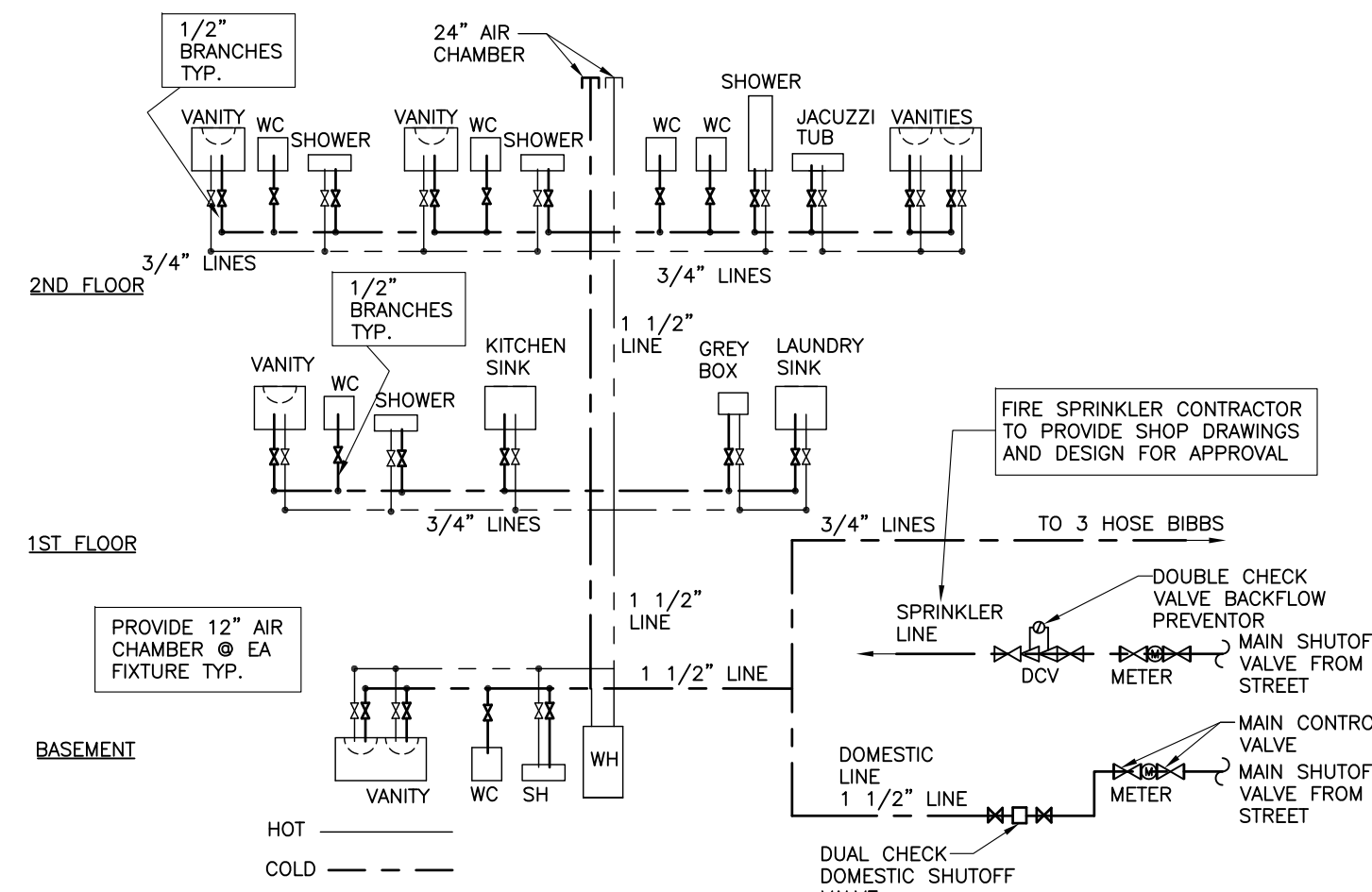
JOB NO. 21-011
 DATE 06-10-21
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 PLOT SCALE: 1:1

OWNER APPROVAL

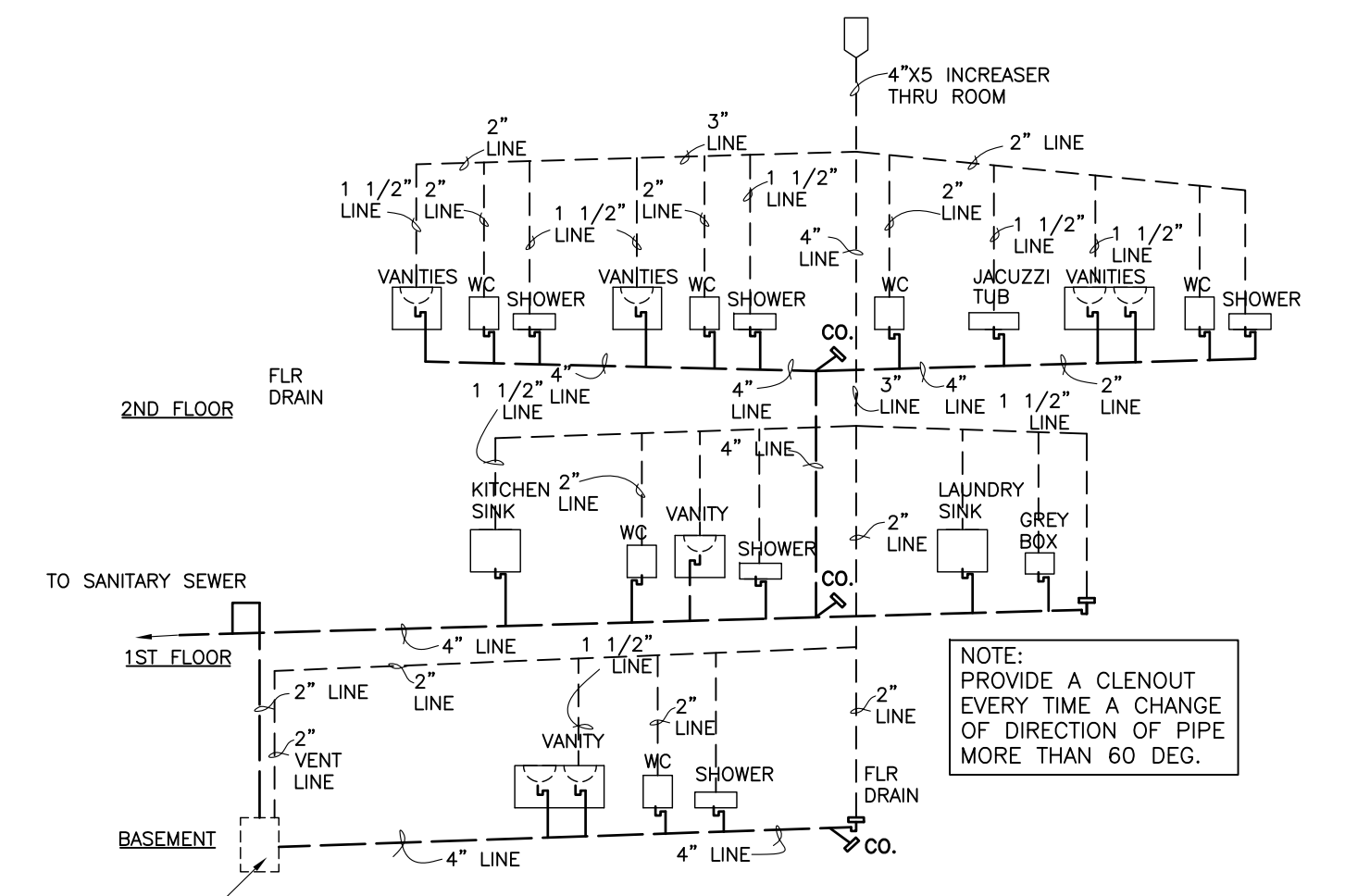
Signature _____
 Date _____

SHEET TITLE
FIRST FLOOR ELECTRIC PLAN

SHEET NUMBER
A7



Water Supply Diagram



Waste/Vent Diagram

WATER SUPPLY FIXTURE UNITS (WSFU) Section 890. Table M

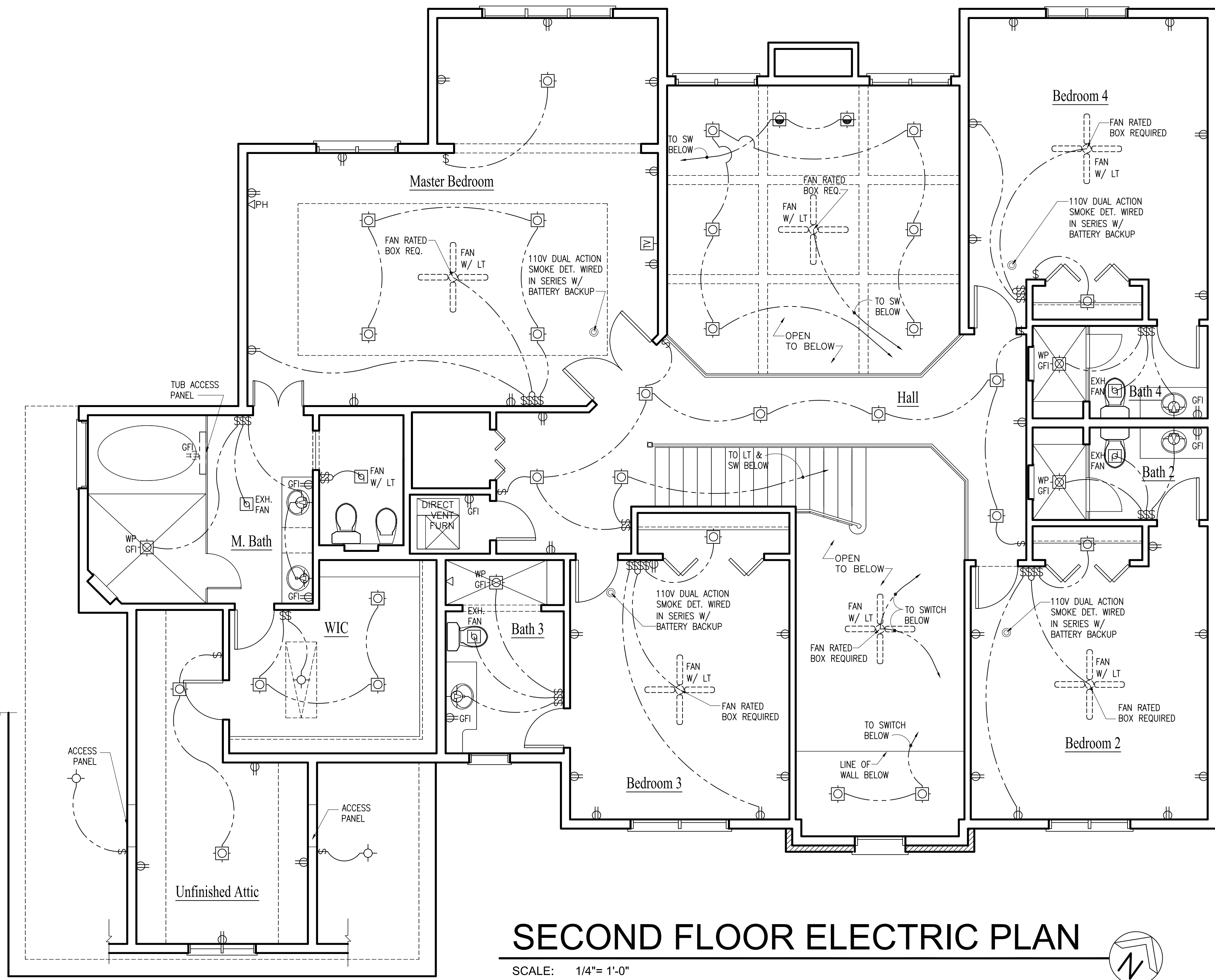
FIXTURE	LOAD VALUE	NO. OF FIXTURES	TOTAL LOAD VALUE
WATER CLOSET	3	8	24
LAVATORY (BATHROOM SINK)	1	8	8
SHOWER	2	6	12
BATHTUB	2	1	2
KITCHEN SINK	2	1	2
DISHWASHING MACHINE	1	1	1
LAUNDRY MACHINE	2	1	2
LAUNDRY TRAY	3	1	3
TOTAL WSFU			54

WATER SUPPLY FIXTURE UNITS (WSFU) Section 890. Table N

W.S.F.U.	DEMAND (GPM)	PIPE SIZE	PRESSURE LOSS (PSI/100' PIPE)	VELOCITY	METER SIZE (INCHES)
60	32	1 1/2"	5.0	5.8	1"

PLUMBING NOTES

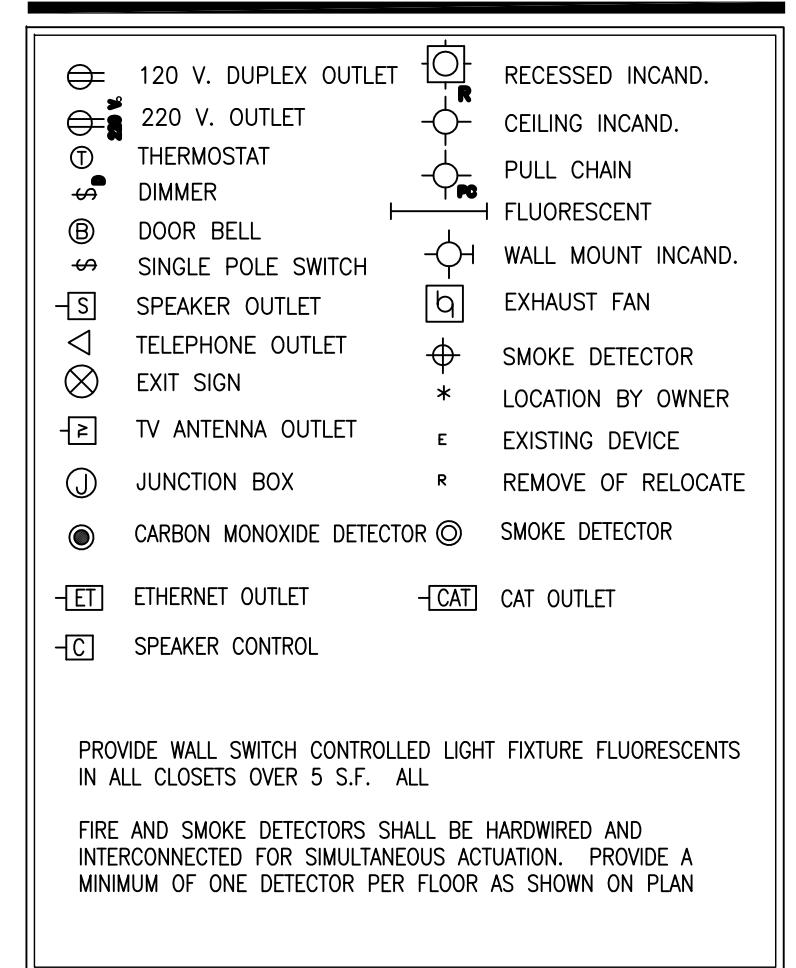
- ALL PLUMBING, PIPING, VALVES, INSULATION AND INSTALLATION METHODS AND REQUIREMENTS: CONTRACTOR TO STRICTLY ADHERE TO THE ILLINOIS PLUMBING CODE AND VILLAGE OF LONG GROVE ORDINANCE REQUIREMENTS AND INSTALLED PER APPLICABLE CODES
- ALL EXPOSED DOMESTIC WATER PIPING, HORIZONTAL STORM WATER PIPING SHALL BE INSULATED WITH AN APPROVED INSULATION PER 2018 IECC AND VILLAGE OF LONG GROVE ORDINANCE
- DOMESTIC WATER PIPING SHALL BE TYPE "L" COPPER TUBING, WITH 95-5 SOLDER TIN ANTIMONY (NO LEAD) SOLDER JOINT CONNECTIONS. ALL FITTINGS WILL BE BRASS OR CASE BRONZE. INSULATE PIPING WITH 1/2" THICK INSULATION WITH ASJ JACKET
- TYPE "K" COPPER REQUIRED ON UNDERGROUND DOMESTIC WATER
- ABOVE GROUND WASTE AND VENT PIPING TO BE COPPER TYPE L OR K, CAST IRON OR SCH. 40 PVC. NO CELL CORE PVC ALLOWED
- GATE VALVES AND CHECK VALVES SHALL BE BRONZE RATED AT 125 PSI WATER WORKING PRESSURE. INSULATION: PREMOLDED FIBERGLASS WITH VAPOR BARRIER. JACKET FOR HOT AND COLD WATER PIPING ONLY.
- UNDERGROUND SANITARY TO BE SCH. 40 PVC. MINIMUM FOUR INCHES (4"). NO CELL CORE PVC
- STACK TEST REQUIRED ON ABOVE GROUND WASTE AND VENT PIPING
- 75 LB AIR TEST OR WATER PRESSURE REQUIRED ON WATER PIPING AT TIME OF ROUGH INSPECTION
- ALL NEW PLUMBING MUST MEET ILLINOIS PLUMBING CODE AND VILLAGE OF LONG GROVE ORDINANCE
- WATER SERVICE FROM MAIN TO BUILDING TO BE INSTALLED BY A LICENSED PLUMBER
- FULL SIZE RISER CHAMBERS FOR THE DOMESTIC WATER DISTRIBUTION SYSTEM TO BE INSTALLED AND SHALL BE AT LEAST 24" IN LENGTH AND THE SAME AS RISERS
- PLUMBING CONTRACTOR SHALL OBTAIN ANY INSPECTIONS, PERMITS REQUIRED DURING THIS CONTRACT.
- PROVIDE FLOOR DRAIN ADJACENT TO WATER HEATER
- ALL FIXTURES TO HAVE 12" AIR CHAMBERS TYP
- ALL FIXTURES TO HAVE SHUT OFF VALVES
- ALL LAVS TO HAVE 1 1/2" AIR GAP, SINKS TO HAVE 2 1/2" AIR GAP, TUBS TO HAVE 3" AIR GAP, WATER CLOSETS TO HAVE ANTISIPHON - TYPE WATER CLOSET FLUSH TANK BALL COCK
- HOSE BIBS TO BE EQUIPPED WITH VACUUM BREAKER PROTECTION.
- FLOOR DRAINS TRAPS AND DRAINS, INSTALLED BELOW A CONCRETE FLOOR OR UNDERGROUND, SHALL BE NOT LESS THAN FOUR (4) INCHES IN DIAMETER.
- TRAP - A CONTINUOUS WAIST SHALL NOT BE USED ON KITCHEN SINK DRAIN LINES. TWO TRAPS ARE REQUIRED. (GARBAGE DISPOSAL, BASKET STRAINER).



SECOND FLOOR ELECTRIC PLAN

SCALE: 1/4"= 1'-0"

ELECTRIC KEY



ELECTRICAL CODE NOTES

- A RUN OF CONDUIT MAY NOT BE BENT MORE THAN FOUR TIMES (4) AND NOT MORE 360 DEGREES.
- MINIMUM #14 WIRE MUST BE USED IN ALL LIVING AREAS AND MIN. #12 WIRE MUST BE USED IN KITCHEN AREA
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- PROVIDE GFCI PROTECTION IN ALL RECEPTACLES IN DAMP OR WET LOCATIONS INCLUDING UNFINISHED BASEMENT PER NEC 406.8 AND 210
- ARC-FAULT PROTECTION - ALL CIRCUIT SUPPLYING 120-VOLT SINGLE PHASE, 15 AND 20 AMP OUTLETS WHICH INCLUDE LIGHTING OUTLET, SWITCH OUTLET AND RECEPTACLE OUTLET PER 2015 IRC



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FOR BID	
FOR CONST.	

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PROJECT: PROPOSED NEW RESIDENCE
7237 GREYWALL COURT (LOT 96)
LONG GROVE, IL 60047
CLIENT: GREYWALL COURT LLC
6870 ELLIS DRIVE
LONG GROVE, IL 60047

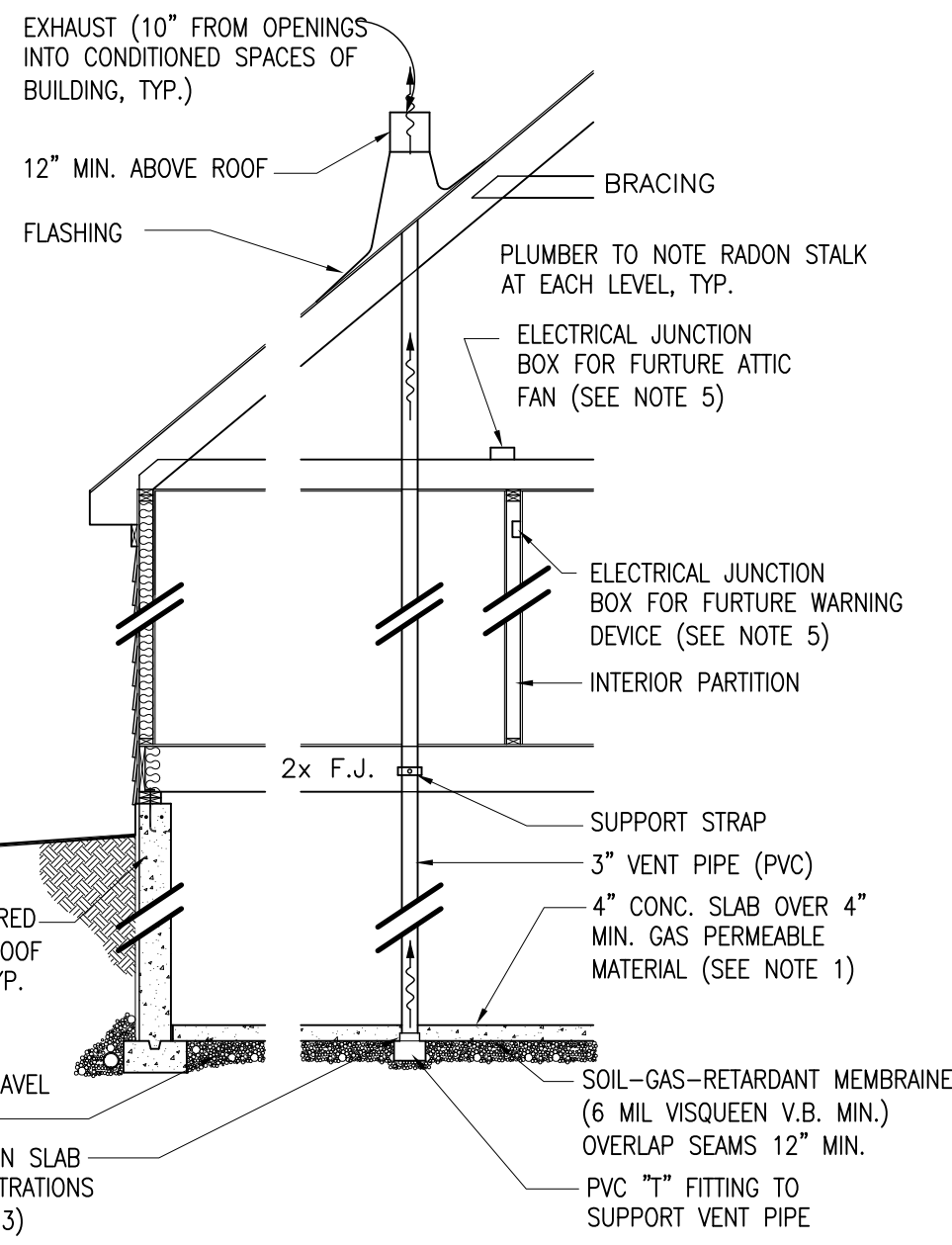
JOB NO. 21-011
DATE 06-10-21
FILE
PLOT SCALE: 1:1

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Date _____

SHEET TITLE
SECOND FLOOR
ELECTRICAL PLAN &
PLUMBING DIAGRAMS

SHEET NUMBER
A8



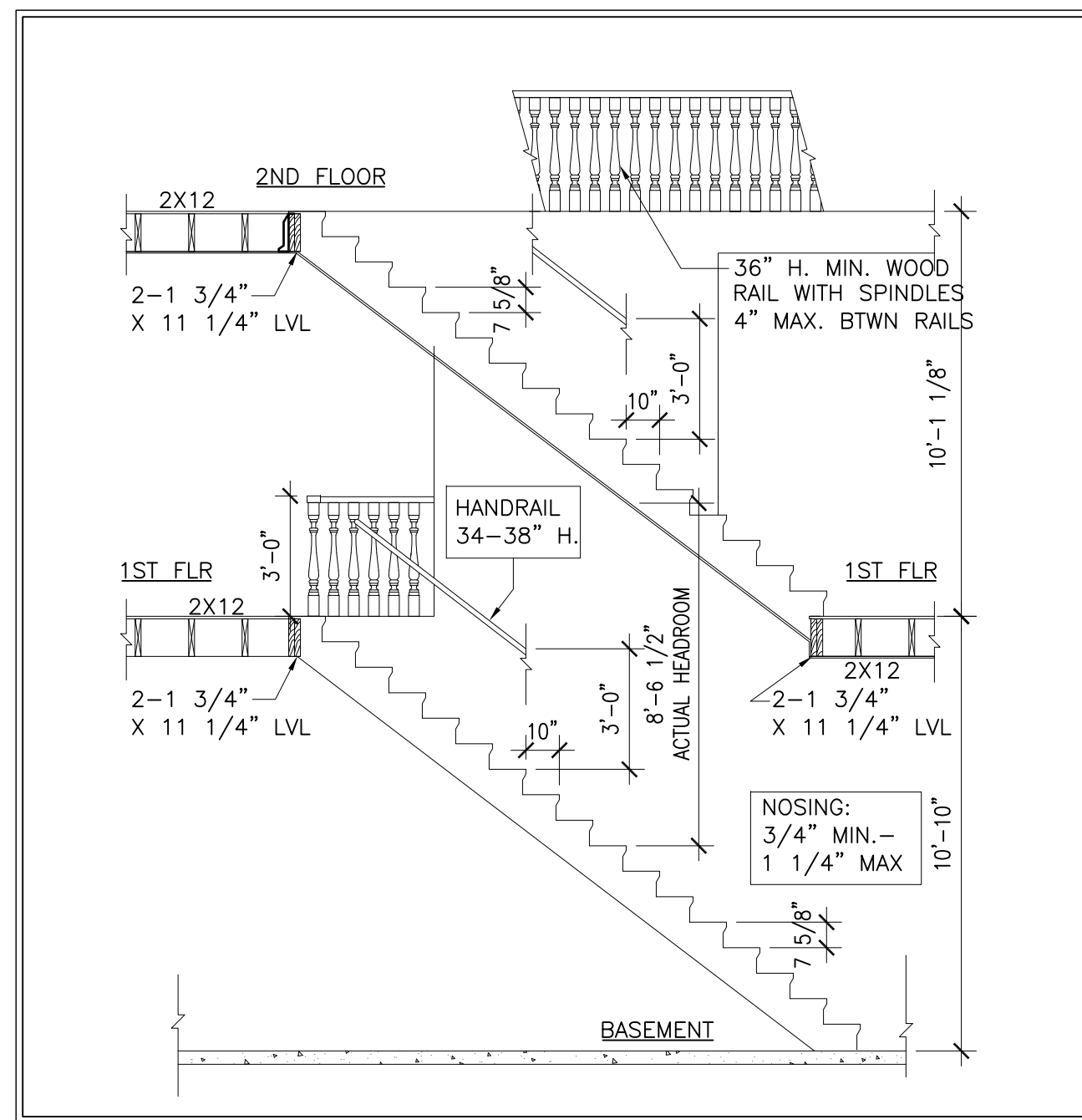
- ### Passive Sub-Slab Depression Control System
- NOTES:
- 1.) ALL CONC. SLABS THAT COME IN CONTACT WITH THE GROUND SHALL BE LAID OVER A GAS PERMIABLE MATERIAL MADE UP OF EITHER A MIN. 4" THICK UNIFORM LAYER OF CLEAN AGGREGATE, OR A 4" MIN. UNIFORM LAYER OF SAND, OVERLAIN BY A LAYER OF MANUFACTURED MATTING DESIGNED TO ALLOW THE LATERAL FLOW OF SOIL GASES.
 - 2.) ALL CONC. SLABS SHALL BE DESIGNED & CONSTRUCTED IN ACCORDANCE WITH LOCAL BUILDING CODES. ADDITIONAL REFS.: AMERICAN CONCRETE INSTITUTE PUBLICATIONS, "AC1302.1R" & "AC1332R", OR THE POST TENSIONING INSTITUTE MANUAL, "DESIGN & CONSTRUCTION OF POST-TENSIONED SLABS ON GROUND".
 - 3.) ALL OPENINGS, GAPS & JOINTS IN FLOOR & WALL ASSEMBLIES IN CONTACT WITH SOIL OR GAPS AROUND PIPES, TOILETS, BATHTUBS OR DRIANS PENETRATING THESE ASSEMBLIES SHALL BE FILLED OR CLOSED WITH MATERIALS THAT PROVIDE PERMINENT AIR-TIGHT SEAL. SEAL LARGE OPENINGS WITH NON-SHRINK MORTAR, GROUTS OR EXPANDING FOAM MATERIALS & SMALL GAPS WITH AN ELASTIC JOINT SEALANT, AS DEFINED IN ASTM C920-87.
 - 4.) VENT PIPES SHALL BE INSTALLED SO THAT ANY RAINWATER OR CONDENSATION DRAINS DOWNWARD INTO THE GROUND BENEATH THE SLAB OR SOIL-GAS-RETARDANT MEMBRANE. "AC1332R", OR THE POST TENSIONING INSTITUTE MANUAL.
 - 5.) CIRCUITS SHOULD BE A MIN. OF 15 AMPS, 115 VOLT.
 - 6.) RADON SYSTEM TO INCLUDE 5 FEET EXTENSIONS OF EACH SIDE OF "T" IN UNDERSLAB PER STATE OF ILLINOIS REQUIREMENTS.
 - 7.) MIN. 3' HEADROOM REQUIRED IN ATTIC WHERE PIPING EXTENDS THROUGH ROOF

Passive Sub-Slab Depression Control System

SECTION DETAIL

2

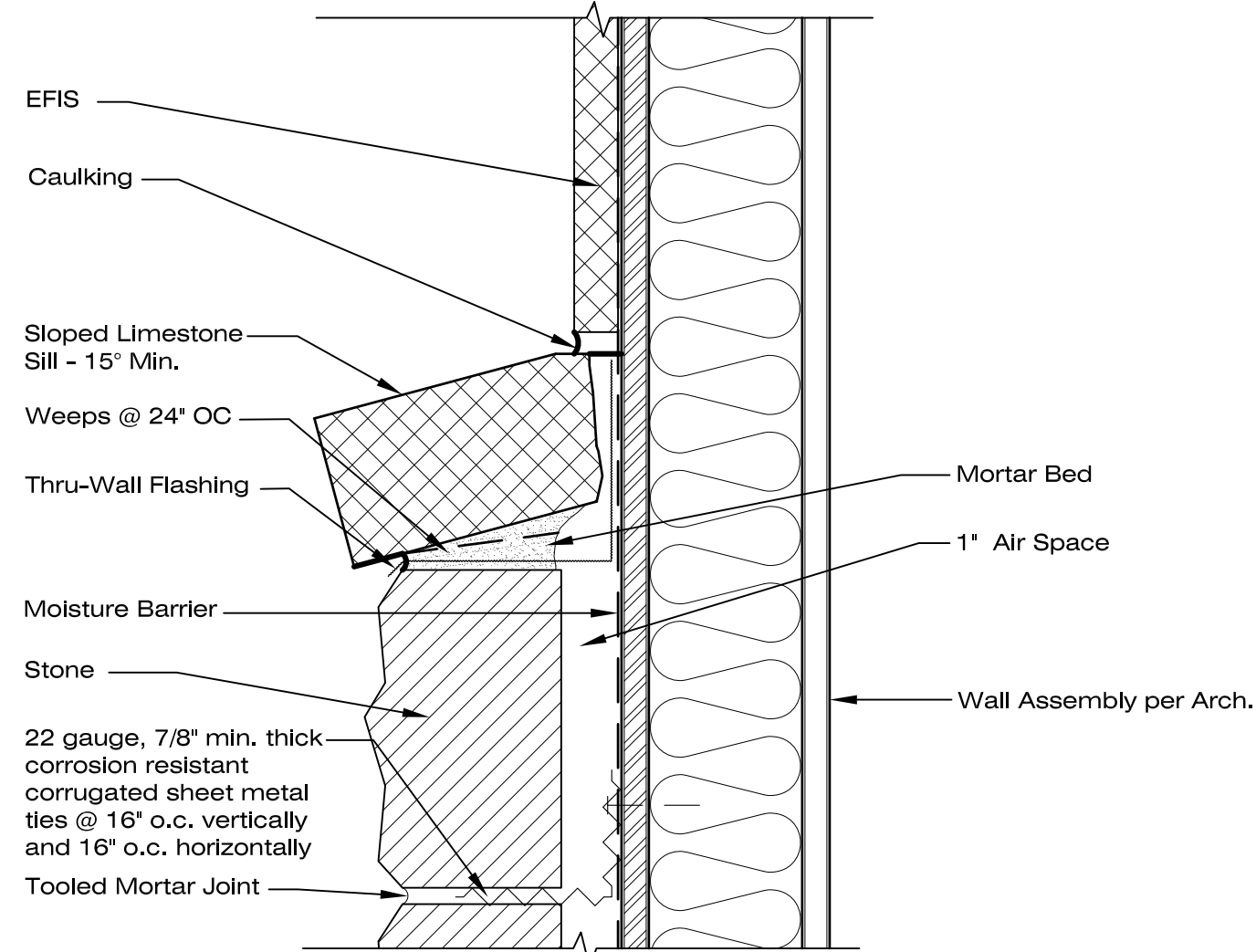
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STAIR SECTION

3

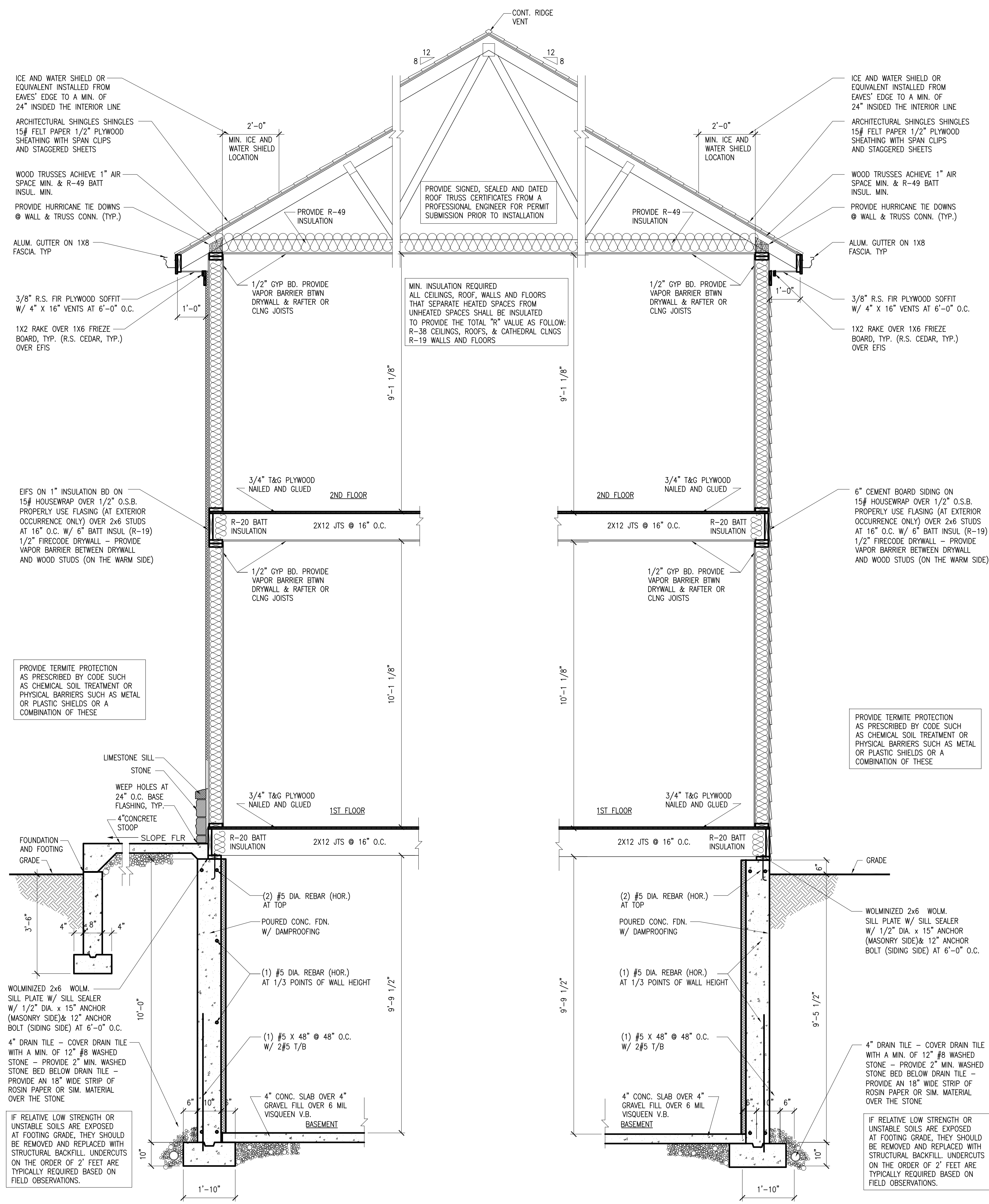
SCALE: 1/4" = 1'-0"



STONE DETAIL

4

SCALE: 3" = 1'-0"



SECTION THROUGH MAIN STRUCTURE

1

SCALE: 1/2" = 1'-0"

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FOR BID	
FOR CONST.	

REVISIONS	DATE
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PROJECT: PROPOSED NEW RESIDENCE
7237 GREYWALL COURT (LOT 96)
LONG GROVE, IL 60047

CLIENT: GREYWALL COURT LLC
6870 ELLIS DRIVE
LONG GROVE, IL 60047

JOB NO. 21-011
DATE 06-10-21
FILE
PLOT SCALE: 1/4"

OWNER APPROVAL

Signature _____
Date _____

SHEET TITLE
SECTIONS
AND SCHEDULES

SHEET NUMBER
A9

MECHANICAL GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH CITY OF ELGIN CODES AND ORDINANCES.
2. ALL EQUIPMENT SHALL BE U.L., ETL, AND/OR AGA LABELED AS REQUIRED.
3. ALL DUCTWORK SHALL BE PRIME GRADE GALVANIZED SHEET METAL PER SMACNA STANDARDS.
4. DUCTWORK SHALL BE SUPPORTED WITH APPROVED HANGERS AT INTERVALS NOT EXCEEDING TEN (10) FEET OR BY OTHER APPROVED DUCT SUPPORT SYSTEMS DESIGNED IN ACCORDANCE WITH THE BUILDING CODE. FLEXIBLE AND OTHER FACTORY-MADE DUCTS SHALL BE SUPPORTED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
5. ELECTRICAL CONTRACTOR SHALL WIRE ALL EQUIPMENT AND SHALL PROVIDE DISCONNECT SWITCHES, STARTERS AND/OR RELAYS AS REQUIRED.
6. SECTION G2445.5 (621.5) ROOM OR SPACE VOLUME, SHALL BE AMENDED TO READ AS FOLLOWS: THE AGGREGATE INPUT RATING OF ALL UNVENTED APPLIANCES INSTALLED IN A ROOM OR SPACE SHALL NOT EXCEED 10 BTU/H PER CUBIC FOOT (0.105KW/M³) VOLUME OF SUCH ROOM OR SPACE, WHERE THE ROOM OR SPACE IN WHICH THE EQUIPMENT IS INSTALLED IS DIRECTLY CONNECTED TO ANOTHER ROOM OR SPACE BY A DOORWAY, ARCHWAY OR OTHER OPENING OF COMPARABLE SIZE THAT CANNOT BE CLOSED, THE VOLUME OF SUCH ADJACENT ROOM OR SPACE SHALL BE PERMITTED TO BE INCLUDED IN THE CALCULATIONS.
7. FLEXIBLE AIR DUCTS, BOTH METALLIC AND NON-METALLIC, SHALL BE LISTED AND LABELLED TO INDICATE CONFORMANCE WITH THE REQUIREMENTS OF UL 181 FOR CLASS 0 OR CLASS 1 FLEXIBLE AIR DUCTS. FLEXIBLE AIR DUCTS SHALL NOT EXCEED TEN (10) FEET IN LENGTH.
8. RANGE HOODS SHALL DISCHARGE TO THE OUTDOORS THROUGH A SINGLE-WALL DUCT. THE DUCT SERVING THE HOOD SHALL HAVE A SMOOTH INTERIOR SURFACE, SHALL BE AIR TIGHT AND SHALL BE EQUIPPED WITH A BACKDRAFT DAMPER. DUCTS SERVING RANGE HOODS SHALL NOT TERMINATE IN AN ATTIC OR CRAWL SPACE OR AREAS INSIDE THE BUILDING. CODE SECTION R1503.1
9. EXHAUST HOOD SYSTEMS CAPABLE OF EXHAUSTING IN EXCESS OF 400 CUBIC FEET PER MINUTE (0.19 M³/S) SHALL BE PROVIDED WITH MAKEUP AIR AT A RATE APPROXIMATELY EQUAL TO THE EXHAUST AIR RATE. SUCH MAKEUP AIR SYSTEMS SHALL BE EQUIPPED WITH A MEANS OF CLOSURE AND SHALL BE AUTOMATICALLY CONTROLLED TO START AND OPERATE SIMULTANEOUSLY WITH THE EXHAUST SYSTEM. CODE SECTION M1503.4
10. RANGE HOODS SHALL DISCHARGE TO THE OUTDOORS THROUGH A SINGLE-WALL DUCT. THE DUCT SERVING THE HOOD SHALL HAVE A SMOOTH INTERIOR SURFACE, SHALL BE AIR TIGHT AND SHALL BE EQUIPPED WITH A BACKDRAFT DAMPER. DUCTS SERVING RANGE HOODS SHALL NOT TERMINATE IN AN ATTIC OR CRAWL SPACE OR AREAS INSIDE THE BUILDING. CODE SECTION R1503.1
11. HEATING AND COOLING EQUIPMENT AND APPLIANCES SHALL BE SIZED IN ACCORDANCE WITH ACCA MANUAL S BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE WITH ACCA MANUAL J OR OTHER APPROVED HEATING AND COOLING CALCULATION METHODOLOGIES. HEATING AND COOLING LOADS (ACCA MANUAL S, J, AND D) SHALL BE SUBMITTED FOR REVIEW
12. ALL ROOMS CONTAINING BATHTUBS OR SHOWERS MUST BE MECHANICALLY VENTED PER AMENDMENT M1507.2
13. ALL BATHROOM EXHAUST TO BE VENTED TO EXTERIOR PER IRC R303.3 AS AMENDED
14. CLOTHES DRYER EXHAUST SHALL CONVEY MOISTURE AND PRODUCTS OF COMBUSTION TO THE OUTSIDE OF THE BUILDING AND CONFORM TO REQUIREMENTS OF SECTION M1502 OF THE 2015 INTERNATIONAL RESIDENTIAL CODE.
15. CLOTHES DRYER EXHAUST SHALL CONVEY MOISTURE AND PRODUCTS OF COMBUSTION TO THE OUTSIDE OF THE BUILDING AND CONFORM TO REQUIREMENTS OF SECTION M1502 OF THE 2015 INTERNATIONAL RESIDENTIAL CODE WITH ELGIN AMENDMENTS.
16. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF CHAPTER 12 THRU 22 AND CHAPTER 24 OF THE 2015 EDITION OF THE INTERNATIONAL RESIDENTIAL CODE WITH ELGIN AMENDMENTS.

THESE DRAWINGS, INCLUDING ALL DESIGN DETAILS, SPECIFICATIONS AND INFORMATION, ARE THE SOLE PROPERTY AND COPYRIGHT OF AGAMA DESIGNS AND ARE FOR USE ON THIS SPECIFIC PROJECT AND SHALL NOT BE USED ON ANY OTHER WORK WITHOUT THE AGREEMENT AND WRITTEN PERMISSION OF AGAMA DESIGNS.

ISSUED	DATE
FOR APPROVAL	
FOR PERMIT	
FOR BID	
FOR CONST.	

REVISIONS	DATE
▲	
▲	
▲	

PROJECT: **PROPOSED NEW RESIDENCE**
7237 GREYWALL COURT (LOT 96)
LONG GROVE, IL 60047

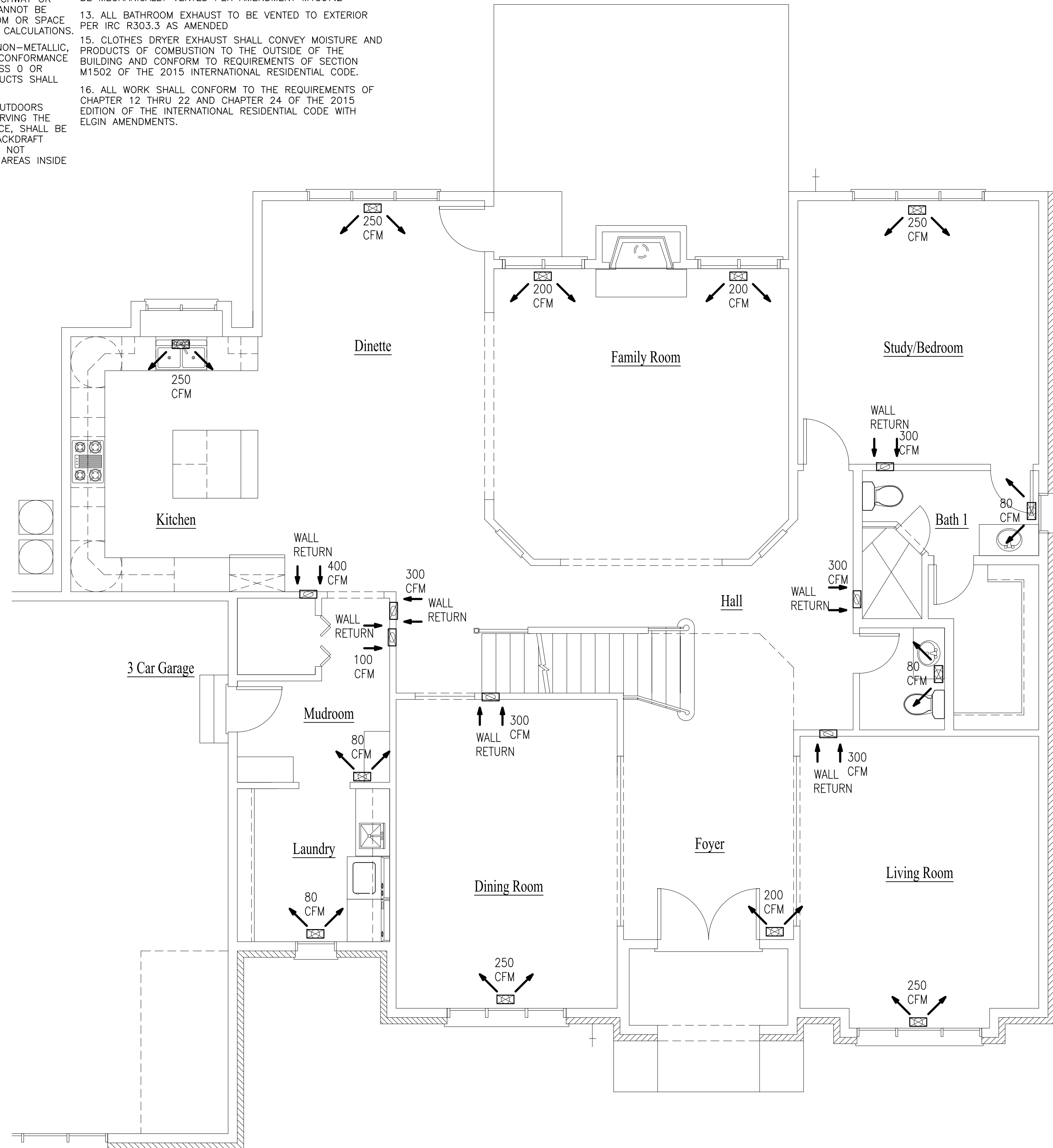
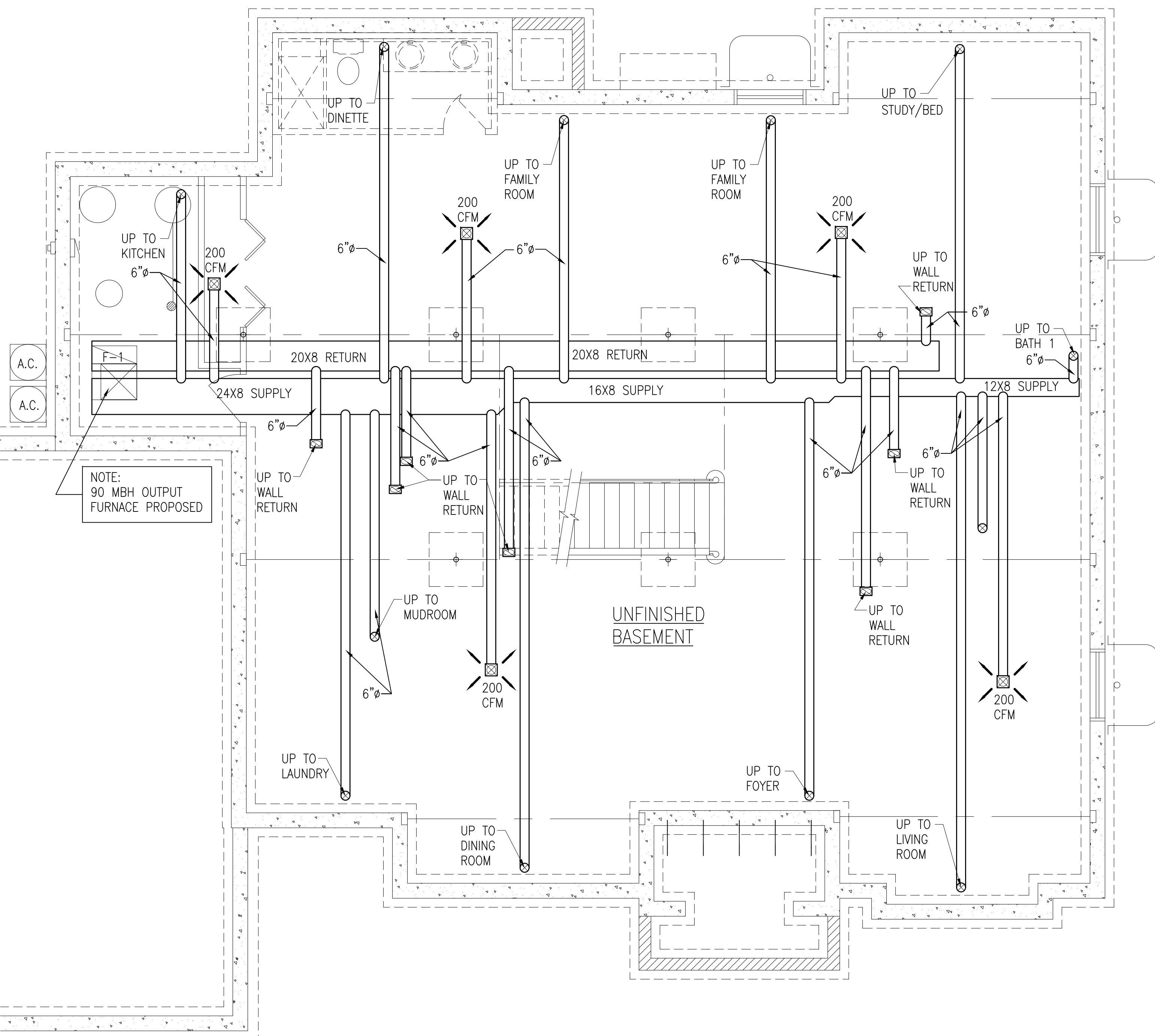
CLIENT: GREYWALL COURT LLC
6870 ELLIS DRIVE
LONG GROVE, IL 60047

JOB NO. 21-011
DATE 06-10-21
FILE
PLOT SCALE: 1:1
OWNER APPROVAL

Signature _____
Date _____

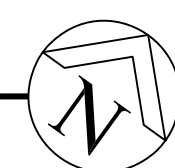
SHEET TITLE
**BASEMENT & FIRST FLOOR
MECHANICAL & SCHEDULES**

SHEET NUMBER
M1



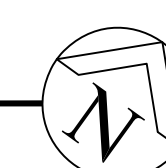
BASEMENT MECHANICAL PLAN

SCALE: 1/4" = 1'-0"



FIRST FLOOR MECHANICAL PLAN

SCALE: 1/4" = 1'-0"



MECHANICAL GENERAL NOTES

- ALL WORK SHALL BE IN ACCORDANCE WITH CITY OF ELGIN CODES AND ORDINANCES
- ALL EQUIPMENT SHALL BE U.L., ETL, AND/OR AGA LABELED AS REQUIRED.
- ALL DUCTWORK SHALL BE PRIME GRADE GALVANIZED SHEET METAL PER SMACNA STANDARDS.
- DUCTWORK SHALL BE SUPPORTED WITH APPROVED HANGERS AT INTERVALS NOT EXCEEDING TEN (10) FEET OR BY OTHER APPROVED DUCT SUPPORT SYSTEMS DESIGNED IN ACCORDANCE WITH THE BUILDING CODE. FLEXIBLE AND OTHER FACTORY-MADE DUCTS SHALL BE SUPPORTED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- ELECTRICAL CONTRACTOR SHALL WIRE ALL EQUIPMENT AND SHALL PROVIDE DISCONNECT SWITCHES, STARTERS AND/OR RELAYS AS REQUIRED.
- SECTION G2445.5 (621.5) ROOM OR SPACE VOLUME, SHALL BE AMENDED TO READ AS FOLLOWS:
THE AGGREGATE INPUT RATING OF ALL UNVENTED APPLIANCES INSTALLED IN A ROOM OR SPACE SHALL NOT EXCEED 10 BTU/H PER CUBIC FOOT (0.105KW/M³) VOLUME OF SUCH ROOM OR SPACE. WHERE THE ROOM OR SPACE IN WHICH THE EQUIPMENT IS INSTALLED IS DIRECTLY CONNECTED TO ANOTHER ROOM OR SPACE BY A DOORWAY, ARCHWAY OR OTHER OPENING OF COMPARABLE SIZE THAT CANNOT BE CLOSED, THE VOLUME OF SUCH ADJACENT ROOM OR SPACE SHALL BE PERMITTED TO BE INCLUDED IN THE CALCULATIONS.
- FLEXIBLE AIR DUCTS, BOTH METALLIC AND NON-METALLIC, SHALL BE LISTED AND LABELLED TO INDICATE CONFORMANCE WITH THE REQUIREMENTS OF UL 181 FOR CLASS 0 OR CLASS 1 FLEXIBLE AIR DUCTS. FLEXIBLE AIR DUCTS SHALL NOT EXCEED TEN (10) FEET IN LENGTH.
- RANGE HOODS SHALL DISCHARGE TO THE OUTDOORS THROUGH A SINGLE-WALL DUCT. THE DUCT SERVING THE HOOD SHALL HAVE A SMOOTH INTERIOR SURFACE, SHALL BE AIR TIGHT AND SHALL BE EQUIPPED WITH A BACKDRAFT DAMPER. DUCTS SERVING RANGE HOODS SHALL NOT TERMINATE IN AN ATTIC OR CRAWL SPACE OR AREAS INSIDE THE BUILDING. CODE SECTION R1503.1
- EXHAUST HOOD SYSTEMS CAPABLE OF EXHAUSTING IN EXCESS OF 400 CUBIC FEET PER MINUTE (0.19 M³/S) SHALL BE PROVIDED WITH MAKEUP AIR AT A RATE APPROXIMATELY EQUAL TO THE EXHAUST AIR RATE. SUCH MAKEUP AIR SYSTEMS SHALL BE EQUIPPED WITH A MEANS OF CLOSURE AND SHALL BE AUTOMATICALLY CONTROLLED TO START AND OPERATE SIMULTANEOUSLY WITH THE EXHAUST SYSTEM. CODE SECTION M1503.4
- RANGE HOODS SHALL DISCHARGE TO THE OUTDOORS THROUGH A SINGLE-WALL DUCT. THE DUCT SERVING THE HOOD SHALL HAVE A SMOOTH INTERIOR SURFACE, SHALL BE AIR TIGHT AND SHALL BE EQUIPPED WITH A BACKDRAFT DAMPER. DUCTS SERVING RANGE HOODS SHALL NOT TERMINATE IN AN ATTIC OR CRAWL SPACE OR AREAS INSIDE THE BUILDING. CODE SECTION R1503.1
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- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF CHAPTER 12 THRU 22 AND CHAPTER 24 OF THE 2015 EDITION OF THE INTERNATIONAL RESIDENTIAL CODE WITH ELGIN AMENDMENTS.

MECHANICAL VENTILATION SYSTEM FAN EFFICACY			
FAN LOCATION	MIN. AIR FLOW RATE (CFM)	MIN. EFFICACY (CFM / WATT)	MAX. AIR FLOW RATE (CFM)
RANGE HOOD	ANY	2.8 CFM/WATT	ANY
IN-LINE FAN	ANY	2.8 CFM/WATT	ANY
BATHROOM, UTILITY ROOM	10 CFM	2.8 CFM/WATT	LESS THAN 90 CFM
BATHROOM, UTILITY ROOM	90 CFM	2.8 CFM/WATT	ANY

FURNACE SCHEDULE (DX COOL, GAS HEAT - FURNACE TO BE 92% EFFICIENCY)																
MARK	MFR. MODEL/TYPE	QTY.	HEATING DATA				ELECTRICAL DATA				COOLING COIL DATA		VENT CONN. SIZE	GAS CONN. SIZE	DRAIN CONN. SIZE	NOTES
			OUTPUT (MBH)	CFM @ 5" H ₂ O	AMP	HZ	VOLT	PH	CFM TOTAL	CFM SENSIBLE	TEMP. DIFF.	BTU/H				
F-1	AMERICAN STANDARD AS-AUH2B0100A9V3VA	2	100	1600	11.5	60	115	1	1600	39.0	30.5	2"	1/2"	3/4"		NOTE 1, 2, 3, & 4

FURNACE NOTES:

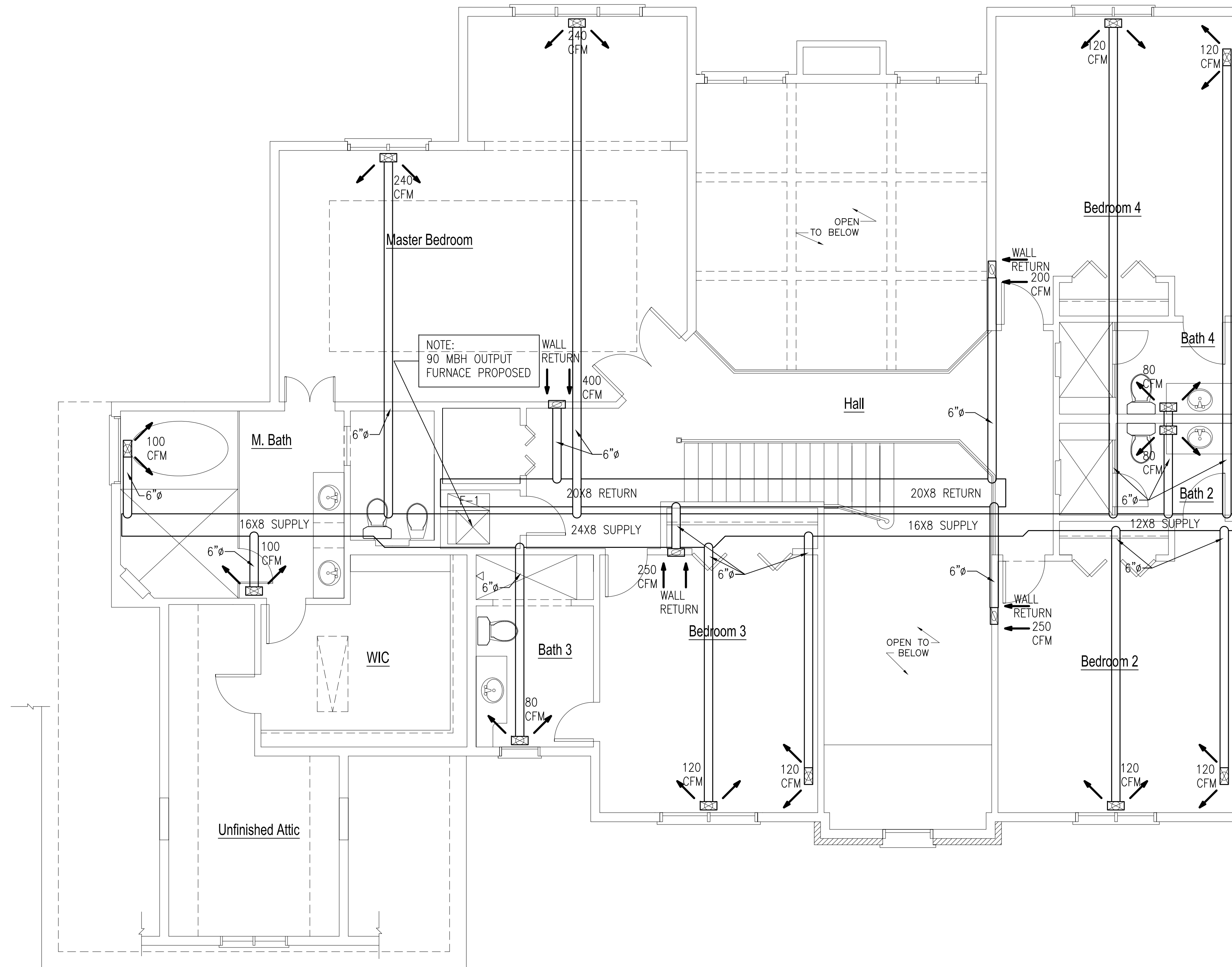
- PROVIDE COOLING COIL
- ALTERNATE MECHANICAL LAYOUT - PROVIDE 2 FURNACES OF 60 MBH AND 40 MBH
- PROVIDE EXHAUST THRU ROOF W / 2" PVC - PROVIDE CONCENTRIC VENT TERMINATION
- PROVIDE ELECTRIC DUCT HEATER TO TEMPER AIR INTAKE FROM -10 TO 55 DEGREES
- PROVIDE BAROMETRIC EXHAUST TO BALANCE INTAKE

AIR COOLED CONDENSING UNIT SCHEDULE																
MARK	MFR. MODEL/TYPE	QTY.	NOM. TON	RATING SEER	SUCT. TEMP.	AMB. TEMP.	QTY. OF COMP.	COMP. SIZE EA.	STEPS UNLOAD	ELECTRICAL DATA				PIPE CONN. SIZES		NOTES
										AMP	HZ	VOLT	PH	SUCTION	LIQUID	
AC-1	AMERICAN STANDARD AS-4A7A304B	2	4	13	-	-	1	-	-	30	19.1	197/253	1	7/8	3/8	NOTE 1

AIR COOLED CONDENSING UNIT NOTES:

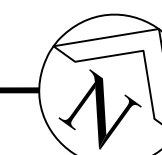
- MOUNT AC-1 MOUNT ON METAL BRACKETS ATTACHED TO HOUSE

EQUIVALENT HVAC DUCT SIZES BY CFM		
CFM (CUBIC FEET PER MIN)	EQUIVALENT RECTANGULAR SIZES	EQUIVALENT ROUND DUCT SIZES
100	3X4	4
200	3X7, 4X5	5
300	4X7, 5X6	6
400	4X9, 5X7, 6X6	7
500	6X7	8
750	5X12, 6X10, 7X8	9
1000	7X10, 8X9	10
1250	8X10, 9X9	10
1500	8X12, 10X10	12
1750	8X14, 9X12, 10X11	12
2000	8X15, 10X12	12
2500	10X14, 12X12	14
3000	12X14	14
3500	12X15	15
4000	10X22, 14X15	16
4500	12X19, 14X16	17
5000	10X25, 12X20, 15X16	17
6000	14X20, 15X18	19
7000	12X26, 16X20	20
8000	12X30, 14X25	21
9000	12X34, 15X25	22
10000	12X36, 16X25, 20X20	23
12500	12X45, 16X30, 20X24	24



SECOND FLOOR MECHANICAL PLAN

SCALE: 1/4" = 1'-0"



AD
AGAMA DESIGNS
 architecture
 129 Commercial Drive Suite 8
 Yorkville, Illinois 60560
 Phone: 630-381-9019
 E-mail: alberto@agamadesigns.com

THESE DRAWINGS, INCLUDING ALL DETAILS, SPECIFICATIONS AND INFORMATION, ARE THE SOLE PROPERTY AND COPYRIGHT OF AGAMA DESIGNS AND ARE FOR USE ON THIS SPECIFIC PROJECT AND SHALL NOT BE USED ON ANY OTHER WORK WITHOUT THE AGREEMENT AND WRITTEN PERMISSION OF AGAMA DESIGNS.

ISSUED DATE
 FOR APPROVAL
 FOR PERMIT
 FOR BID
 FOR CONST.

REVISIONS DATE
 1
 2
 3
 4

PROJECT: PROPOSED NEW RESIDENCE
 7237 GREYWALL COURT (LOT 96)
 LONG GROVE, IL 60047
 CLIENT: GREYWALL COURT LLC
 6870 ELLIS DRIVE
 LONG GROVE, IL 60047

JOB NO. 21-011
 DATE 06-10-21
 FILE
 PLOT SCALE: 1/4"
 OWNER APPROVAL

Signature _____
 Date _____

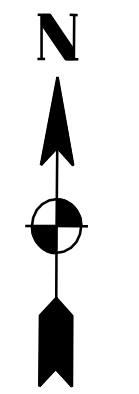
SHEET TITLE
 BASEMENT & FIRST FLOOR
 MECHANICAL & NOTES

SHEET NUMBER
M2

TOPOGRAPHIC SURVEY

LOT 96 IN PLANNED UNIT DEVELOPMENT RAVENNA EAST TWO, BEING A RESUBDIVISION OF PART OF GOVERNMENT LOTS 1 AND 2 1/4 IN THE SOUTHWEST 1/4 OF SECTION 6, TOWNSHIP 43 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, AND PART OF LOT 11 IN UNIT NO. 1 BRAEBURN-WEST, BEING A SUBDIVISION OF PART OF AFOREMENTIONED GOVERNMENT LOT 2, ACCORDING TO THE PLAT OF SAID PLANNED UNIT DEVELOPMENT RAVENNA EAST TWO RECORDED JULY 06, 2005 AS DOCUMENT 581241, IN LAKE COUNTY, ILLINOIS.

COMMONLY KNOWN AS: 7237 GREYWALL COURT, LONG GROVE, ILLINOIS 60060
P.L.N. #: 15-06-305-071



SCALE 1" = 10'
DATE: FEBRUARY 17, 2022
& MARCH 09, 2022 (TOPO - FIELD WORK)

LEGEND	EXISTING
WATER MAIN	— W —
WATER SERVICE	— W —
SANITARY SEWER	— S —
STORM SEWER	— S —
MANHOLE	⊙
CATCH BASIN	⊙
INLET	⊙
CONTOUR	XXX.XX
DIRECTION OF FLOW	→
SUMMIT	↔
TOP OF CURB ELEVATION	C XXX.XX
GUTTER FLOWLINE ELEVATION	G XXX.XX
PAVEMENT ELEVATION	P XXX.XX
TOP OF FOUNDATION ELEVATION	TF XXX.XX
FINISHED FIRST FLOOR ELEVATION	FF XXX.XX
SURFACE ELEVATION	XXX.XX
TOP OF WALK ELEVATION	W XXX.XX
TOP OF WALL ELEVATION	TW XXX.XX
TREE	⊙ 10"
EVERGREEN TREE	⊙ 15"
FENCE (Chain Link)	— X —
FENCE (Wood)	— □ —
ELECTRIC OVERHEAD LINE	— OH —
ELECTRIC	⊙
TELEPHONE	⊙
DITCH	→
WATER SERVICE B-BOX	⊙
FIRE HYDRANT	⊙
POWER POLE	⊙
DOWNSPOUT	⊙

NOTE: PROPERTY LINES SHOWN HEREON ARE BASED ON "PLAT OF SURVEY" DONE BY: TFW SURVEYING & MAPPING, INC. 888 EAST BELVIDERE ROAD, SUITE #409 GRAYSLAKE, ILLINOIS 60030
DATE: APRIL 23, 2019
TEL: (847) 548-6600 FAX: (847) 548-6699

REF. BENCHMARK SET BY LCDOT:
CHISELED SQUARE IN WEST SIDE OF CONC. GATE POST BASE. LOCATION: +/- 0.5 MILE WEST ON NORTH SIDE OF INDIAN CREEK ROAD FROM INTERSECTION OF INDIAN CREEK RD. AND DIAMOND LAKE RD.
ELEVATION = 723.54 (NGVD 29 DATUM)
ELEV. = 723.54(NGVD 29) - 0.25 = 723.29(INVD 88) (WAS USED)

SITE BENCHMARK
RIM OF EXISTING SANITARY MANHOLE LOCATED 35.0' +/- SE-Y FROM SE CORNER OF SUBJECT PROPERTY
ELEVATION = 721.55 (INVD 1988 DATUM)

REGISTERED PROFESSIONAL ENGINEER NO. 062-40870

PREPARED FOR:
NEW SINGLE FAMILY RESIDENCE AT 7237 GREYWALL COURT LONG GROVE, ILLINOIS 60060
PHONE (847) 942-2943 (Raza Khan - Owner)

DOUBLE M CIVIL ENGINEERING
PHONE : 847-573-9758 ; E-mail: morekedoub@emcivil.com
14048 W. PETRONELLA DRIVE SUITE # 102 LIBERTYVILLE, ILLINOIS 60048
ENGINEERS PLANNERS SURVEYORS

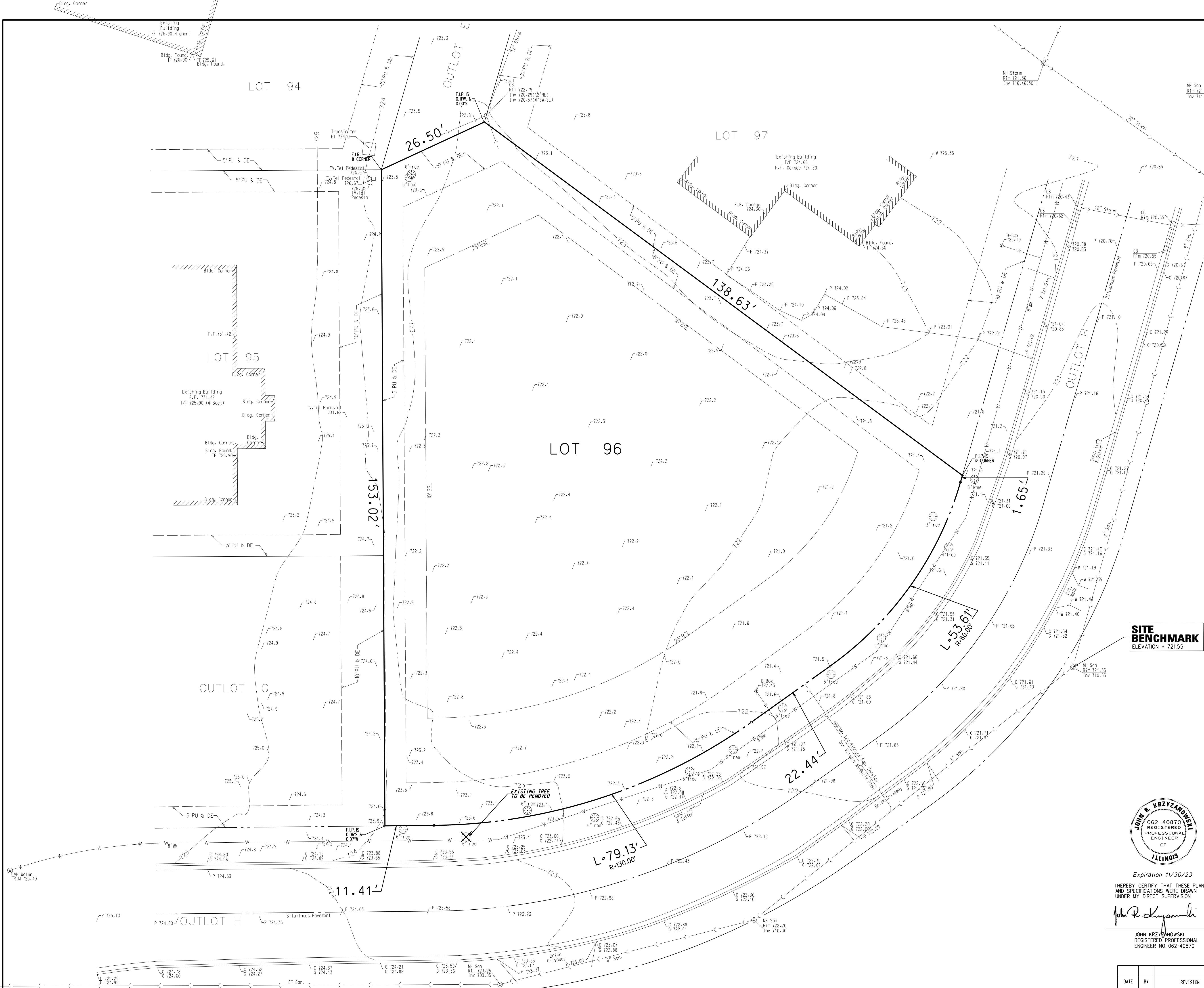
DATE	05-06-2022	SCALE	1" = 10'	PROJECT NO.	75122	DRAWING NUMBER	
DESIGNED	JK	APPROVED	JRK	FILE NO.	1-1-1		
							1 OF 4

SITE BENCHMARK
ELEVATION = 721.55



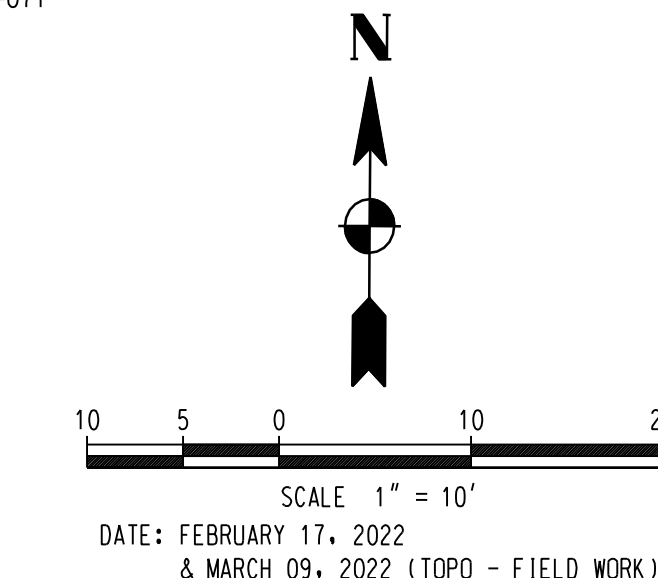
Expiration 11/30/23
I HEREBY CERTIFY THAT THESE PLANS AND SPECIFICATIONS WERE DRAWN UNDER MY DIRECT SUPERVISION.
John P. Krzyzanowski

JOHN KRZYZANOWSKI
REGISTERED PROFESSIONAL ENGINEER NO. 062-40870



PROPOSED SITE PLAN

LOT 96 IN PLANNED UNIT DEVELOPMENT RAVENNA EAST TWO, BEING A RESUBDIVISION OF PART OF GOVERNMENT LOTS 1 AND 2 IN THE SOUTHWEST 1/4 OF SECTION 6, TOWNSHIP 43 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, AND PART OF LOT 11 IN UNIT NO. 1 BRAEBURN-WEST, BEING A SUBDIVISION OF PART OF AFOREMENTIONED GOVERNMENT LOT 2, ACCORDING TO THE PLAT OF SAID PLANNED UNIT DEVELOPMENT RAVENNA EAST TWO RECORDED JULY 06, 2005 AS DOCUMENT 581241, IN LAKE COUNTY, ILLINOIS.
COMMONLY KNOWN AS: 7237 GREYWALL COURT, LONG GROVE, ILLINOIS 60060
P.L.N. #: 15-06-305-071



LEGEND	EXISTING	PROPOSED
SIDEWALK (CONCRETE PAVEMENT)		
BRICK PAVEMENT PATIO, WALK, OR DRIVEWAY		
BITUMINOUS PAVEMENT		
GRAVEL SURFACE		
WATER		
SANITARY SEWER		
STORM SEWER		
CONTOUR		
DIRECTION OF FLOW		
SUMMIT		
TOP OF CURB ELEVATION	C XXX.XX	
TOP OF DEPRESSED CURB ELEVATION	TD XXX.XX	
PAVEMENT ELEVATION	P XXX.XX	
TOP OF FOUNDATION ELEVATION	TF XXX.XX	
FINISHED 1ST FLOOR ELEVATION	F.F. XXX.XX	
TOP OF WALK ELEVATION	W XXX.XX	
SURFACE ELEVATION @ BACK OF CURB		
DITCH/SWALE FLOW LINE ELEVATION		
SHOULDER ELEVATION		
SURFACE ELEVATION		
TREE / EVERGREEN TREE		
ELECTRIC OVERHEAD LINE		
ELECTRIC		
TELEPHONE		
POWER POLE		
WATER SERVICE B-BOX		
FIRE HYDRANT		
MANHOLE		
CATCH BASIN		
INLET		
INLET PROTECTION		
DOWNSPOUT DIRECTION		
FENCES: WOOD/CHAIN LINK		

LOT AREA		14,635.1 S.F.
EXISTING IMPERVIOUS	PROPOSED IMPERVIOUS	
HOUSE & GARAGE	3,201.6 S.F.	
DRIVEWAY	1,193.0 S.F.	
FRONT ENTRANCE & WALK	313.7 S.F.	
STOOP @ GARAGE	15.3 S.F.	
PATIO @ BACK	232.5 S.F.	
WINDOW WELLS	50.6 S.F.	
TOTAL IMPERVIOUS	0 S.F.	TOTAL IMPERVIOUS 5,006.7 S.F.

SITE BENCHMARK
ELEVATION = 721.55

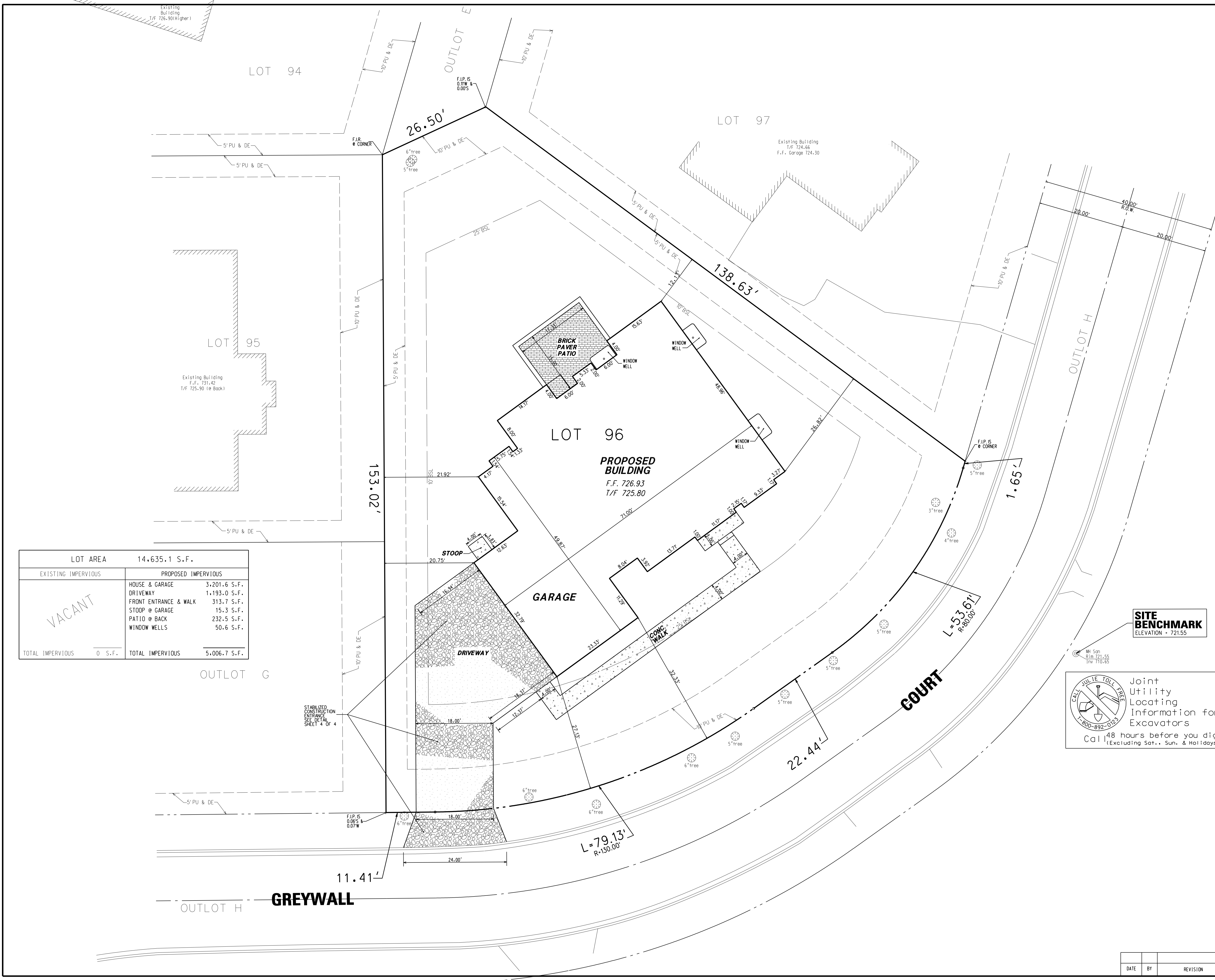
Joint Utility Locating Information for Excavators
Call 48 hours before you dig (Excluding Sat., Sun. & Holidays)

NOTE: PROPERTY LINES SHOWN HEREON ARE BASED ON "PLAT OF SURVEY" DONE BY: TFW SURVEYING & MAPPING, INC. 888 EAST BELVIDERE ROAD, SUITE #409 GRAYSLAKE, ILLINOIS 60030
DATE: APRIL 23, 2019
TEL: (847) 548-6600 FAX: (847) 548-6699
REF. BENCHMARK SET BY LCDOT:
CHISELED SQUARE IN WEST SIDE OF CONC. GATE POST BASE. LOCATION: +/- 0.5 MILE WEST ON NORTH SIDE OF INDIAN CREEK ROAD FROM INTERSECTION OF INDIAN CREEK RD. AND DIAMOND LAKE RD.
ELEVATION = 723.54 (NGVD 29 DATUM)
ELEV. = 723.54(NGVD 29) - 0.25 = 723.29(INAVD 88) (WAS USED)
SITE BENCHMARK
RIM OF EXISTING SANITARY MANHOLE LOCATED 35.0' +/- SE-Y FROM SE CORNER OF SUBJECT PROPERTY
ELEVATION = 721.55 (NAVD 1988 DATUM)

REGISTERED PROFESSIONAL ENGINEER NO. 062-40870
PREPARED FOR:
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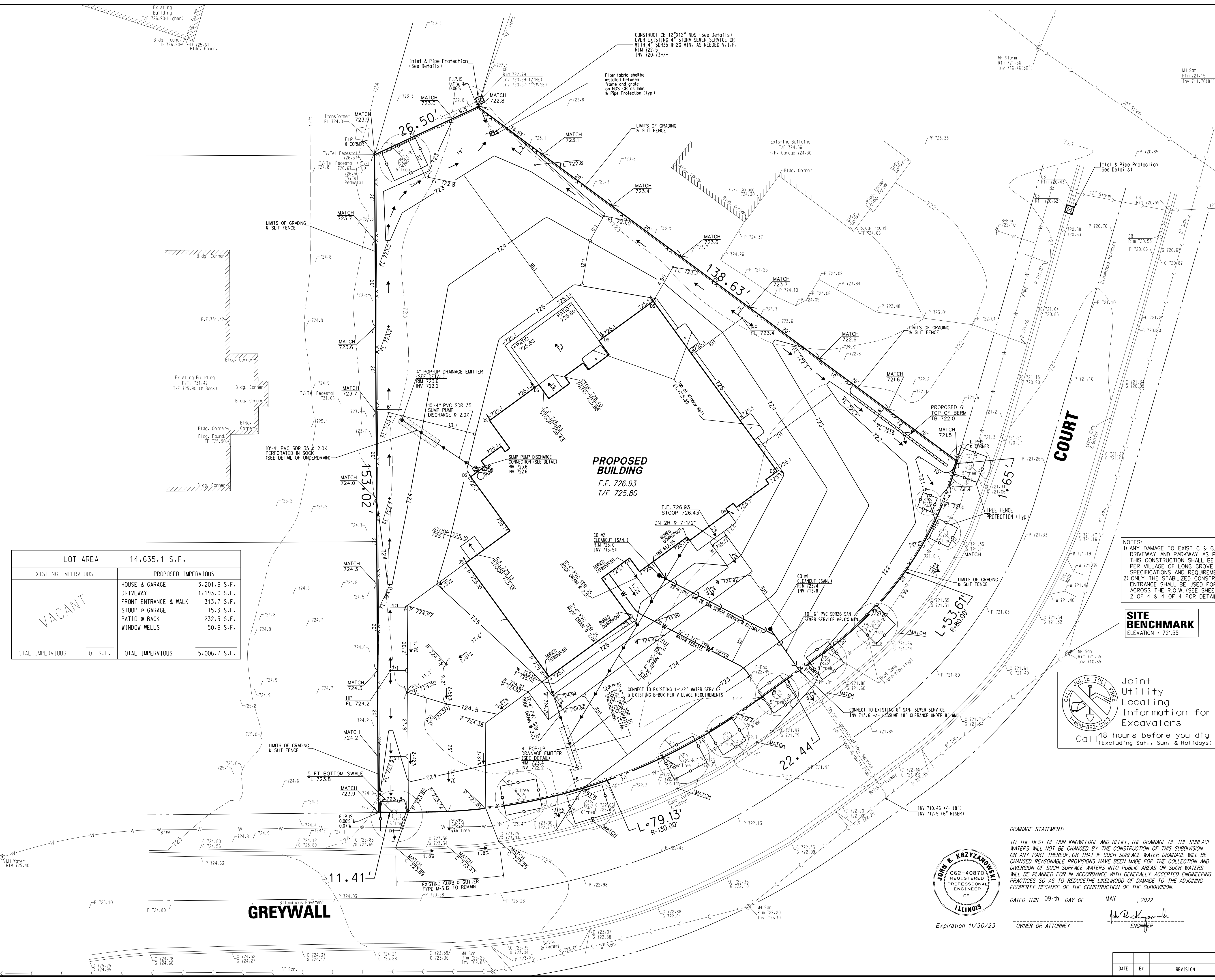
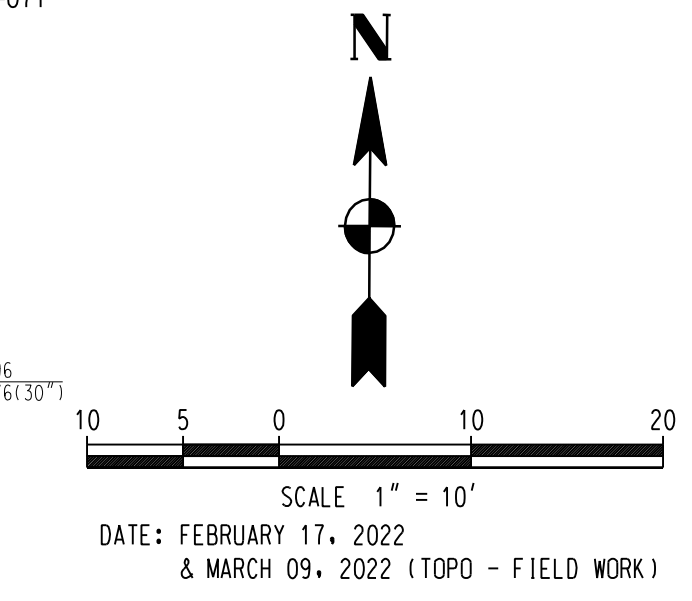
DATE	BY	REVISION	SCALE	PROJECT NO.	DRAWING NUMBER
05-06-2022	JK		1" = 10'	75122	2 OF 4



PROPOSED GRADING PLAN

LOT 96 IN PLANNED UNIT DEVELOPMENT RAVENNA EAST TWO, BEING A RESUBDIVISION OF PART OF GOVERNMENT LOTS 1 AND 2 1/4 IN THE SOUTHWEST 1/4 OF SECTION 6, TOWNSHIP 43 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, AND PART OF LOT 11 IN UNIT NO. 1 BRAEBURN-WEST, BEING A SUBDIVISION OF PART OF AFOREMENTIONED GOVERNMENT LOT 2, ACCORDING TO THE PLAT OF SAID PLANNED UNIT DEVELOPMENT RAVENNA EAST TWO RECORDED JULY 06, 2005 AS DOCUMENT 581241, IN LAKE COUNTY, ILLINOIS.

COMMONLY KNOWN AS: 7237 GREYWALL COURT, LONG GROVE, ILLINOIS 60060
P.I.N. #: 15-06-305-071



LOT AREA		14,635.1 S.F.
EXISTING IMPERVIOUS	PROPOSED IMPERVIOUS	
HOUSE & GARAGE	3,201.6 S.F.	
DRIVEWAY	1,193.0 S.F.	
FRONT ENTRANCE & WALK	313.7 S.F.	
STOOP @ GARAGE	15.3 S.F.	
PATIO @ BACK	232.5 S.F.	
WINDOW WELLS	50.6 S.F.	
TOTAL IMPERVIOUS	0 S.F.	TOTAL IMPERVIOUS 5,006.7 S.F.

LEGEND	EXISTING	PROPOSED
WATER	—W—	—W—
WATER SERVICE	—W—	—W—
SANITARY SEWER	—S—	—S—
STORM SEWER	—S—	—S—
MANHOLE	⊙	⊙
CATCH BASIN	⊙	⊙
CONTOUR	XXX.XX	XXX.XX
DIRECTION OF FLOW	→	→
SUMMIT	→	→
TOP OF CURB ELEVATION	C XXX.XX	C XXX.XX
TOP OF DEPRESSED CURB ELEVATION		TDC XXX.XX
OUTLET FLOWLINE ELEVATION	G XXX.XX	G XXX.XX
PAVEMENT ELEVATION	P XXX.XX	P XXX.XX
TOP OF FOUNDATION ELEVATION	TF XXX.XX	TF XXX.XX
FINISHED FIRST FLOOR ELEVATION	FF XXX.XX	FF XXX.XX
TOP OF WALK ELEVATION	W XXX.XX	W XXX.XX
SWALE FLOWLINE ELEVATION	XXX.XX	FL XXX.XX
SURFACE ELEVATION	XXX.XX	XXX.XX
TREE	⊙	⊙
EVERGREEN TREE	⊙	⊙
FENCE	(Chain Link) X	(Wood) X
SILT FENCE	—XX—	—XX—
TREE FENCE PROTECTION	—XX—	—XX—
ELECTRIC OVERHEAD LINE	—OH—	—OH—
ELECTRIC	⊙	⊙
WATER SERVICE B-BOX	⊙	⊙
FIRE HYDRANT	⊙	⊙
POWER POLE	⊙	⊙
DOWNSPOUT DIRECTION	DS ⊙	DS ⊙
INLET PROTECTION	⊙	⊙
OVERFLOW ROUTE	→	→

NOTES:
1) ANY DAMAGE TO EXIST. C & G, PAVEMENT, DRIVEWAY AND PARKWAY AS PART OF THIS CONSTRUCTION SHALL BE REPAIRED PER VILLAGE OF LONG GROVE SPECIFICATIONS AND REQUIREMENTS.
2) ONLY THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE USED FOR ACCESS ACROSS THE R.O.W. (SEE SHEETS 2 OF 4 & 4 OF 4 FOR DETAILS)

SITE BENCHMARK
ELEVATION = 721.55

Joint Utility Locating Information for Excavators
Call 48 hours before you dig (Excluding Sat., Sun. & Holidays)

NOTE: PROPERTY LINES SHOWN HEREON ARE BASED ON "PLAT OF SURVEY" DONE BY: TFW SURVEYING & MAPPING, INC. 888 EAST BELVIDERE ROAD, SUITE #409 GRAYSLAKE, ILLINOIS 60030
DATE: APRIL 23, 2019
TEL: (847) 548-6600 FAX: (847) 548-6699

REF. BENCHMARK SET BY LCDOT:
CHISELED SQUARE IN WEST SIDE OF CONC. GATE POST BASE. LOCATION: +/- 0.5 MILE WEST ON NORTH SIDE OF INDIAN CREEK ROAD FROM INTERSECTION OF INDIAN CREEK RD. AND DIAMOND LAKE RD.
ELEVATION = 723.54 (NGVD 29 DATUM)
ELEV. = 723.54(NGVD 29) - 0.25 = 723.29(NAVD 88) (WAS USED)

SITE BENCHMARK
RIM OF EXISTING SANITARY MANHOLE LOCATED 35.0'-/- SE-Y FROM SE CORNER OF SUBJECT PROPERTY
ELEVATION = 721.55 (NAVD 1988 DATUM)

REGISTERED PROFESSIONAL ENGINEER NO. 062-40870

PREPARED FOR:
NEW SINGLE FAMILY RESIDENCE AT 7237 GREYWALL COURT LONG GROVE, ILLINOIS 60060
LONG (847) 942-2943 (Raza Khan - Owner)

DOUBLE M CIVIL ENGINEERING
PHONE: 847-573-9758 | E-mail: morekedoub@emcivil.com
14048 W. PETRONELLA DRIVE SUITE # 102 LIBERTYVILLE, ILLINOIS 60048
ENGINEERS PLANNERS SURVEYORS

DRAINAGE STATEMENT:
TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THE DRAINAGE OF THE SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF THIS SUBDIVISION OR ANY PART THEREOF, OR THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISIONS HAVE BEEN MADE FOR THE COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREAS OR SUCH WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE SUBDIVISION.
DATED THIS 09th DAY OF MAY, 2022



OWNER OR ATTORNEY: _____
ENGINEER: *John A. Krzylandowski*

DATE	BY	REVISION	SCALE	PROJECT NO.	DRAWING NUMBER
05-06-2022	JK		1" = 10'	75122	3 OF 4









List of exterior material for new resident,
Please see sample attachments.

Natural stone- Found du lac.

Fiber cement board siding, soffit and fascia,
Color, Navajo beige.

Stucco, 404 Barn swallow.

Heavy Cedar shingle, natural color.

Regular concrete driveway.



413 MORNING MOON



412 BISON BEIGE



411 OAK FLATS



409 TOFFEE CRUNCH



408 PLANTATION BEIGE



407 CORNICO BEIGE



405 SURREY BEIGE



404 BARN SWALLOW



403 BAKED POTATO



400 TAVERN TAUPE



237 ROCK GREEN



236 ANTIQUE GREEN



233 CHIMAYO



232 SONOMA



221 HARVEST GOLD



69 TRUE GRAY





Save

Color > Exterior > Exterior House Color > Exterior Paint Color



Michelle Paul

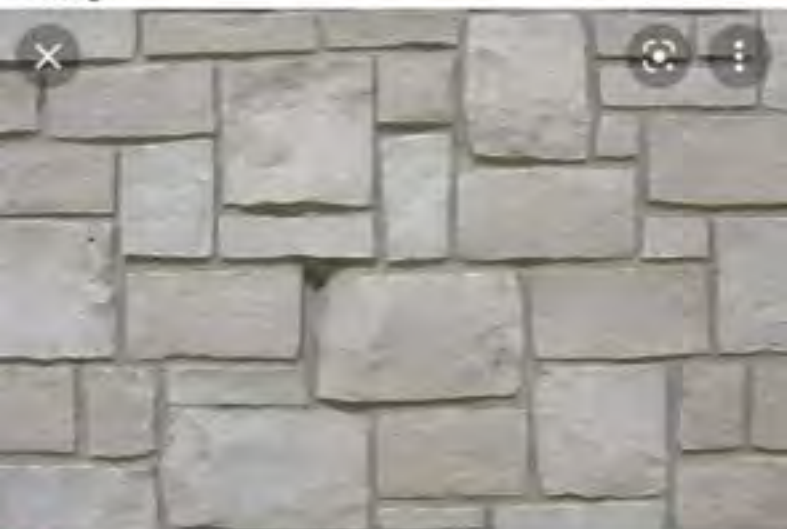
78 followers



Siding Colors For Houses

Hardie board color chart [More](#)





 Rademann Stone

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Veneer Stone: Fond du Lac Stone Ridge
Cobble - Rademann Stone and ...

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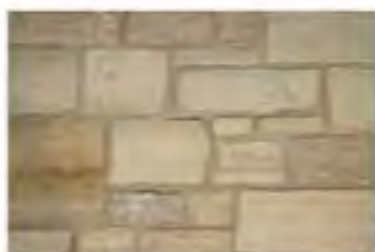
Related images



Colonial Fond du Lac Stone Ridge...
[illinibrick.com](#)

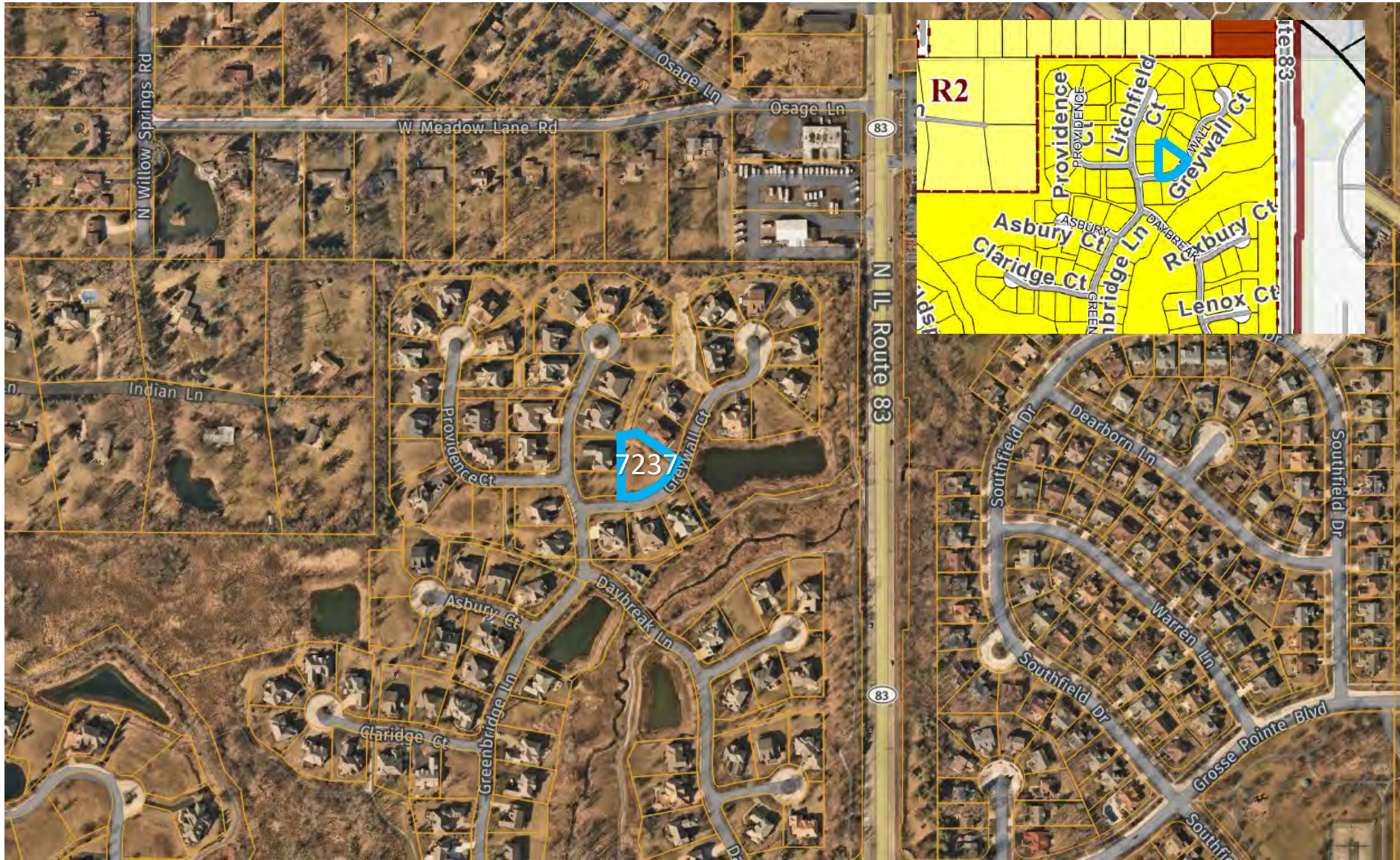


Northern Rustic Ledgestone - Illini...
[illinibrick.com](#)



Fond du Lac Stone Ridge - Illini B...
[illinibrick.com](#)





 Subject Property

Location Map: 7237 Greywall Court, Long Grove, IL



RESIDENTIAL REGULATIONS (Section 5-3-11):

The following are excerpts of applicable portions of the Village Sign Ordinance.

- (A) *Purpose.* The intent of this section is to ensure sufficient variety in detached single-family dwellings to prevent monotony, and to foster the quality and character of residential construction traditionally found in the Village. At the same time, these regulations are designed to provide freedom for homeowners to design detached single-family dwellings that meet their needs and choices and to encourage creativity.
- (B) *Mandatory Criteria.* The following criteria shall apply to all new detached single-family dwelling construction:
1. *Similarity Regulated.* No detached single-family dwelling may be similar to any other detached single-family dwelling along a street or cul-de-sac, or within 1,500 feet (as measured from lot line to lot line), whichever is more restrictive.
 2. *Window, Door, and Trim.* Each detached single-family dwelling shall have similar style and quality window, door, trim, and decorative moldings on all exterior building elevations of the detached single-family dwelling.
 3. *Building Materials.* Identical or substantially similar siding materials or veneers shall be used on all exterior sides of the detached single-family dwelling. This does not prohibit the use of veneers or changes of materials on a facade where, for example, materials might change at the second floor or at a windowsill height. Where a wing or projection of the building is offset, the wing or projection may use different materials to give it emphasis, provided the materials are applied to the entire wing or projection.
 4. *Roof Overhangs.* An important element of design is the shadow lines that are created by roofs and help articulate the building. Any detached single-family dwelling having a pitched roof shall have eaves that extend a sufficient distance to create shadow lines. A variety of overhangs is desired. The following standards shall apply:
 - (a) *Variety.* Within a subdivision or planned unit development, the detached single-family dwellings shall have a variety of different roof overhang profiles.
 - (b) *Extension.* The overhang of a detached single-family dwelling, not including gutters, shall extend at least eight inches beyond the plane of the wall.
 - (c) *Exception.* The minimum overhang shall not apply to any individual detached single-family dwelling built in a historical style where overhangs were not part of the style (Cape Cod, for example) or in a unique individual design. The architectural board shall review the architectural plans for such dwellings.
 5. *Garage Placement and Orientation.* Within a particular subdivision or planned unit development, no more than 25 percent of garages may be front loads located at the front of the detached single-family dwelling. The following are preferred alternatives to front load garages, which alternatives are illustrated on appendix 1 on file in the village:
 - (a) Side load garages.
 - (b) Side loading front garages. These are garages located in wings in front of the principal facade or entrance facade.
 - (c) Recessed front loading garages. Where the two-car garage is in a wing that is recessed 20 feet or more behind the front elevation, it shall not be considered a front-loaded garage.
 - (d) Rear garages. These are either freestanding or attached garages that are located to the rear and that have the view from the street screened by a wing of the building.

- (C) *Multiple Dwellings.* An owner who builds more than one detached single-family dwelling must utilize four or more of the following techniques to avoid monotony and ensure quality:
1. *Roof Heights.* Utilize dissimilar roof heights. One or a combination of the following shall be used to achieve the desired effect:
 - (a) Vary the number of stories on adjoining lots.
 - (b) Vary the roof pitches on otherwise similar detached single-family dwellings.
 - (c) Vary the roofline height on the individual detached single-family dwelling. The number of stories can be varied on the dwelling. Where the width of the dwelling is changed, the roof can be stepped down even though the stories remain similar. Wings should be of different heights based on different stories or widths.
 2. *Roof Orientation.* Vary roof orientation so that the gable ends are oriented in a different direction than an otherwise similar detached single-family dwelling.
 3. *Floor Plans.* Utilize different floor plans with distinctive shapes, such as wings or elements that sharply contrast with adjoining dwellings or significant (at least 20 percent) changes in width of the central dwelling. Repetitive use of a similar form and floor plans having similar masses on different models is not permitted. A wing must protrude from the front of the building a minimum of eight feet to be considered a wing.
 4. *Placement on Lots.* Vary the location of the detached single-family dwellings in relation to the required front and side yard setbacks.
 5. *Rotation or Flipping.* Rotate the floor plan by 90 degrees or utilize a 180-degree flip combined with major differences in the plane of the front elevation.
 6. *Lot Frontage and Size.* Utilize significant variation in the width of detached single-family dwellings which results in clearly different modules of windows and doors.
 7. *Architectural Style.* Utilize different architectural styles for similar floor plans, which employ all the elements of a given style and are applied consistently throughout the dwelling.
 8. *Architectural Details and Features.* Utilize different details for the chimney, entrance, garage design, dormers, porches, and building materials to significantly alter the appearance of a detached single-family dwelling to make it visually very different.
- (D) *Individual Review.* The owner shall submit a separate plan for each detached single-family dwelling to the Building Superintendent for individual review and approval prior to issuance of a building permit. Applications shall include photos of the facades of the buildings or architectural elevations of existing dwellings along the same street or cul-de-sac or within 1,500 feet of the lot line of the proposed lot, whichever is more restrictive. The Building Superintendent may, when he deems it necessary to ensure compliance with this section, refer any such application to the Architectural Board for review and comments.
- (E) *Appeals.*
1. If the Building Superintendent denies an application, the owner can appeal that decision to the Architectural Board within ten days of the denial by filing a written notice of appeal with the Village Clerk. The Architectural Board may affirm, modify, or reverse the decision of the Building Superintendent.
 2. The owner can appeal a decision of the Architectural Board to the Village Board within ten days of the denial by filing a written notice of appeal with the Village Clerk. The Village Board may affirm, modify, or reverse the decision of the Architectural Board.

3. Any appeal under this subsection (E) shall be reviewed in light of the criteria in subsections (B) and (C) of this section and the purposes in subsection (A) of this section.
- (F) *Responsibility.* It is the responsibility of the owner to establish to the satisfaction of the Village that the application fully complies with the provisions of this section.
 - (G) *Deviations.* for good cause shown, the Village Board may approve deviations from strict conformity with this section when the owner establishes to the satisfaction of the Village Board that any such deviations are reasonably necessary and are not contrary to the purpose and intent of this section.

CHAPTER 20
ARCHITECTURAL CONTROL

SECTION:

5-20-1: Prohibition, Criteria

5-20-1: **PROHIBITION, CRITERIA:** No building permits shall be issued for any new building or for remodeling or alteration of an existing building which if erected, remodeled or altered would produce one or more of the harmful effects set forth in section 2-3-1 of this code. In considering whether the erection, remodeling or alteration of a building, awning, sign, fence or other structure will produce one or more of the harmful effects set forth in section 2-3-1 of this code, the architectural board shall consider whether there exists one or more of the following:

- (A) Excessive similarity or dissimilarity in design in relation to any other structure existing or for which a permit has been issued within a distance of one thousand feet (1,000') of the proposed site or in design generally prevailing in the area in respect to one or more of the following features:
1. Apparently identical facade;
 2. Substantially identical size and arrangement of either doors, windows, porticoes or other openings or breaks in the facade facing the street, including a reverse arrangement thereof;
 3. Cubical contents;
 4. Gross floor area;
 5. Other significant design features, such as, but not limited to, roofline, height of building, construction or quality of architectural design; or

5-20-1

5-20-1

6. Location and elevation of building upon the site in relation to contiguous properties.

- (B) Inappropriateness in relation to any other property in same or any adjoining district of design, landscaping, building materials, and use thereof, orientation to site, or placement of parking, storage or refuse areas. (Ord. 98-O-14, 5-26-1998)

CHAPTER 22

ANTIMONOTONY STANDARDS

SECTION:

- 5-22-1: Purpose
- 5-22-2: Mandatory Criteria
- 5-22-3: Multiple Homes
- 5-22-4: Individual Review
- 5-22-5: Appeals
- 5-22-6: Responsibility
- 5-22-7: Deviations

5-22-1: **PURPOSE:** The intent of this chapter is to ensure sufficient variety in residential homes to prevent monotony and to foster the quality and character of residential construction traditionally found in the village. At the same time, these regulations are designed to provide freedom for homeowners to design homes that meet their needs and choices and to encourage creativity. (Ord. 2002-O-6, 2-12-2002)

5-22-2: **MANDATORY CRITERIA:** The following criteria shall apply to all new single-family residence construction:

- (A) **Similarity Regulated:** No home may be similar to any other home along a street or cul-de-sac, or within one thousand five hundred feet (1,500') (as measured from property line to property line), whichever is more restrictive.
- (B) **Window, Door, And Trim:** The home shall have similar style and quality window, door, trim, and decorative moldings on all exterior building elevations of the home.
- (C) **Building Materials:** Identical or substantially similar siding materials or veneers shall be used on all exterior sides of the home. This does not prohibit the use of veneers or changes of materials on a facade where, for example, materials might change at the second floor or at

a windowsill height. Where a wing or projection of the building is offset, the wing or projection may use different materials to give it emphasis, provided the materials are applied to the entire wing or projection.

(D) **Roof Overhangs:** An important element of design is the shadow lines which are created by roofs and help articulate the building. All homes having pitched roofs shall have eaves that extend a sufficient distance to create shadow lines. A variety of overhangs is desired. The following standards shall apply:

1. **Variety:** The subdivision or planned unit development as a whole shall have a variety of different roof overhang profiles.

2. **Extension:** The overhang, not including gutters, shall extend at least eight inches (8") beyond the plane of the wall.

3. **Exception:** The minimum overhang shall not apply for individual homes built in an historical style where overhangs were not part of the style (Cape Cod, for example) or in a unique individual design. The architectural board shall review the architectural plans for such buildings.

(E) **Garage Placement And Orientation:** Within a particular subdivision or planned unit development, no more than twenty five percent (25%) of garages may be front loads located at the front of the house. The following are preferred alternatives to front load garages:

1. Side load garages.

2. Side loading front garages. These are garages located in wings in front of the principal facade or entrance facade.

3. Recessed front loading garages. Where the two (2) car garage is in a wing that is recessed twenty feet (20') or more behind the front elevation, it shall not be considered a front loaded garage.

4. Rear garages. These are either freestanding or attached garages that are located to the rear and that have the view from the street screened by a wing of the building. (Ord. 2002-O-6, 2-12-2002)

5-22-3: **MULTIPLE HOMES:** Applicants who build more than one home within a subdivision or planned unit development must

utilize four (4) or more of the following techniques to avoid monotony and ensure quality:

- (A) **Roof Heights:** Utilize dissimilar roof heights. One or a combination of the following shall be used to achieve the desired effect:
1. Vary the number of stories on adjoining lots.
 2. Vary the roof pitches on otherwise similar homes.
 3. Vary the roofline height on the individual house. The number of stories can be varied on the dwelling. Where the width of the home is changed, the roof can be stepped down even though the stories remain similar. Wings should be of different heights based on different stories or widths.
- (B) **Roof Orientation:** Vary roof orientation so that the gable ends are oriented in a different direction than an otherwise similar home.
- (C) **Floor Plans:** Utilize different floor plans with distinctive shapes, such as wings or elements that sharply contrast with adjoining units or significant (at least 20 percent) changes in width of the central building. Repetitive use of a similar form and floor plans having similar masses on different models is not permitted. A wing must protrude a minimum of eight feet (8') to be considered a wing.
- (D) **Placement On Lots:** Vary the location of the homes in relation to the required front and side yard setbacks.
- (E) **Rotation Or Flipping:** Rotate the floor plan by ninety degrees (90°) or utilize a one hundred eighty degree (180°) flip combined with major differences in the plane of the front elevation.
- (F) **Lot Frontage And Size:** Utilize significant variation in the width of homes which results in clearly different modules of windows and doors.
- (G) **Architectural Style:** Utilize different architectural styles for similar floor plans, which employ all the elements of a given style and are applied consistently throughout the home.
- (H) **Architectural Details And Features:** Utilize different details for the chimney, entrance, garage design, dormers, porches, and building materials to significantly alter the appearance of a home to make it visually very different. (Ord. 2002-O-6, 2-12-2002)

5-22-4: INDIVIDUAL REVIEW: The applicant shall submit a separate plan for each home to the village superintendent for individual review and approval prior to issuance of a building permit. Applications shall include photos of the facades of the buildings or architectural elevations of existing homes along the same street or cul-de-sac or within one thousand five hundred feet (1,500') of the property line of the proposed homesite, whichever is more restrictive. The village superintendent may, when he deems it necessary to ensure compliance with this chapter, refer any such application to the architectural board for review and comments. (Ord. 2002-O-6, 2-12-2002)

5-22-5: APPEALS:

- (A) If the village superintendent denies an application, the applicant can appeal that decision to the architectural board within ten (10) days of the denial by filing a written notice of appeal with the village clerk. The architectural board may affirm, modify, or reverse the decision of the village superintendent.
- (B) The applicant can appeal a decision of the architectural board to the village board within ten (10) days of the denial by filing a written notice of appeal with the village clerk. The village board may affirm, modify, or reverse the decision of the architectural board. (Ord. 2002-O-6, 2-12-2002)

5-22-6: RESPONSIBILITY: It is the responsibility of the applicant to establish to the satisfaction of the village that the application fully complies with the provisions of this chapter. (Ord. 2002-O-6, 2-12-2002)

5-22-7: DEVIATIONS: For good cause shown, the village board may approve deviations from strict conformity with this chapter when the applicant establishes to the satisfaction of the village board that any such deviations are reasonably necessary and are not contrary to the purpose and intent of this chapter. (Ord. 2002-O-6, 2-12-2002)

AC2022-013

New Single Family Home
7234 Roxbury Court



ARCHITECTURAL COMMISSION STAFF REPORT

To: Jeanne Sylvester, Chair
Architectural Commission Members

From: Jessica Marvin, Community Development Services

Subject: 7234 Roxbury Court

Requests: New Single-Family Residence

Public Meeting Date: August 29, 2022

Attachments:

1. Petitioner's Application
2. Location Map
3. Current Applicable Architectural Standards
4. Previous Zoning Code Sections 5-20 and 5-22

A handwritten signature in blue ink that reads "Jessica Marvin".

PETITIONER Joon Kim on behalf of
Hyung Yun Park (future homeowner)
PNK Design Build, INC.
1901 Raymond Dr. STE 15
Northbrook, IL

REQUEST

Review of a proposed single-family residence at 7234 Roxbury Court.

HISTORY

In 2001, the Village of Long Grove entered into a Settlement Agreement with the owner of a 113.5-acre property which would eventually become the Ravenna subdivision. This Settlement Agreement stipulated that the property would be zoned R-3 Single Family Residential and developed as a planned unit development. In accordance with the Agreement, a final PUD for the Ravenna subdivision was approved on September 14, 2004 and included a provision that all new homes would require approval by the Architectural Commission.

Most of the 133 lots in the subdivision were developed between 2006-2014. Of these lots, fifteen (15) remain unimproved including the Subject Property at 7234 Roxbury Court. Another single-family home in the subdivision, located at 7237 Greywall Court, was considered by the Architectural Commission at the July 18, 2022 meeting.

The Concord Homes' Ravenna Planned Unit Development requires that all new buildings in the subdivision comply with section 5-20-1 of the Long Grove Zoning Code (2004 edition):

Section 5-20-1

Prohibition, Criteria: No building permit shall be issued for any new building or for remodeling or alteration of an existing building which if erected, remodeled or altered would produce one or more of the harmful effects set forth in section 2-3-1 of this code. In awning, sign, fence, or other structure will produce one or more of the harmful effects set forth in section 2-3-1 of this code, the architectural board shall consider whether there exists one or more of the following:

- A. Excessive similarity or dissimilarity in design in relation to any other structure existing or for which permit has been issued within a distance of one thousand feet (1,000') of the proposed site or in design generally prevailing in the area in respect to one or more of the following features:
 1. Apparently identical façade.
 2. Substantially identical size and arrangement of either doors, windows, porticoes or other openings or breaks in the façade facing the street, including a reverse arrangement thereof.
 3. Cubical contents.
 4. Gross floor area.
 5. Other significant design features, such as but not limited to, roofline, height of building, construction or quality of architectural design; or
 6. Location and elevation of building upon the site in relation to contiguous properties.

- B. Inappropriateness in relation to any other property in same or any adjoining district of design, landscaping, building material, and use thereof, orientation to site, or placement of parking, storage or refuse areas.

PROPOSED PROJECT

The proposed 2,658 sf single-family residence is located at 7234 Roxbury Court. It is a side-loaded, two-story home with a basement.

Proposed materials for the residence include:

- Brick Veneer
 - Color: Postrock
- Asphalt Shingles
 - Color: Gray
- Vinyl Siding
 - Color: Light Maple
- Limestone
 - Color: Smooth Face
- Tempered Glass
 - Color: Clear
- Gutter and Downspouts
 - Color: Cream

The proposed residence incorporates a variety of rectangular windows on all façades which are a prominent feature throughout the whole design. Rectangular windows are common throughout the neighborhood; however, additional styles are also used to introduce some variation in design and dimensions.

The residences on Roxbury Court all use similar materials such as: brick veneer, vinyl siding, natural stone, and asphalt shingles. The residence located at 7235 Roxbury Court is similar to the proposed residence in its building materials and colors.

The front façade of the proposed residence features more brick than other homes on Roxbury Court. The northeast elevation shows the three-car garage, chimney, and five windows. The southwest façade includes five windows and a large expanse of brick on the backside of the garage. Both side elevations utilize brick veneer and vinyl siding. The rear façade is broken up with a multitude of large rectangular windows and only uses vinyl siding.

ARCHITECTURAL COMMISSION DECISION

The AC should review the single-family residence against the anti-monotony regulations and render a determination based upon those criteria as well as the appropriateness of the new single-family residence at this location in relation to other residences in the area. An excerpt from the Long Grove Zoning Ordinance “Residential Chapter” regarding the anti-monotony regulations is included for consideration by the Commission.

STAFF RECOMMENDATION

The AC should consider whether the materials used, and overall design of the proposed structure aligns with the character of new construction projects for the Village of Long Grove. The proposed materials are used for the other homes of the subdivision. The AC should comment on the overall design as presented. The comments of the AC will be taken into consideration with any other required action.

The residence utilizes more than four (4) techniques to differentiate houses in the Ravenna of Long Grove neighborhood as required by the anti-monotony regulations. The proposed single-family residence uses an architectural style that is similar to the current residences in the neighborhood but still unique. The color of the building materials used is also similar, but not identical, to the existing materials within the neighborhood. The proposed dwelling satisfies the 2004 Zoning Code’s criteria for roof overhangs, similar quality and design of doors and windows, and varied roof lines.

JNM/JLM/TW



**STRUCTURE/FIXTURE
ARCHITECTURAL COMMISSION APPLICATION**

DATE: JUNE 13, 2022

APPLICANT'S NAME: JOON KIM

E-MAIL JOON@PNKDB.COM

ADDRESS: 1901 RAYMOND DR. STE 15, NORTHBROOK, IL PHONE: 312.543.6932

NAME OF BUSINESS: PNK DESIGN BUILD, INC.

BUSINESS ADDRESS: THE SAME AS ABOVE PHONE: 847.414.5114

TYPE OF STRUCTURE/FIXTURE: A NEW SINGLE FAMILY RESIDENCE

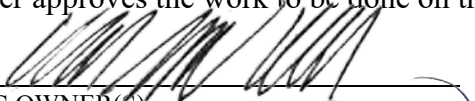
1. LOCATION OF STRUCTURE/FIXTURE ON PROPERTY:
 - A. PROVIDE SITE PLAN. (ATTACHED)
 - B. PROVIDE PHOTOGRAPH OF SITE. (ATTACHED)
 - C. SQUARE FOOTAGE OF STRUCTURE 2,658 SQUARE FEET.


2. DRAWING OF PLANNED STRUCTURE/FIXTURE:
 - A. DIMENSIONS. (ATTACHED)
 - B. ELEVATIONS (ALL DIRECTIONS). (ATTACHED)
 - C. LIST MATERIALS TO BE USED/SAMPLE OF COLORS. (ATTACHED)

3. NAME, ADDRESS, AND PHONE NUMBER OF FIRM ERECTING OR MANAGING STRUCTURE: PNK DESIGN BUILD, INC. PHONE: 847.414.5114

1901 RAYMOND DR. STE 15, NORTHBROOK, IL E-MAIL JKK@PNKDB.COM

The property owner's signature is required below before any application may be processed. It is understood by the property owner(s) that he or she has read and understands the regulations governing the commercial property under this application in the Village of Long Grove, accepts and is liable for any corrections or modifications required to meet the standards of the Village, and further approves the work to be done on their property.


 BUSINESS OWNER(S) _____ Jin K Kim


 PROPERTY OWNER(S) _____

APPLICATION APPROVAL: _____ DATE: _____



COLOR/FINISH:
POSTROCK / BRICK VENEER



COLOR/FINISH:
LIGHT MAPLE / VINYL SIDING



COLOR/FINISH:
GRAY / ASPHALT SHINGLES



COLOR/FINISH:
SMOOTH FACE / LIMESTONE



COLOR/FINISH:
CREAM / GUTTER & DOWNSPOUTS



COLOR/FINISH:
CLEAR / TEMPERED GLASS

COLOR REFERENCE



A NEW SINGLE FAMILY OF RESIDENCE
7234 ROXBURY CT. LONG GROVE, IL 60060





 Subject Property

Location Map:
7234 Roxbury Ct, Long Grove, IL



RESIDENTIAL REGULATIONS (Section 5-3-11):

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 3. *Building Materials.* Identical or substantially similar siding materials or veneers shall be used on all exterior sides of the detached single-family dwelling. This does not prohibit the use of veneers or changes of materials on a facade where, for example, materials might change at the second floor or at a windowsill height. Where a wing or projection of the building is offset, the wing or projection may use different materials to give it emphasis, provided the materials are applied to the entire wing or projection.
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 - (b) *Extension.* The overhang of a detached single-family dwelling, not including gutters, shall extend at least eight inches beyond the plane of the wall.
 - (c) *Exception.* The minimum overhang shall not apply to any individual detached single-family dwelling built in a historical style where overhangs were not part of the style (Cape Cod, for example) or in a unique individual design. The architectural board shall review the architectural plans for such dwellings.
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 - (b) Side loading front garages. These are garages located in wings in front of the principal facade or entrance facade.
 - (c) Recessed front loading garages. Where the two-car garage is in a wing that is recessed 20 feet or more behind the front elevation, it shall not be considered a front-loaded garage.
 - (d) Rear garages. These are either freestanding or attached garages that are located to the rear and that have the view from the street screened by a wing of the building.

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 - (b) Vary the roof pitches on otherwise similar detached single-family dwellings.
 - (c) Vary the roofline height on the individual detached single-family dwelling. The number of stories can be varied on the dwelling. Where the width of the dwelling is changed, the roof can be stepped down even though the stories remain similar. Wings should be of different heights based on different stories or widths.
 2. *Roof Orientation.* Vary roof orientation so that the gable ends are oriented in a different direction than an otherwise similar detached single-family dwelling.
 3. *Floor Plans.* Utilize different floor plans with distinctive shapes, such as wings or elements that sharply contrast with adjoining dwellings or significant (at least 20 percent) changes in width of the central dwelling. Repetitive use of a similar form and floor plans having similar masses on different models is not permitted. A wing must protrude from the front of the building a minimum of eight feet to be considered a wing.
 4. *Placement on Lots.* Vary the location of the detached single-family dwellings in relation to the required front and side yard setbacks.
 5. *Rotation or Flipping.* Rotate the floor plan by 90 degrees or utilize a 180-degree flip combined with major differences in the plane of the front elevation.
 6. *Lot Frontage and Size.* Utilize significant variation in the width of detached single-family dwellings which results in clearly different modules of windows and doors.
 7. *Architectural Style.* Utilize different architectural styles for similar floor plans, which employ all the elements of a given style and are applied consistently throughout the dwelling.
 8. *Architectural Details and Features.* Utilize different details for the chimney, entrance, garage design, dormers, porches, and building materials to significantly alter the appearance of a detached single-family dwelling to make it visually very different.
- (D) *Individual Review.* The owner shall submit a separate plan for each detached single-family dwelling to the Building Superintendent for individual review and approval prior to issuance of a building permit. Applications shall include photos of the facades of the buildings or architectural elevations of existing dwellings along the same street or cul-de-sac or within 1,500 feet of the lot line of the proposed lot, whichever is more restrictive. The Building Superintendent may, when he deems it necessary to ensure compliance with this section, refer any such application to the Architectural Board for review and comments.
- (E) *Appeals.*
1. If the Building Superintendent denies an application, the owner can appeal that decision to the Architectural Board within ten days of the denial by filing a written notice of appeal with the Village Clerk. The Architectural Board may affirm, modify, or reverse the decision of the Building Superintendent.
 2. The owner can appeal a decision of the Architectural Board to the Village Board within ten days of the denial by filing a written notice of appeal with the Village Clerk. The Village Board may affirm, modify, or reverse the decision of the Architectural Board.

3. Any appeal under this subsection (E) shall be reviewed in light of the criteria in subsections (B) and (C) of this section and the purposes in subsection (A) of this section.
- (F) *Responsibility.* It is the responsibility of the owner to establish to the satisfaction of the Village that the application fully complies with the provisions of this section.
- (G) *Deviations.* for good cause shown, the Village Board may approve deviations from strict conformity with this section when the owner establishes to the satisfaction of the Village Board that any such deviations are reasonably necessary and are not contrary to the purpose and intent of this section.

CHAPTER 20
ARCHITECTURAL CONTROL

SECTION:

5-20-1: Prohibition, Criteria

5-20-1: **PROHIBITION, CRITERIA:** No building permits shall be issued for any new building or for remodeling or alteration of an existing building which if erected, remodeled or altered would produce one or more of the harmful effects set forth in section 2-3-1 of this code. In considering whether the erection, remodeling or alteration of a building, awning, sign, fence or other structure will produce one or more of the harmful effects set forth in section 2-3-1 of this code, the architectural board shall consider whether there exists one or more of the following:

- (A) Excessive similarity or dissimilarity in design in relation to any other structure existing or for which a permit has been issued within a distance of one thousand feet (1,000') of the proposed site or in design generally prevailing in the area in respect to one or more of the following features:
1. Apparently identical facade;
 2. Substantially identical size and arrangement of either doors, windows, porticoes or other openings or breaks in the facade facing the street, including a reverse arrangement thereof;
 3. Cubical contents;
 4. Gross floor area;
 5. Other significant design features, such as, but not limited to, roofline, height of building, construction or quality of architectural design; or

5-20-1

5-20-1

6. Location and elevation of building upon the site in relation to contiguous properties.

(B) Inappropriateness in relation to any other property in same or any adjoining district of design, landscaping, building materials, and use thereof, orientation to site, or placement of parking, storage or refuse areas. (Ord. 98-O-14, 5-26-1998)

CHAPTER 22

ANTIMONOTONY STANDARDS

SECTION:

- 5-22-1: Purpose
- 5-22-2: Mandatory Criteria
- 5-22-3: Multiple Homes
- 5-22-4: Individual Review
- 5-22-5: Appeals
- 5-22-6: Responsibility
- 5-22-7: Deviations

5-22-1: **PURPOSE:** The intent of this chapter is to ensure sufficient variety in residential homes to prevent monotony and to foster the quality and character of residential construction traditionally found in the village. At the same time, these regulations are designed to provide freedom for homeowners to design homes that meet their needs and choices and to encourage creativity. (Ord. 2002-O-6, 2-12-2002)

5-22-2: **MANDATORY CRITERIA:** The following criteria shall apply to all new single-family residence construction:

- (A) **Similarity Regulated:** No home may be similar to any other home along a street or cul-de-sac, or within one thousand five hundred feet (1,500') (as measured from property line to property line), whichever is more restrictive.
- (B) **Window, Door, And Trim:** The home shall have similar style and quality window, door, trim, and decorative moldings on all exterior building elevations of the home.
- (C) **Building Materials:** Identical or substantially similar siding materials or veneers shall be used on all exterior sides of the home. This does not prohibit the use of veneers or changes of materials on a facade where, for example, materials might change at the second floor or at

a windowsill height. Where a wing or projection of the building is offset, the wing or projection may use different materials to give it emphasis, provided the materials are applied to the entire wing or projection.

- (D) **Roof Overhangs:** An important element of design is the shadow lines which are created by roofs and help articulate the building. All homes having pitched roofs shall have eaves that extend a sufficient distance to create shadow lines. A variety of overhangs is desired. The following standards shall apply:

1. **Variety:** The subdivision or planned unit development as a whole shall have a variety of different roof overhang profiles.

2. **Extension:** The overhang, not including gutters, shall extend at least eight inches (8") beyond the plane of the wall.

3. **Exception:** The minimum overhang shall not apply for individual homes built in an historical style where overhangs were not part of the style (Cape Cod, for example) or in a unique individual design. The architectural board shall review the architectural plans for such buildings.

- (E) **Garage Placement And Orientation:** Within a particular subdivision or planned unit development, no more than twenty five percent (25%) of garages may be front loads located at the front of the house. The following are preferred alternatives to front load garages:

1. Side load garages.

2. Side loading front garages. These are garages located in wings in front of the principal facade or entrance facade.

3. Recessed front loading garages. Where the two (2) car garage is in a wing that is recessed twenty feet (20') or more behind the front elevation, it shall not be considered a front loaded garage.

4. Rear garages. These are either freestanding or attached garages that are located to the rear and that have the view from the street screened by a wing of the building. (Ord. 2002-O-6, 2-12-2002)

- 5-22-3: **MULTIPLE HOMES:** Applicants who build more than one home within a subdivision or planned unit development must

utilize four (4) or more of the following techniques to avoid monotony and ensure quality:

- (A) **Roof Heights:** Utilize dissimilar roof heights. One or a combination of the following shall be used to achieve the desired effect:
1. Vary the number of stories on adjoining lots.
 2. Vary the roof pitches on otherwise similar homes.
 3. Vary the roofline height on the individual house. The number of stories can be varied on the dwelling. Where the width of the home is changed, the roof can be stepped down even though the stories remain similar. Wings should be of different heights based on different stories or widths.
- (B) **Roof Orientation:** Vary roof orientation so that the gable ends are oriented in a different direction than an otherwise similar home.
- (C) **Floor Plans:** Utilize different floor plans with distinctive shapes, such as wings or elements that sharply contrast with adjoining units or significant (at least 20 percent) changes in width of the central building. Repetitive use of a similar form and floor plans having similar masses on different models is not permitted. A wing must protrude a minimum of eight feet (8') to be considered a wing.
- (D) **Placement On Lots:** Vary the location of the homes in relation to the required front and side yard setbacks.
- (E) **Rotation Or Flipping:** Rotate the floor plan by ninety degrees (90°) or utilize a one hundred eighty degree (180°) flip combined with major differences in the plane of the front elevation.
- (F) **Lot Frontage And Size:** Utilize significant variation in the width of homes which results in clearly different modules of windows and doors.
- (G) **Architectural Style:** Utilize different architectural styles for similar floor plans, which employ all the elements of a given style and are applied consistently throughout the home.
- (H) **Architectural Details And Features:** Utilize different details for the chimney, entrance, garage design, dormers, porches, and building materials to significantly alter the appearance of a home to make it visually very different. (Ord. 2002-O-6, 2-12-2002)

5-22-4: INDIVIDUAL REVIEW: The applicant shall submit a separate plan for each home to the village superintendent for individual review and approval prior to issuance of a building permit. Applications shall include photos of the facades of the buildings or architectural elevations of existing homes along the same street or cul-de-sac or within one thousand five hundred feet (1,500') of the property line of the proposed homesite, whichever is more restrictive. The village superintendent may, when he deems it necessary to ensure compliance with this chapter, refer any such application to the architectural board for review and comments. (Ord. 2002-O-6, 2-12-2002)

5-22-5: APPEALS:

- (A) If the village superintendent denies an application, the applicant can appeal that decision to the architectural board within ten (10) days of the denial by filing a written notice of appeal with the village clerk. The architectural board may affirm, modify, or reverse the decision of the village superintendent.
- (B) The applicant can appeal a decision of the architectural board to the village board within ten (10) days of the denial by filing a written notice of appeal with the village clerk. The village board may affirm, modify, or reverse the decision of the architectural board. (Ord. 2002-O-6, 2-12-2002)

5-22-6: RESPONSIBILITY: It is the responsibility of the applicant to establish to the satisfaction of the village that the application fully complies with the provisions of this chapter. (Ord. 2002-O-6, 2-12-2002)

5-22-7: DEVIATIONS: For good cause shown, the village board may approve deviations from strict conformity with this chapter when the applicant establishes to the satisfaction of the village board that any such deviations are reasonably necessary and are not contrary to the purpose and intent of this chapter. (Ord. 2002-O-6, 2-12-2002)