



**AGENDA
ARCHITECTURAL COMMISSION
REGULAR MEETING**

Monday, March 20, 2023 at 7:00 P.M.

**Location: Long Grove Village Hall
3110 Old McHenry Road, Long Grove, IL 60047**

- 1. CALL TO ORDER**
- 2. ATTENDANCE**
- 3. VISITOR BUSINESS / PUBLIC COMMENTARY**
- 4. APPROVAL OF MINUTES**
 - a. Approval of the November 21, 2022 Draft Meeting Minutes
- 5. OLD BUSINESS**

None
- 6. NEW BUSINESS**
 - a. AC-2023-001 - 340-344 Old McHenry Road - Review of application for new building structures.
- 7. QUESTIONS AND COMMENTS**
- 8. ADJOURNMENT**

Next Scheduled Meeting: April 17, 2023 @ 7:00 PM

The Village of Long Grove is subject to the requirements of the Americans with Disabilities Act of 1990. Individuals with disabilities who plan to attend this meeting and who require certain accommodations in order to allow them to observe and/or participate in this meeting, or who have questions regarding the accessibility of the meeting or the facilities, are requested to phone the Long Grove Village Manager at 847-634-9440 or TDD 847-634-9650 promptly to allow the Village of Long Grove to make reasonable accommodations for those persons.

Meeting Minutes

**MEETING MINUTES OF THE
LONG GROVE ARCHITECTURAL COMMISSION
REGULAR MEETING
November 21, 2022
7:00 P.M.**

Chairwoman Sylvester called the meeting of the Long Grove Architectural Commission (AC) to order at 7:00 p.m. with the following members present.

Members Present: Matthew Akins; John Marshall; Allen Roiter; and Jeanne Sylvester.

Members Absent: Laura Mikolajczak; J Plunkett.

Also Present: Taylor Wegrzyn, Community Development Services; members of the public.

VISITORS BUSINESS

None.

APPROVAL OF MINUTES

1) Approval of the October 17, 2022 Draft Meeting Minutes.

A motion was made by Commissioner Roiter, seconded by Commissioner Marshall, to recommend approval of the October 17, 2022, meeting minutes.

Ayes: A. Roiter; J. Marshall; J. Sylvester; M. Akins

Nays: None

Absent: L. Mikolajczak; J. Plunkett

OLD BUSINESS

There was no Old Business.

NEW BUSINESS

1) Consideration of a request for a sign for Hidden Gem at 327 Old McHenry Road.

Planner Wegrzyn provided an overview of the proposed signage at 327 Old McHenry Road. The petitioner was in attendance to answer any questions.

The commission reviewed the plans. It was noted that the word “entrance” was misspelled in the plans and will need to be corrected. The sign is made of HDU and will have a textured finish. It was recommended that the sign be lit at night since the business is open until 7:00 PM. The petitioner requested that the commission also permit them to change the text on the sign from “Gemstones,

Jewelry, and Crystals” to “Rocks, Crystals, and Fossils”. The sign will have raised letters, borders, and graphics.

A motion was made by Commissioner Roiter, seconded by Commissioner Marshall, to recommend approval of the two proposed signs for Hidden Gem with the following conditions:

- “Entrance” to be spelled correctly on final sign
- Lighting may be permitted later, subject to approval by AC chair and without a meeting before the AC
- Verbiage on the sign may be altered to “Rocks, Crystals, and Fossils.”

Ayes: A. Roiter; J. Marshall; M. Akins; J. Sylvester

Nays: None

Absent: J. Plunkett; L. Mikolajczak

Commissioner J. Plunkett arrived at 7:23 PM

2) Consideration of a request for a sign for Vintage Charm Homestead at 243 Robert Parker Coffin Road.

Planner Wegrzyn provided an overview of the proposed signage at 423 Robert Parker Coffin Road. The petitioner was in attendance to answer any questions.

The commission reviewed the plans. The sign will be constructed of sandblasted wood to give it texture and raised elements. The sign will be mounted to the brick wall using brackets drilled into the mortar. The business owner is exploring options with the landowner for additional signage along the public street frontage.

A motion was made by Commissioner Plunkett, seconded by Commissioner Marshall, to recommend approval of the wall sign for Vintage Charm Homestead at 243 Robert Parker Coffin Road.

Ayes: J. Plunkett; J. Marshall; M. Akins; A. Roiter; J. Sylvester

Nays: None

Absent: L. Mikolajczak

OTHER BUSINESS

Chairwoman Sylvester updated the commission on the status of the Oman property. The property will be demolished in the upcoming month. The next scheduled Architectural Commission meeting is for December 19, 2022 7:00 P.M.

ADJOURNMENT

With no further business, a motion to adjourn the meeting was made by Commissioner Roiter, seconded by Commissioner Marshall.

Ayes: A. Roiter; J. Marshall; M. Akins; J. Plunkett; J. Sylvester

Nays: None

Absent: L. Mikolajczak

Meeting Adjourned at 8:06 p.m.

Respectfully Submitted,

Taylor Wegrzyn

Planner

AC-2023-001

340-344 Old McHenry Road



ARCHITECTURAL COMMISSION STAFF REPORT

To: Jeanne Sylvester, Chair
Architectural Commission Members

From: Taylor Wegrzyn, Community Development Services

Subject: Brothers Field, 340 Old McHenry Road

Requests: 1) New Building (to replace current building structure)
2) Accessory Structures

Public Meeting Date: March 20, 2023

Attachments: 1. Location Map
2. Images of Events at Brothers Field
3. Petitioner's Application
4. Section 7-2-4 of Municipal Code – "Long Grove Style"
5. Village of Long Grove Historic Downtown Guidelines for Private Improvements

PETITIONER

Brothers Field, LLC
340 Old McHenry Road
Long Grove, IL 60047

REQUEST

Review of materials and designs for new construction in the B-1 Downtown Historic District. The improvements include the demolition of the existing red building, a new 2-story building structure, and new accessory structures behind the building, all of which would be located on the three parcels of land located at 340 and 344 Old McHenry Road (PINs 15-30-106-016, 15-30-106-015, and 15-30-106-017). Birdy Bros, LLC is the owner of all three properties.

HISTORY

The subject property has a long and complex history of development. The property is located on a portion of a larger subdivision known as "Red Oaks". This subdivision contained seven lots extending from Old McHenry Road to Buffalo Creek to the southwest. Today these seven parcels are used by: the Stempel Parking lot, the Long Grove Historical Society, Buffalo Creek Brewing, Fred Astaire Dance Studio, a residential dwelling, and the subject property (340 Old McHenry Road – Brothers Field). The subdivision was created in **1986** and was approved as a Planned Unit Development with its own specific regulations and entitlements. Over thirty-seven years the property has evolved several times to create the current conditions. The subdivision now includes multiple property owners and there have been several amendments to the Planned Unit Development ordinance.

The subject portion of the property was previously a furniture shop and included several large additions. These additions were demolished in 2019: leaving only the original, residential part of the building at the frontage along Old McHenry Road. Since then, the owners have attempted to use the structure for commercial businesses with only limited success.

In 2020, the owners embarked on a new venture and created the Brothers Field business which utilized the now vacant portions of the property for outdoor entertainment. The site began hosting events, fairs, and concerts on a temporary basis.

STEPS

In order to amend and restate the original PUD, several steps are proposed.

1. Review of the Concept by the Village Board (complete);
2. Review by the Architectural Commission for materials, design, character, and compliance;
3. Consideration by the Plan Commission/Zoning Board of Appeals of an Amendment to a Planned Unit Development, and any potential text amendments as recommended by the Village Attorney; and
4. Consideration by the Village Board of the project in its entirety.

PROPOSED PROJECT

New Building Structure at 340 Old McHenry Road

A new 2-story mixed-use building is proposed to replace the existing structure at 340 Old McHenry Road. The new structure would have a 3,524 square-foot building footprint with an additional 1,026 square-foot second floor apartment.

- Architectural grade asphalt shingles would be used on 8:12 (primary) and 4:12 (porch) pitched roofs with gables on all sides.
- Gable trim, largely matching the existing structure's trim would be used on all sides of the structure.
- A covered front porch would extend across the entire front façade.
- Additional covered porches would be located on the rear of the structure.
- A stairwell accessing the second story apartment would be located at the northwest corner of the building and would utilize a 4:12 pitch roof to match the porches.

New Accessory Structures

In addition to the new building structure, a 60'x40' seasonal tent, 16'x16' wooden "tiki bar", railroad tie fencing, outdoor tables and chairs, and pathways are proposed.

PLANNING DOCUMENTS

Notable and applicable excerpts from the Long Grove Historic Downtown and Business District Planning and Design Guidelines are listed below:

1. Bulk, Space, and Yard Requirements
 - a. Height.
 - i. Complement existing buildings
 - ii. Reflect width and height of adjacent buildings
 - iii. Maintain a compatible roof form and line with adjacent buildings
 - b. Yards and Setbacks.
 - i. 20 feet from Old McHenry Road

- ii. Setbacks should be similar to adjacent buildings
 - c. Coverage.
 - i. Structural coverage < 7,000 square feet
 - ii. Impervious <85%
- 2. Orientation.
 - a. Primary entrance to face main street
 - b. Create a focal point around pedestrian activity
 - c. Clear and functional tie between new and existing structures
- 3. Circulation and Trails.
 - a. Sidewalks in private developments should be constructed of concrete or clay pavers
- 4. Consideration In Judging Plans: In judging plans for the Long Grove style, the following points are considered as descriptive of the existing type buildings listed above:
 - a. Roofs: Shall be pitched four to twelve (4:12) or steeper and must join at a hip. Pitched roofs shall be visible from all exterior elevations. Mansard roofs are permissible if they clearly follow an historic precedent.
 - b. Cornices: Boxed on main buildings; overhang not to exceed one foot (1'); fascia boards broad; liberal use of moldings.
 - c. Walls: Clapboards, vertical boarding; brick, smooth or sanded, soft light red color or painted; split faced limestone laid with natural bedding or fieldstone, no stone not native to area.
 - d. Sash: Shall be double hung casement or fixed. In a Greek revival building sash, light size shall not exceed ten inches horizontal by fourteen inches vertical (10" x 14"). In a Victorian building, it shall not exceed sixteen inches horizontal by thirty inches vertical (16" x 30").

STAFF RECOMMENDATION

Staff recommends that the Commission consider the materials and style of the proposal against the standards of the Municipal Code, Long Grove Style, Comprehensive Plan, and other Village planning documents. It is anticipated that additional action by the Plan Commission and Zoning Board of Appeals and the Village Board will be necessary to permit the use of the property as proposed. It is possible that additional review by the Architectural Commission will be necessary prior to construction of the proposed improvements. Additional reviews may be necessary specifically for lighting, signage, landscaping, or additional outdoor structures. Architectural Review is one of the first steps in the process as changes to design can impact setbacks and other requests considered by the PCZBA.

TW/AO

Location Map: 340 Old McHenry Road - Brothers Field



Legend

 Project Area









STRUCTURE/FIXTURE ARCHITECTURAL COMMISSION APPLICATION

DATE: 02-22-23

APPLICANT'S NAME: Jesse Desoto E-MAIL DESOTOJESSE@GMAIL.COM

ADDRESS: 1099 MIDLOTHIAN RD LAKE ZURICH 60047 PHONE: 847 848 4768

NAME OF BUSINESS: Bearpaw Fields LLC

BUSINESS ADDRESS: 340 Old McHenry Rd PHONE: 847 848 4768

TYPE OF STRUCTURE/FIXTURE: 2 story Commercial

1. LOCATION OF STRUCTURE/FIXTURE ON PROPERTY:

- A. PROVIDE SITE PLAN.
B. PROVIDE PHOTOGRAPH OF SITE.
C. SQUARE FOOTAGE OF STRUCTURE 3400 SQUARE FEET.

2. DRAWING OF PLANNED STRUCTURE/FIXTURE:

- A. DIMENSIONS.
B. ELEVATIONS (ALL DIRECTIONS).
C. LIST MATERIALS TO BE USED/SAMPLE OF COLORS.

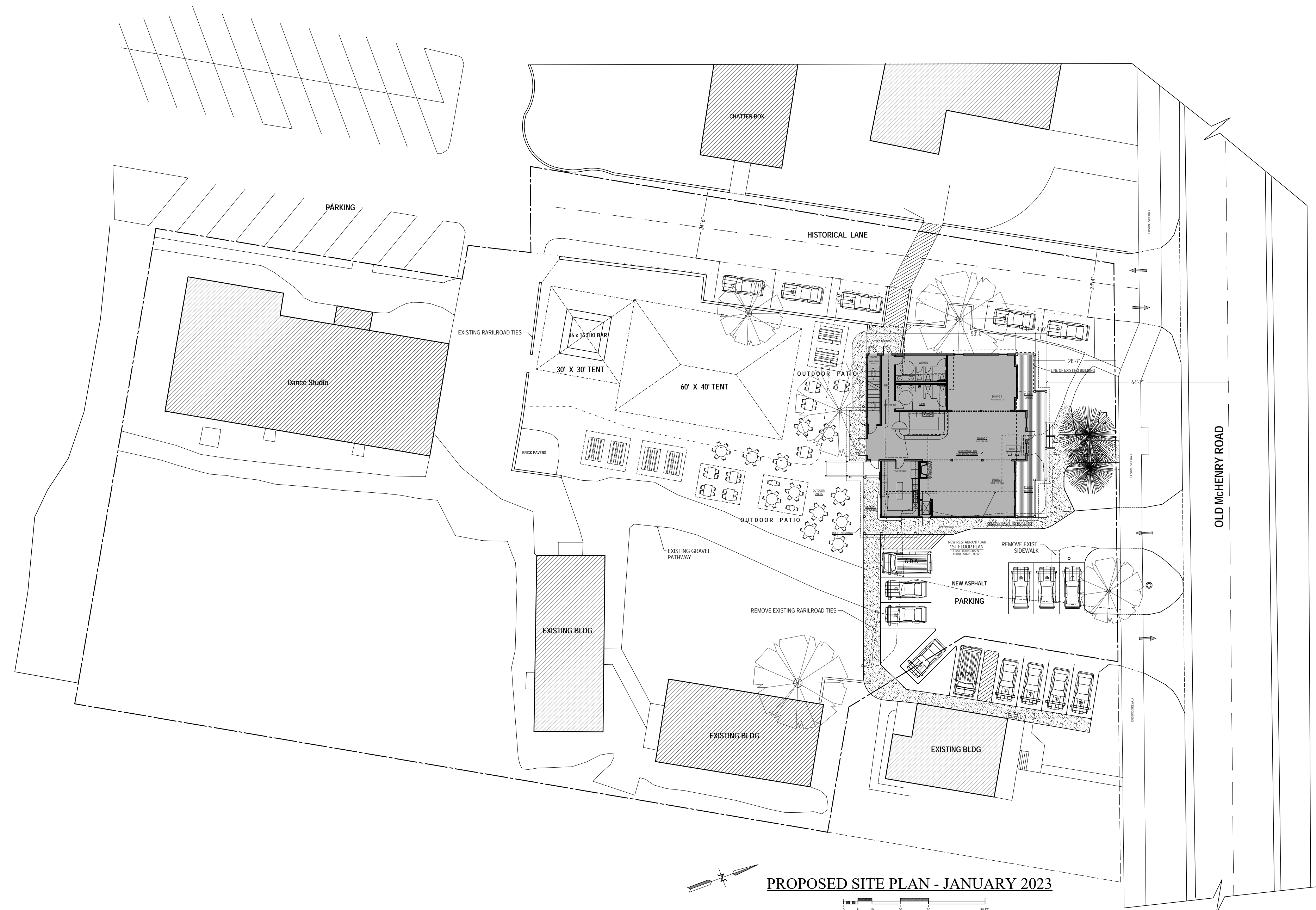
3. NAME, ADDRESS, AND PHONE NUMBER OF FIRM ERECTING OR MANAGING STRUCTURE:

R M G BUILDERS PHONE: 773-909-8889
310 HOWARD ST ELK GROVE VILLAGE 60007 E-MAIL RMGBUILDERS77@GMAIL.COM

The property owner's signature is required below before any application may be processed. It is understood by the property owner(s) that he or she has read and understands the regulations governing the commercial property under this application in the Village of Long Grove, accepts and is liable for any corrections or modifications required to meet the standards of the Village, and further approves the work to be done on their property.

BUSINESS OWNER(S) [Signature]
PROPERTY OWNER(S) [Signature]

APPLICATION APPROVAL: _____ DATE: _____



PROPOSED SITE PLAN - JANUARY 2023

HISTORICAL LANE

EXISTING RAILROAD TIES

16 x 16 TIKI BAR

30' X 30' TENT

60' X 40' TENT

OUTDOOR PATIO

BRICK PAVERS

OUTDOOR PATIO

EXISTING GRAVEL PATHWAY

EXISTING BLDG

EXISTING BLDG

REMOVE EXISTING RAILROAD TIES

NEW RESTAURANT/ BAR
1ST FLOOR PLAN
FIRST FLOOR - 367 SF
FRONT PORCH - 451 SF

REMOVE EXIST. SIDEWALK

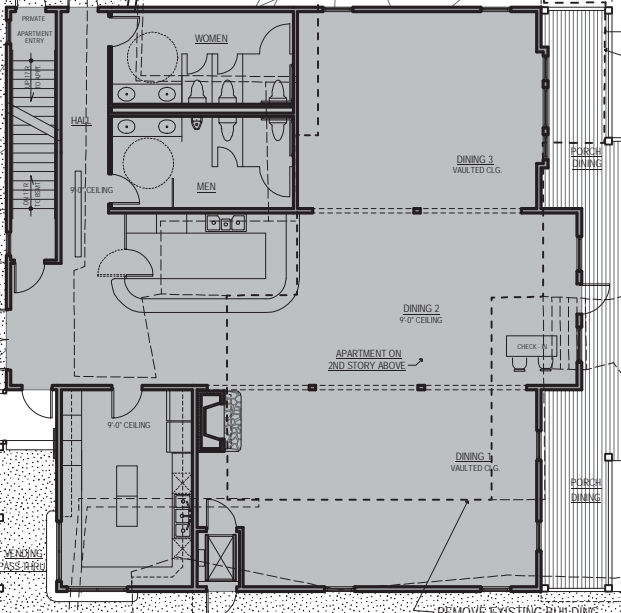
NEW ASPHALT
PARKING

ADA

ADA

ADA

EXISTING BLDG



28'-7"

LINE OF EXISTING BUILDING

64'-2"

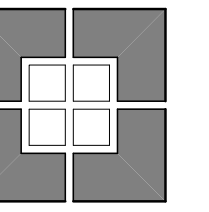
EXISTING SIDEWALK

EXISTING SIDEWALK

EXISTING SIDEWALK

EXISTING SIDEWALK

OLD McHENRY ROAD



SKIFFINGTON ARCHITECTS LTD.
Cell: 847-809-8255
skiffingtonarchitects.com

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DAVID PATRICK SKIFFINGTON, A.I.A.
250 NORTH TRAIL, HAWTHORN WOODS, IL 60047
EMAIL: SKIFFARCH@GMAIL.COM

FIRST FLOOR PLAN
PROPOSED RESTAURANT / BAR
340 OLD MCHENRY ROAD
LONG GROVE, ILLINOIS 60047

PRELIMINARY

DRAWN BY
DPS

CHECKED BY

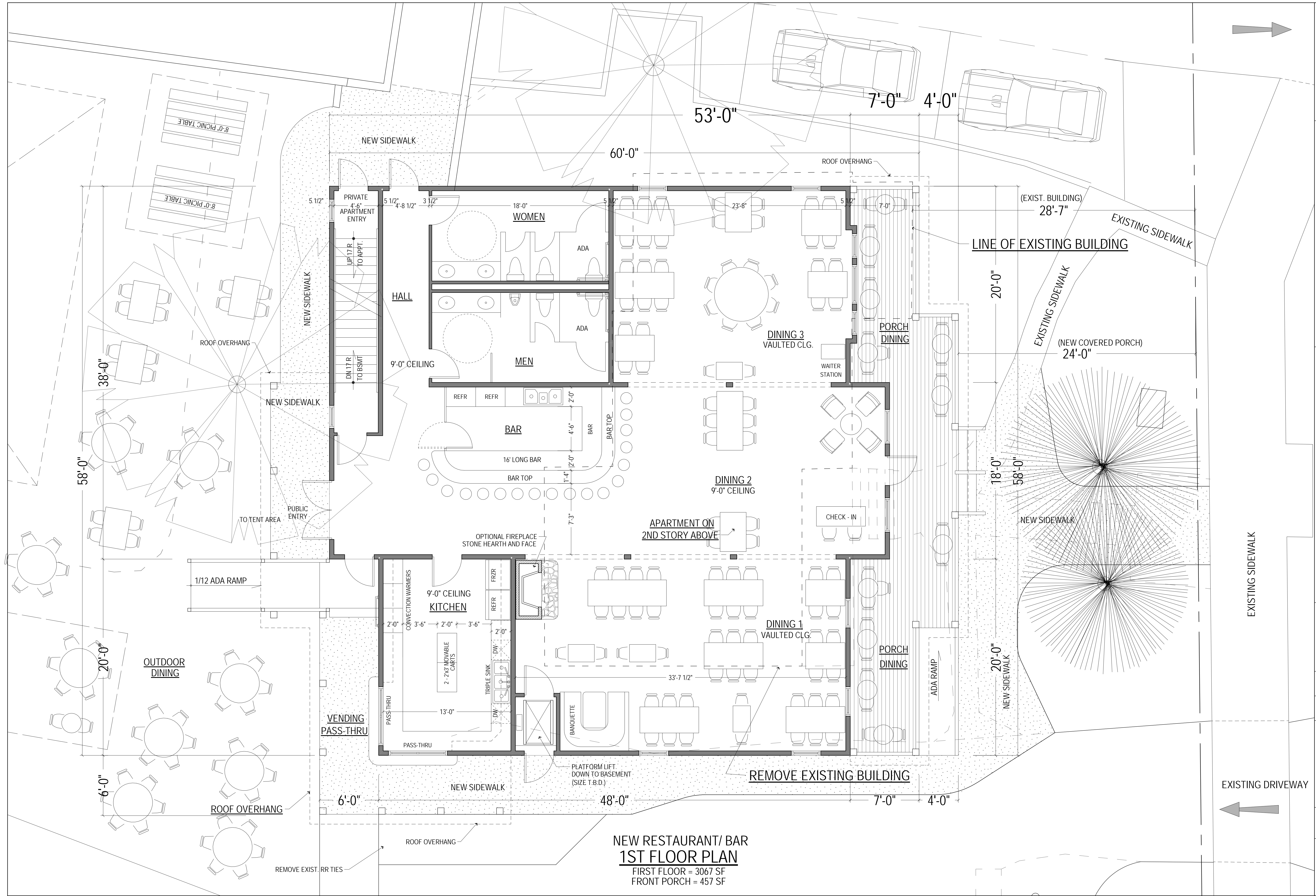
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REVISIONS

PROJECT NO.
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2022 long grove
restaurant.db

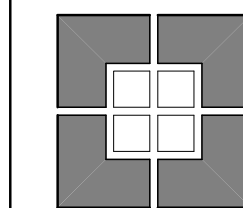
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A1

OF SHEETS



NEW RESTAURANT/ BAR
1ST FLOOR PLAN
FIRST FLOOR = 3067 SF
FRONT PORCH = 457 SF



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ARCHITECTS
LTD.
Cell: 847-809-8255
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SECOND FLOOR PLAN
PROPOSED RESTAURANT / BAR
340 OLD McHENRY ROAD
LONG GROVE, ILLINOIS 60047

PRELIMINARY

DRAWN BY
DPS

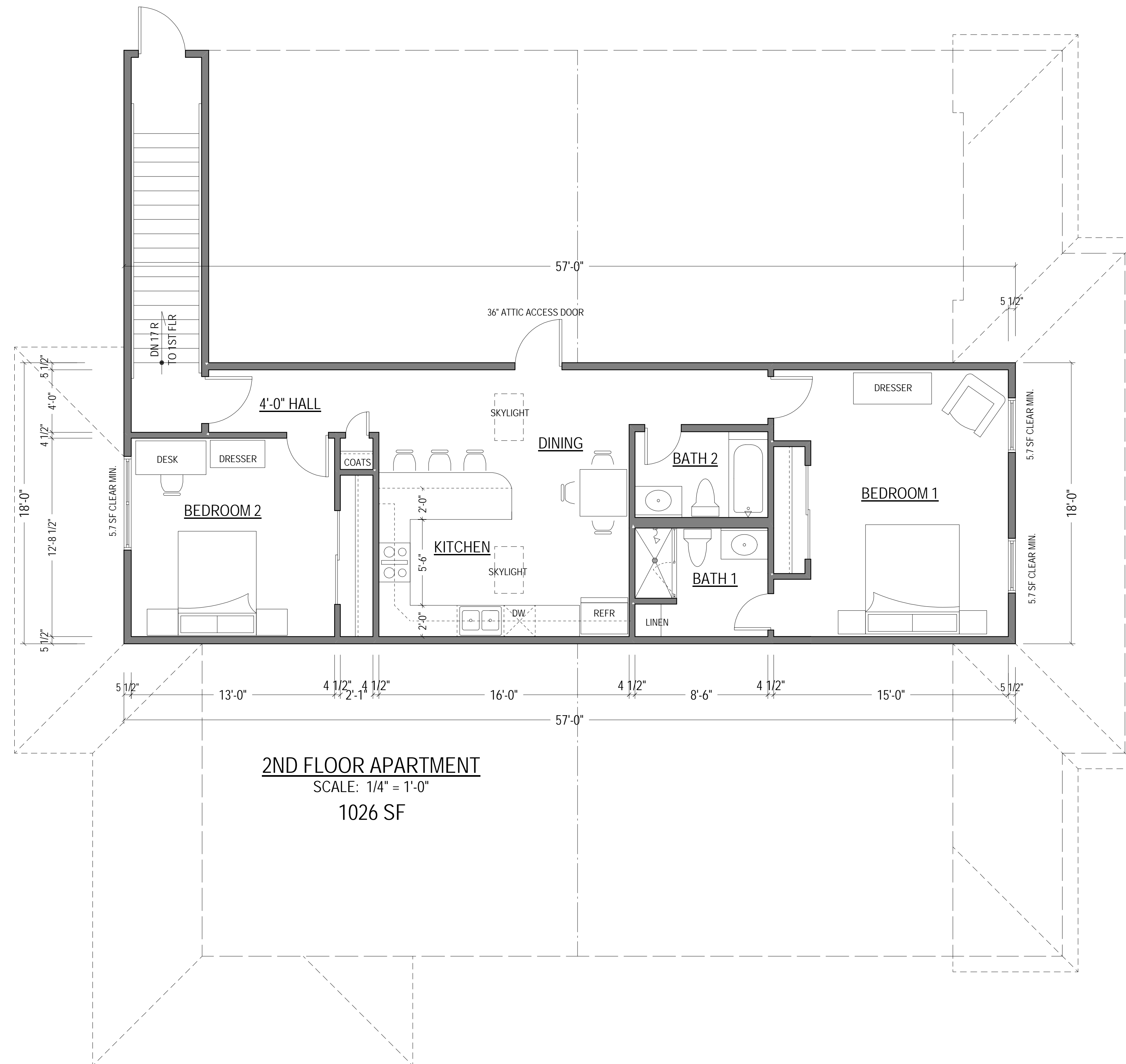
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DATE
12/23/22
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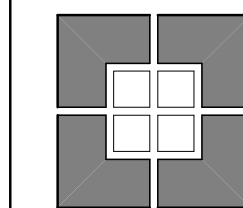
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SHEET NO.

A2
OF SHEETS



2ND FLOOR APARTMENT
SCALE: 1/4" = 1'-0"
1026 SF



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EMAIL: SKIFFARCH@GMAIL.COM

FOUNDATION / BASEMENT PLAN
PROPOSED RESTAURANT / BAR
340 OLD McHENRY ROAD
LONG GROVE, ILLINOIS 60047

PRELIMINARY

DRAWN BY
DPS

CHECKED BY

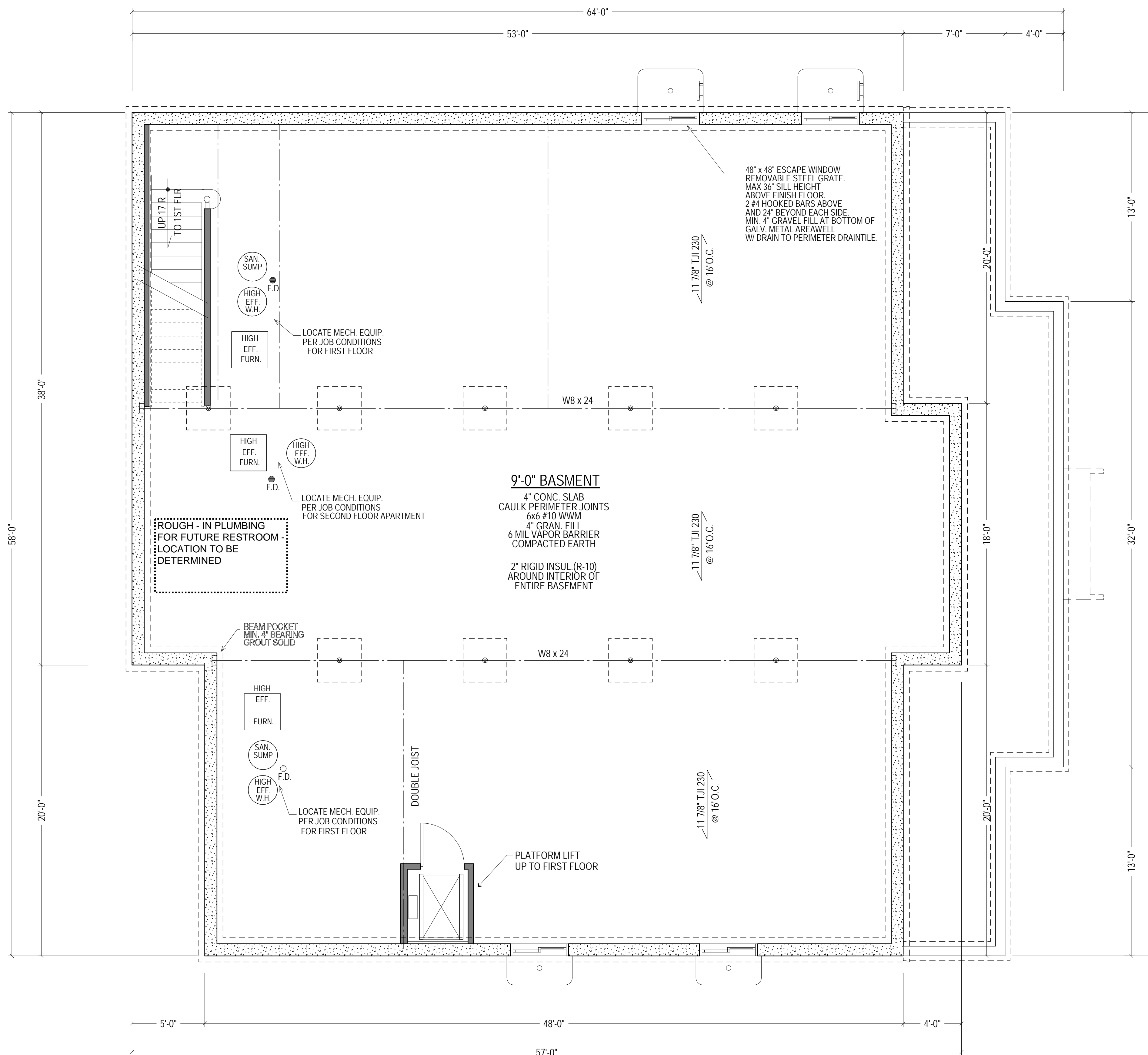
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REVISIONS

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restaurant.db

SHEET NO.

A3

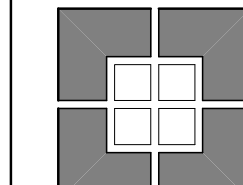
OF SHEETS



FOUNDATION / BASEMENT PLAN

SCALE: 1/4" = 1'-0"

BASEMENT = 3067 SF



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FRONT AND SIDE ELEVATIONS
PROPOSED RESTAURANT / BAR
340 OLD McHENRY ROAD
LONG GROVE, ILLINOIS 60047

PRELIMINARY

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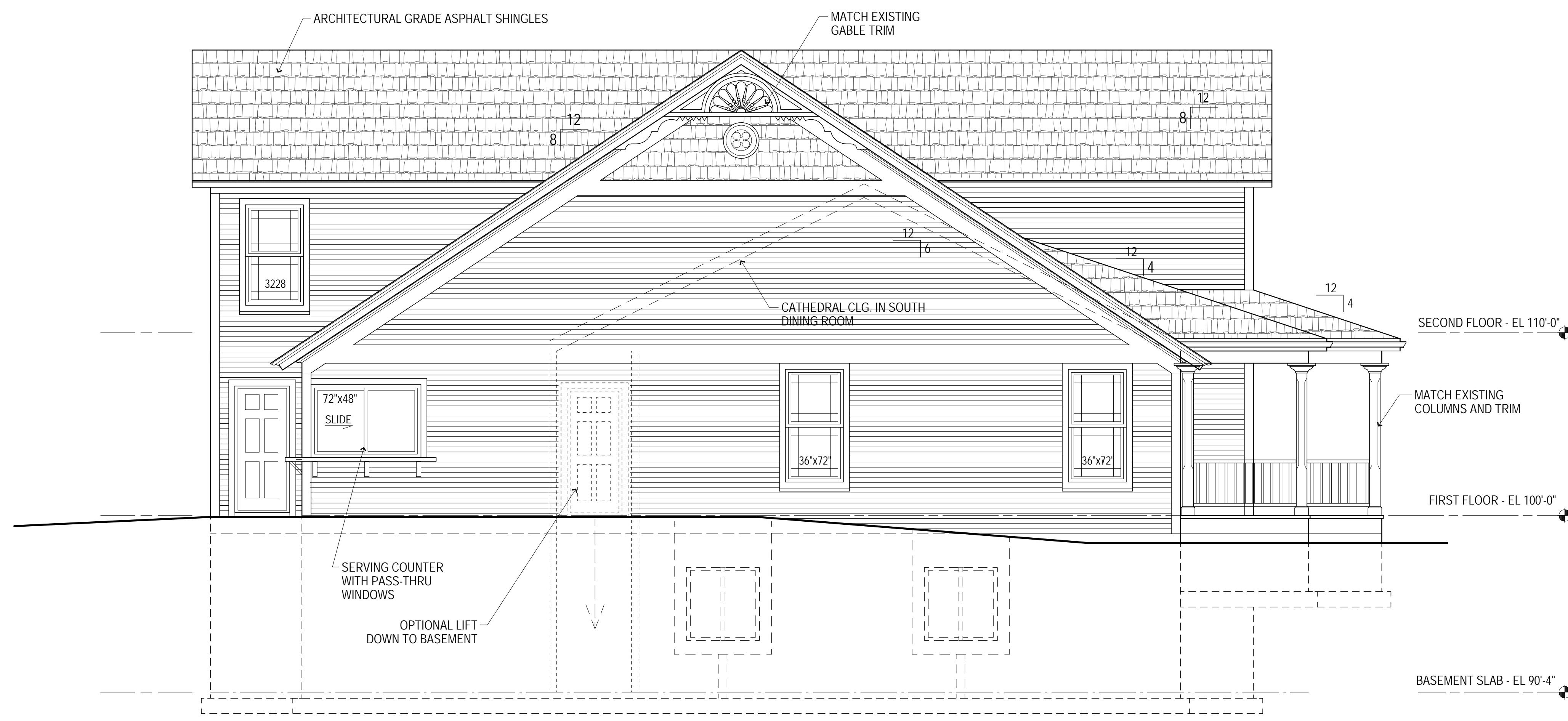
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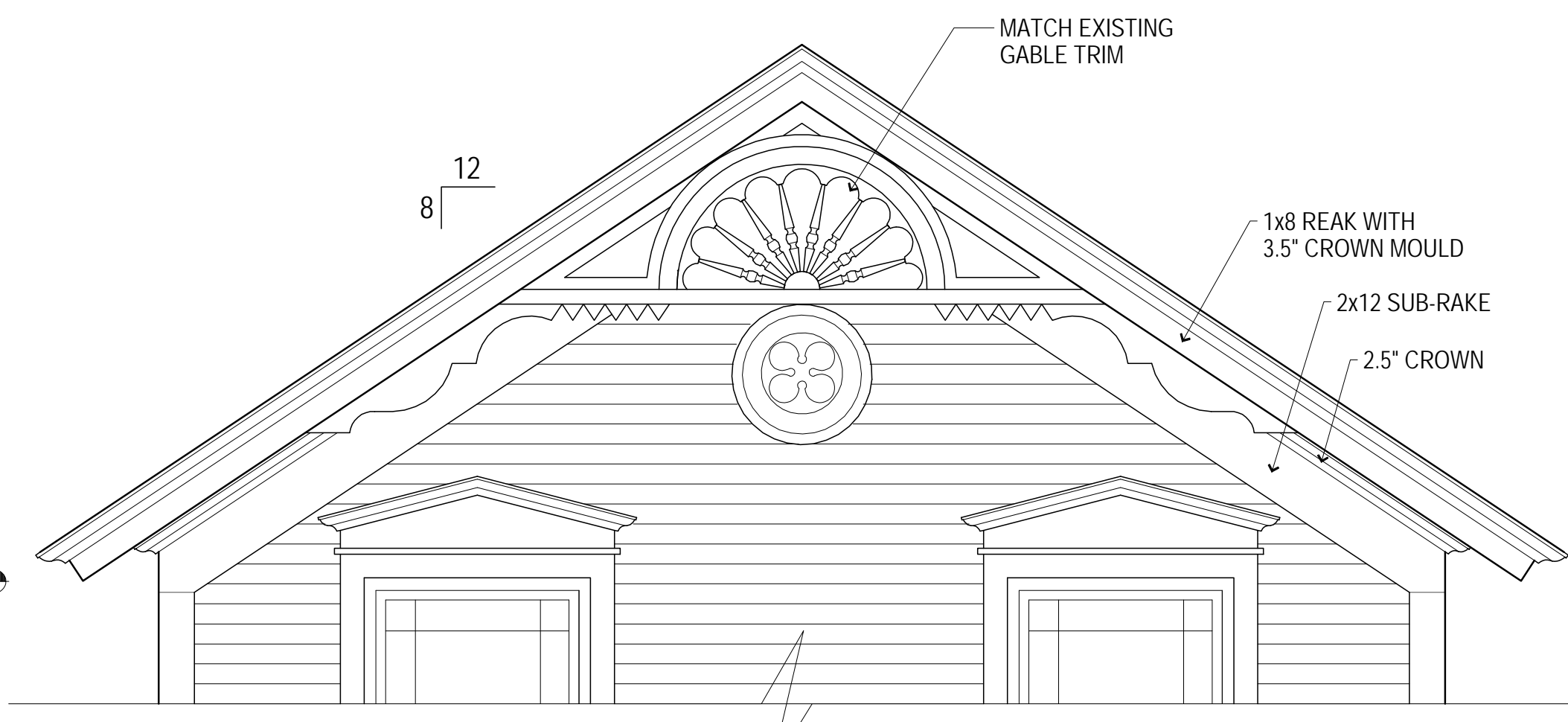
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A4
OF SHEETS



SE SIDE ELEVATION
SCALE: 1/4" = 1'-0"

NOTE: NEW BUILDING TO MATCH ALL TRIM AND COLORS OF THE ORIGINAL BUILDING



TRIM DETAIL
SCALE: 1/2" = 1'-0"

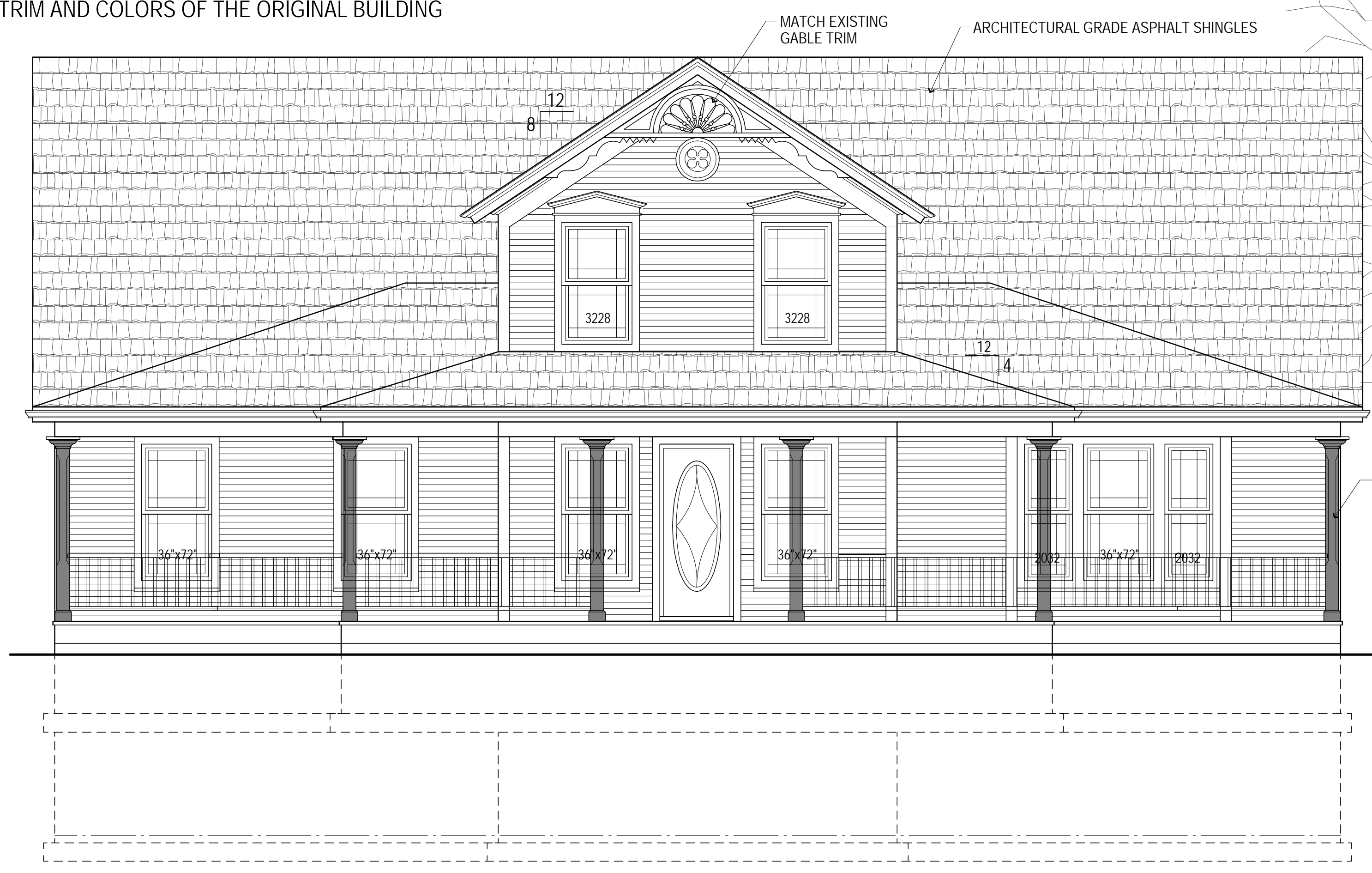
NOTE: NEW BUILDING TO MATCH ALL TRIM AND COLORS OF THE ORIGINAL BUILDING



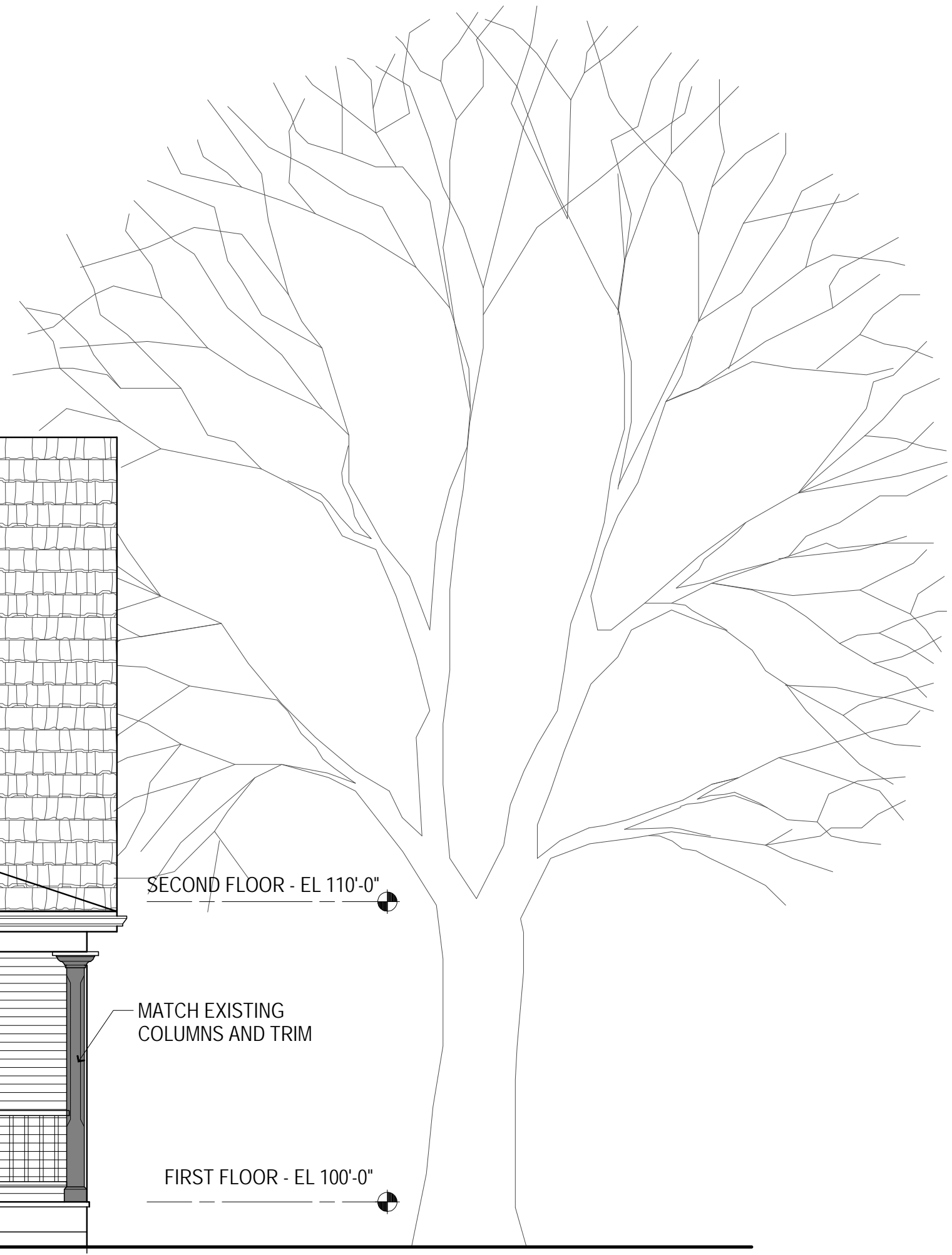
EXISTING FRONT (EAST) GABLE
NO SCALE

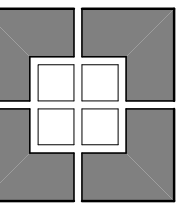


EXISTING FRONT (EAST) VIEW
NO SCALE



FRONT (NE) ELEVATION
SCALE: 1/4" = 1'-0"





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WEST AND NORTH ELEVATIONS
PROPOSED RESTAURANT / BAR
340 OLD McHENRY ROAD
LONG GROVE, ILLINOIS 60047

PRELIMINARY

DRAWN BY
DPS

CHECKED BY

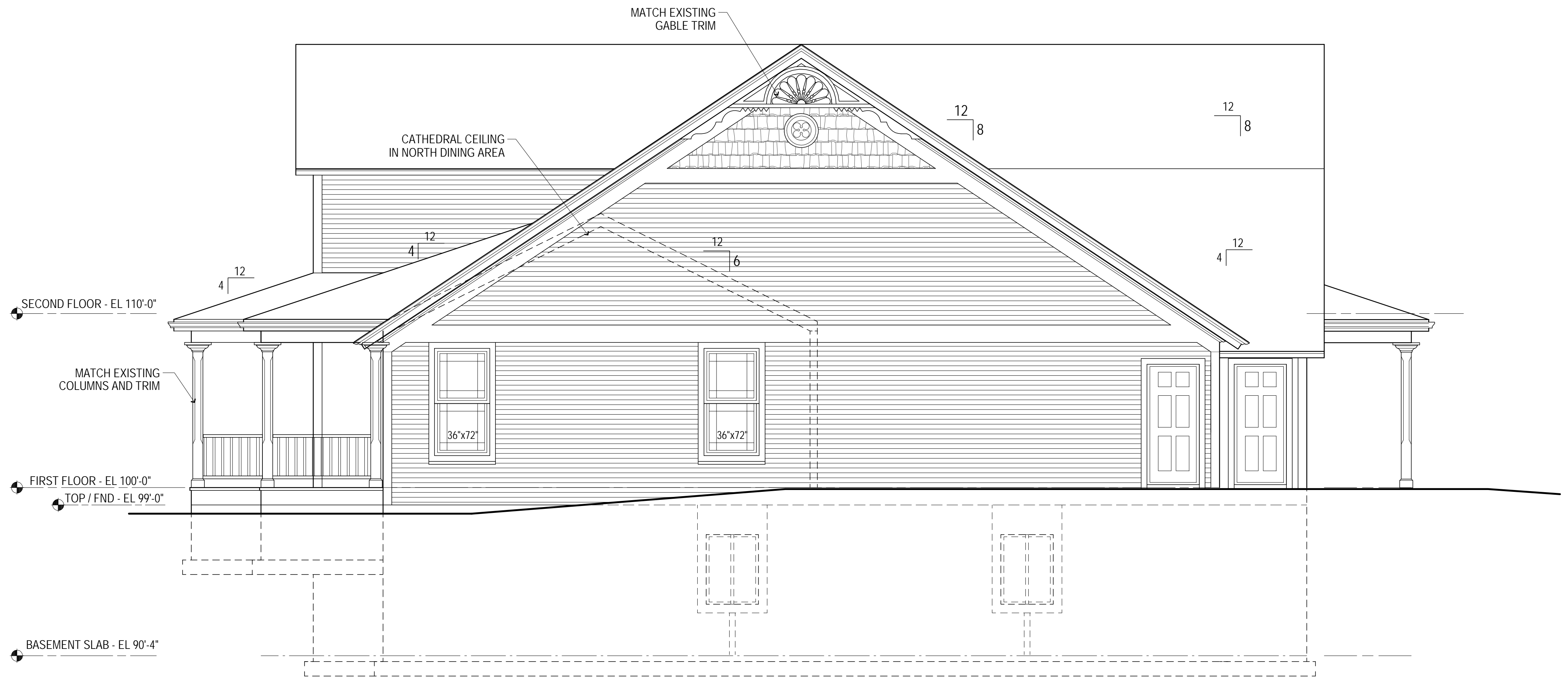
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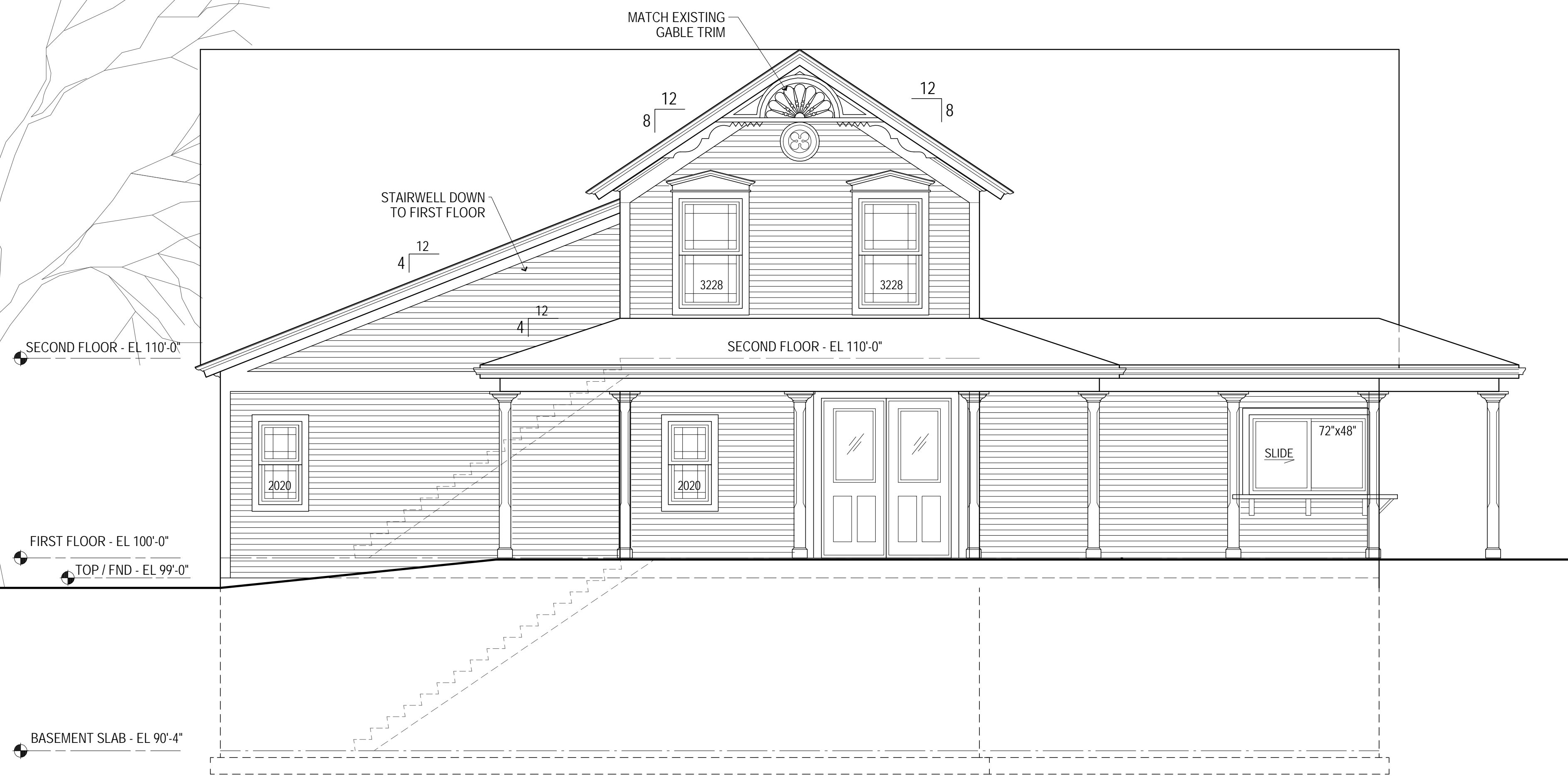
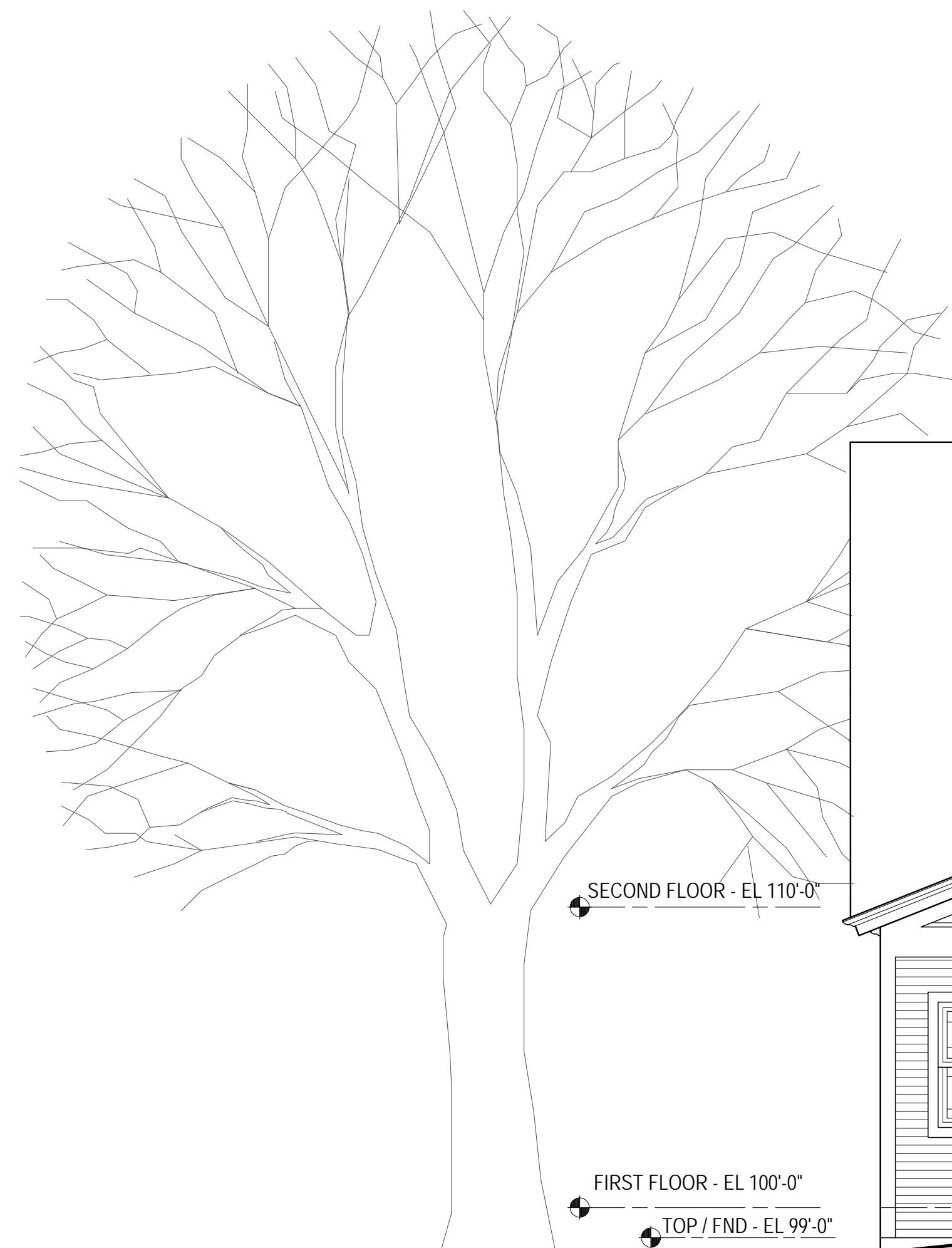
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A5

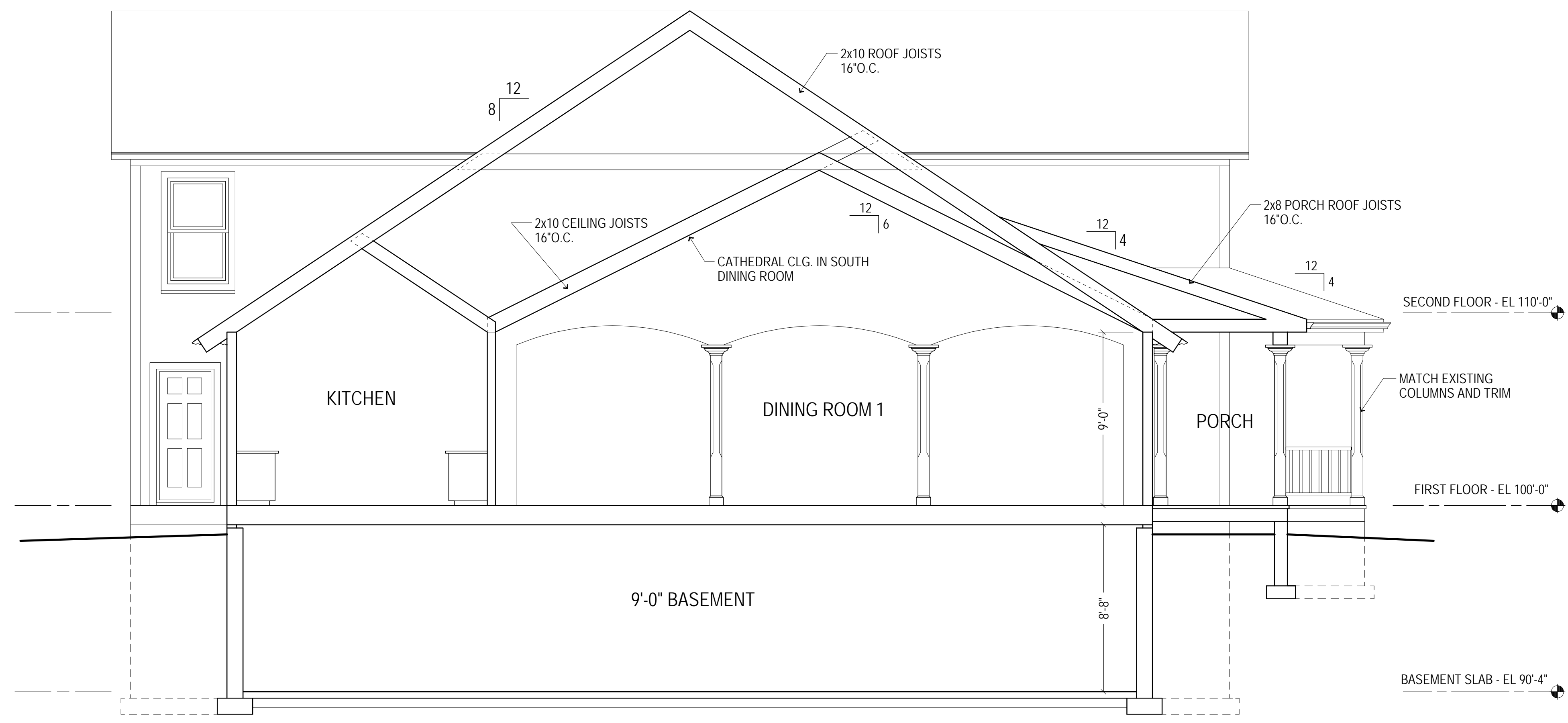
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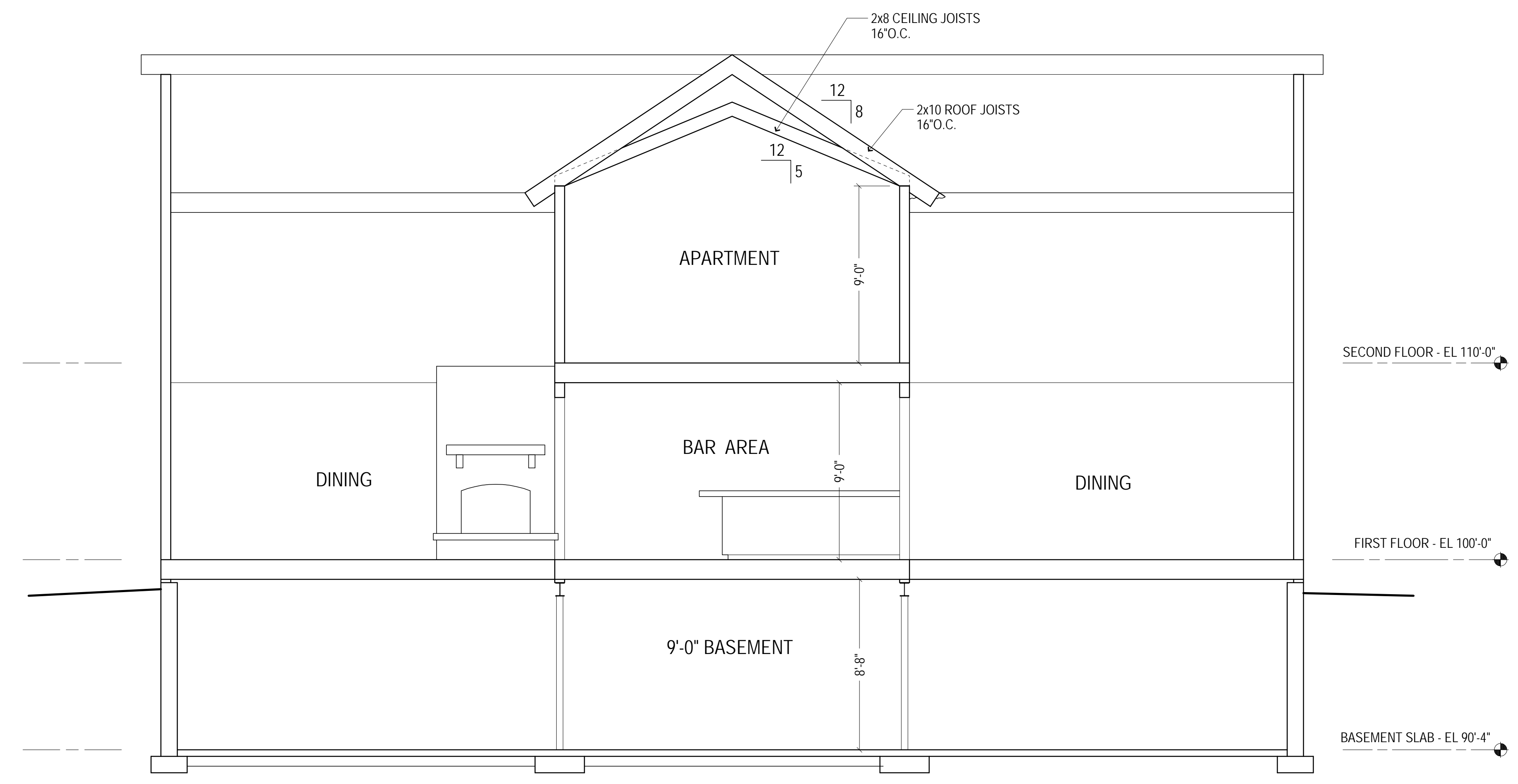
NORTH SIDE ELEVATION
SCALE: 1/4" = 1'-0"



WEST (REAR) ELEVATION
SCALE: 1/4" = 1'-0"



EAST-WEST BUILDING SECTION
SCALE: 1/4" = 1'-0"



NORTH - SOUTH BUILDING SECTION
SCALE: 1/4" = 1'-0"

PLAT OF SURVEY

LOT 1, 3 AND 4 IN RED OAKS, BEING A SUBDIVISION OF PART OF THE NORTHWEST 1/4 IN SECTION 30, TOWNSHIP 43 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 26, 1986 AS DOCUMENT 2519282, AND AMENDED BY CERTIFICATE OF CORRECTION RECORDED JULY 16, 1987 AS DOCUMENT 2590825 AND FURTHER AMENDED BY CERTIFICATE OF CORRECTION RECORDED JULY 27, 1987 AS DOCUMENT 2594571, IN LAKE COUNTY, ILLINOIS.




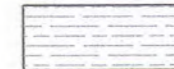
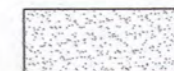



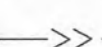




























COMMONLY KNOWN AS: 340-344 OLD McHENRY ROAD, LONG GROVE, ILLINOIS 60647

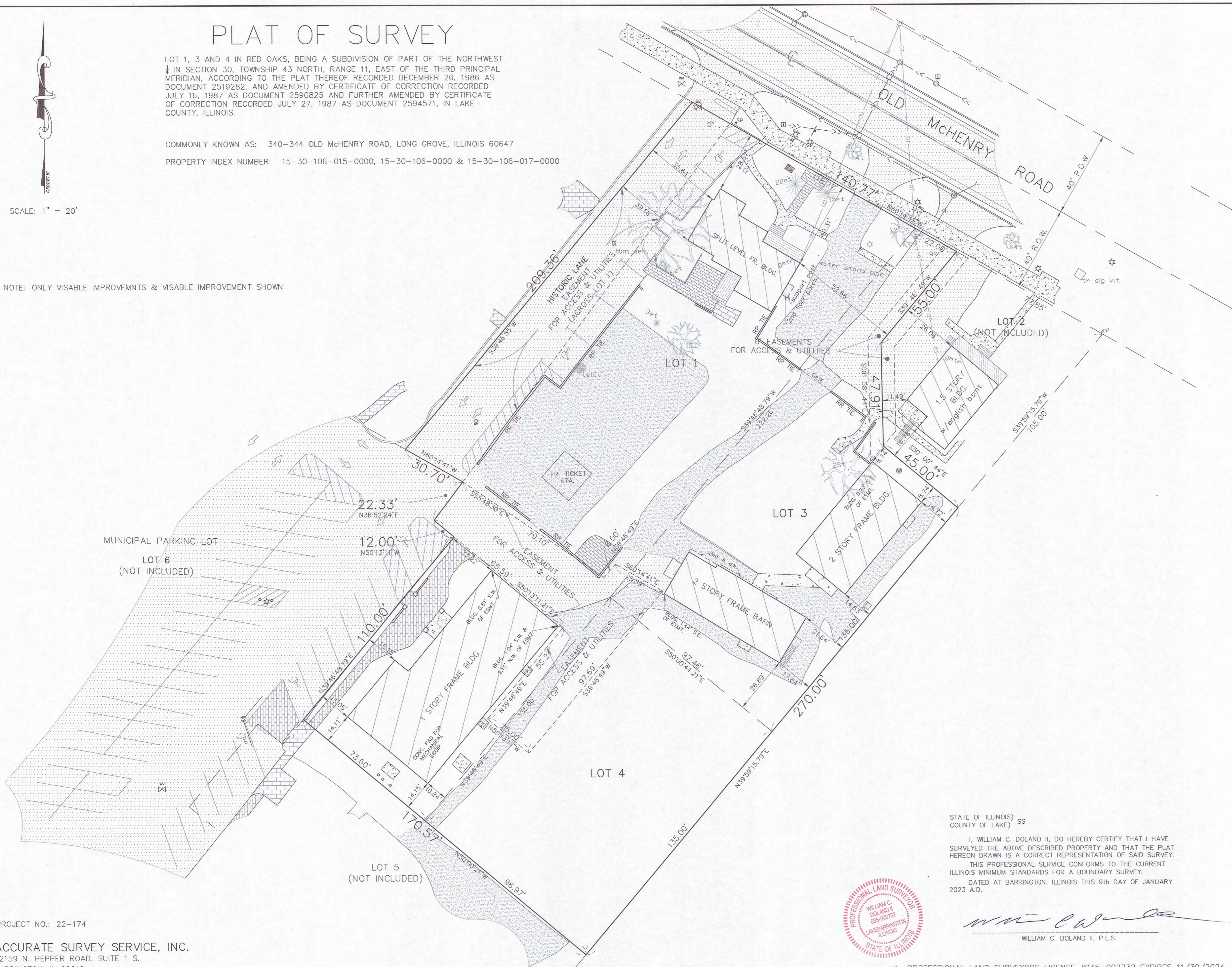
PROPERTY INDEX NUMBER: 15-30-106-015-0000, 15-30-106-0000 & 15-30-106-017-0000

SCALE: 1" = 20'

NOTE: ONLY VISABLE IMPROVEMNTS & VISABLE IMPROVEMENT SHOWN

LEGEND

-  = BRICK PAVEMENT
-  = CONCRETE PAVEMENT
-  = BITUMINOUS PAVEMENT
-  = WOOD DECK
-  = GRAVEL PAVT.
-  = STORM SEWER INLET
-  = STORM SEWER CATCH BASIN
-  = STORM MANHOLE
-  = STORM SEWER
-  = SANITARY SEWER
-  = WATER VALVE VAULT
-  = WATER VALVE
-  = B-BOX
-  = FIRE HYDRANT
-  = WATER MAIN
-  = PRIVATE WELL
-  = GAS VALVE
-  = GAS METER
-  = GAS LINE
-  = OVERHEAD UTILITY LINES
-  = OVERHEAD ELECTRIC LINES
-  = OVERHEAD TELEPHONE LINE
-  = UTILITY POLE
-  = ELECTRIC TRANSFORMER
-  = TELEPHONE PEDESTAL
-  = FLAG POLE
-  = 2.5' TALL RR TIE WALL
-  = STREET SIGN/STOP SIGN
-  = WOOD GROUP BUSINESS SIGN POST
-  = TRAFFIC SIGN & HANDICAP PARKING SIGN
-  = VILLAGE STREET LAMP
-  = PRIVATE LAMP POST
-  = FLAG POLE
-  = BOLLARD
-  = MONITOR TEST WELL
-  = DECIDUOUS TREE
-  = EVERGREEN TREE



STATE OF ILLINOIS) SS
COUNTY OF LAKE)

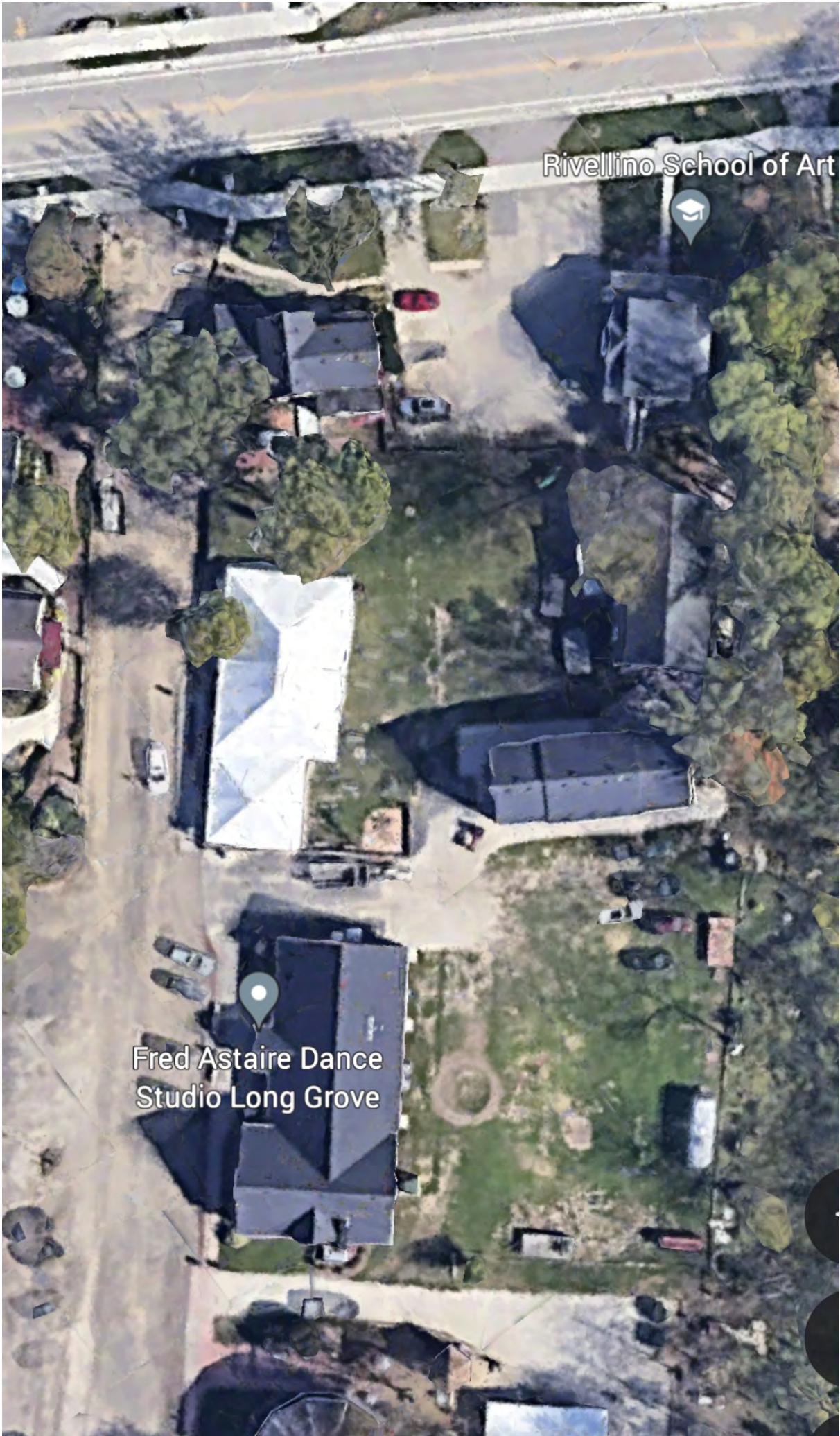
I, WILLIAM C. DOLAND II, DO HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THE PLAT HEREON DRAWN IS A CORRECT REPRESENTATION OF SAID SURVEY. THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY. DATED AT BARRINGTON, ILLINOIS THIS 9th DAY OF JANUARY 2023 A.D.



William C. Doland II
WILLIAM C. DOLAND II, P.L.S.

IL PROFESSIONAL LAND SURVEYORS LICENSE #035-002732 EXPIRES 11/30/2024
IL PROFESSIONAL DESIGN FIRM LICENSE #184.007987-008 EXPIRES 04/22/2023

PROJECT NO.: 22-174
ACCURATE SURVEY SERVICE, INC.
22159 N. PEPPER ROAD, SUITE 1 S.
BARRINGTON, IL 60010
PHONE: (847) 381-8735



Rivellino School of Art



Fred Astaire Dance Studio Long Grove







7-2-4: LONG GROVE STYLE:

(A) Description: The Long Grove style shall be described as follows: The historic buildings of the village are a blend of two (2) traditions, generally recognized by architectural historians as:

1. The Greek revival, which was typical of buildings built before the Civil War and which was in many respects a continuation of the colonial period. Roof pitches were lower than colonial, gables usually turned to the street, cornices, pilasters and columns, where present, were Greek in proportion and inspiration.

2. The Victorian, which was typical of buildings built from after the Civil War to 1890. Ceilings were higher, windows larger, ornamentations and columns often very elaborate and not derived from classical sources. (Ord., 5-22-1973)

(B) Examples: The following buildings in or near the village are suggested examples of proportion detail and general feeling and are considered typical of Long Grove style:

1. Stemple Store on the southwest corner of Old McHenry and Long Grove Roads.
2. Sauer-Hans Store on the southeast corner of Old McHenry and Long Grove Roads.
3. Sauer-Summer Kitchen attached to Sauer Barn behind Sauer-Hans Store.
4. Sauer-Hans, south of Sauer-Hans Store.
5. Long Grove Church.
6. Kitson Residence on the west side of Quentins Road just north of Palatine Road.
7. Bergland Home on Hicks Road south of Route 53. (1979 Code)

(C) Consideration In Judging Plans: In judging plans for the Long Grove style, the following points are considered as descriptive of the existing type buildings listed above:

1. Roofs: Shall be pitched four to twelve (4:12) or steeper and must join at a hip. Pitched roofs shall be visible from all exterior elevations. Mansard roofs are permissible if they clearly follow an historic precedent.
2. Cornices: Boxed on main buildings; overhang not to exceed one foot (1'); fascia boards broad; liberal use of mouldings.
3. Walls: Clapboards, vertical boarding; brick, smooth or sanded, soft light red color or painted; split faced limestone laid with natural bedding or fieldstone, no stone not native to area.
4. Sash: Shall be double hung casement or fixed. In a Greek revival building sash, light size shall not exceed ten inches horizontal by fourteen inches vertical (10" x 14"). In a victorian building, it shall not exceed sixteen inches horizontal by thirty inches vertical (16" x 30").

Fixed display windows shall be divided by muntins to the above standards except as modified with documented historic precedent.

5. Doors: Raised panel construction with or without glass panels.

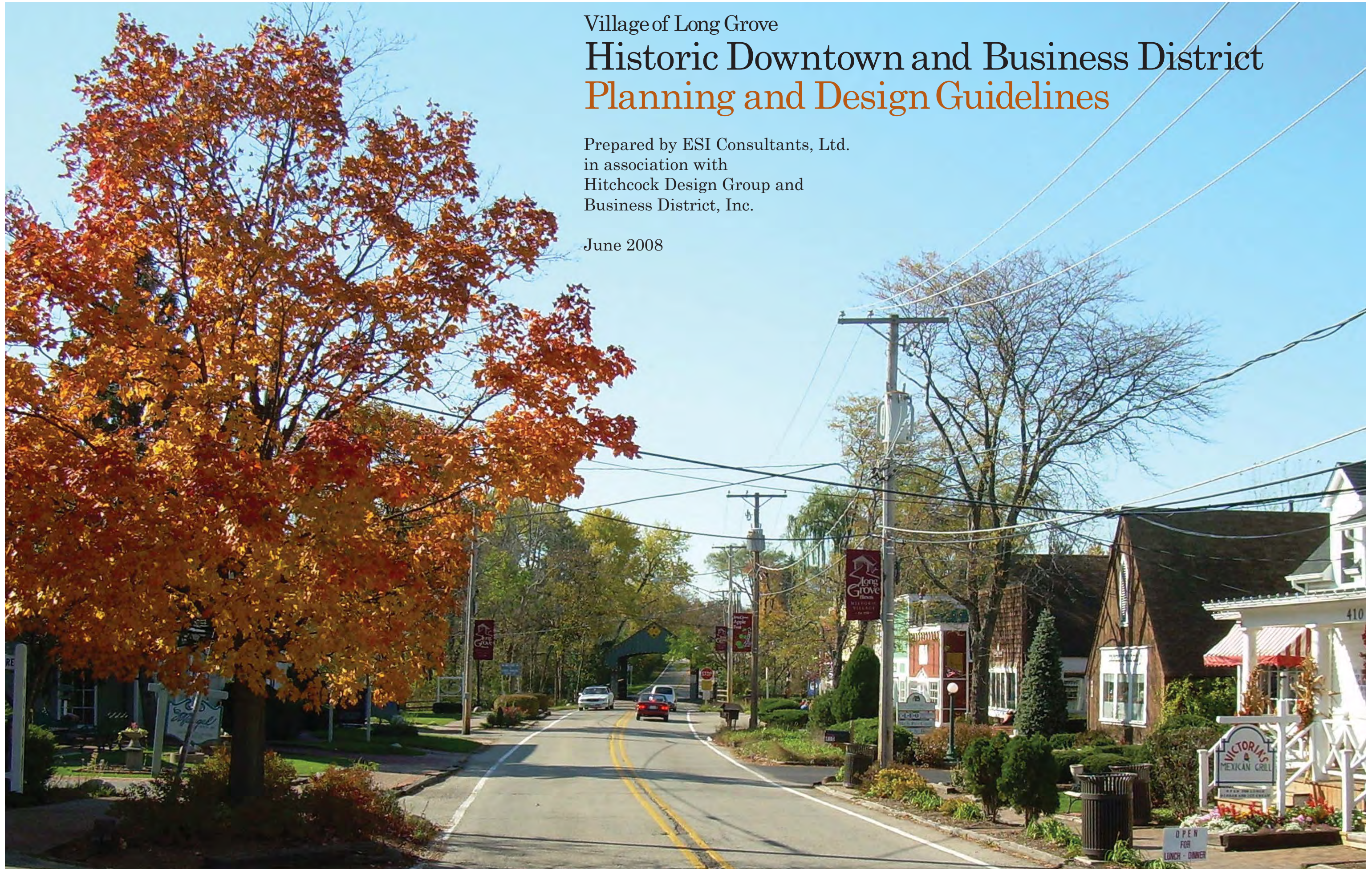
6. Paint: Buildings or trim shall be painted in colors appropriate to period of Long Grove style. Exact samples of color scheme must be submitted. This must be done on any repainting and new construction. The manufacturer's name and number must also be included.

Village of Long Grove

Historic Downtown and Business District Planning and Design Guidelines

Prepared by ESI Consultants, Ltd.
in association with
Hitchcock Design Group and
Business District, Inc.

June 2008



Contents

Section 1

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Introduction

These Guidelines have been created to ensure that the high quality, eclectic pattern of development within the Village of Long Grove's Historic Downtown is preserved and strengthened. In addition, the Guidelines are intended to ensure that the quality of new commercial development Village wide aligns with the character of and the uses within the Historic Downtown. The Guidelines are structured to support the goals and objectives identified in the Downtown Long Grove Master Plan that was approved by the Village Board in May 2008.

The Village and the appropriate design and development reviewing bodies will reference these Guidelines and the Long Grove Municipal Code when evaluating new proposals. In instances where a proposed development varies from the Guidelines or other municipal regulations, the applicant will likely have to submit their proposal as a Planned Unit Development. Proposed developments should also reference other applicable Village, State, and / or Federal regulations.

The Guidelines have been prepared with the understanding that redevelopment of Downtown's existing historic core and the surrounding commercial areas will be a process of making continuous and incremental improvements over time. With community leadership, business owners, land owners, and other dynamics that shape Downtown continuously evolving, the Guidelines must at all times must be supplemented with well-reasoned good judgement and an underlying spirit of goodwill in order to maximize the potential benefits that the Guidelines can provide.

Districts and Sub-districts

Long Grove's greater downtown business area is comprised of two major districts, each of which has two Sub-districts.

Long Grove Historic Downtown

Historic Downtown includes the *Historic Core Sub-district* located in the area around the intersection of Old McHenry Road and Robert Parker Coffin Road and the *Triangle Sub-district* adjacent to the Historic Core. The Historic Downtown district is illustrated in orange on the map on the following page.

Within the Historic Downtown, there are planning and design guidelines for *public improvements* that include roadway right-of-ways, the two major public parking lots, and other public spaces. There are also guidelines for *Privately-owned properties*.

Long Grove Business District


The Long Grove Business District includes the existing and emerging commercial development that is located outside of the Long Grove Historic Downtown. The Business District includes the *Route 53 Sub-district* and the *Route 83 Sub-district*. The Business District is shown in blue in the map on the following page.

Similar to the Historic District, there are planning and design guidelines for *public improvements* and *Privately-owned properties* within the Long Grove Business District.

Planning and Design Guidelines
Village Diagram

- Historic Downtown Publicly-owned
- Business District Publicly-owned

Scale: Not to Scale




Planning and Design Principles

- 1) Maintain a compact and walkable retail core.
- 2) Enhance the comfort, safety, and hospitality offered to visitors and residents.
- 3) Provide alternative roadway connections by creating a new network of local streets.
- 4) Improve the distribution and convenience of parking.
- 5) Enhance existing open spaces.
- 6) Create new, family-friendly public spaces along Buffalo Creek.
- 7) Create new public opens spaces along Old McHenry Road in the Triangle Sub-district.
- 8) Avoid development located within the Buffalo Creek floodplain between Illinois Route 53 and Robert Parker Coffin Road.
- 9) Create pedestrian pathway connections between public spaces, commercial developments, residential areas, and regional trail systems.
- 10) Ensure that new development aligns with the character and uses within the Historic Downtown.
- 11) Promote signature design with a focus on corners of roadway intersections.
- 12) New and in-fill development is encouraged to meet the standards of the U.S. Green Building Council's Leadership in Energy and Environmental Design (LEED) Green Building Rating System for the design, construction, and operation of buildings.

Section 1

Planning and Design Guidelines for Privately Owned Properties

Planning and Design Guidelines

Privately-owned Properties

Historic Downtown

Uses

Land uses within the Historic Downtown must be compliant with uses set forth in the Long Grove Municipal Zoning Code, Title 5. The following uses will be allowed within the zoning district under a Planned Unit Development.

Historic Core Sub-district

- Retail
- Office
- Open Space
- Parking

Open Space
Only passive recreation is allowed

Mixed-Use
Retail and Office

Open Space
No development allowed within the floodplain
Only passive recreation is allowed



*Please note the design for the Historic Core Sub-district is conceptual and does not represent the final design of the area. More than one design solution is possible and creative proposals for the final site design are encouraged by the Village of Long Grove

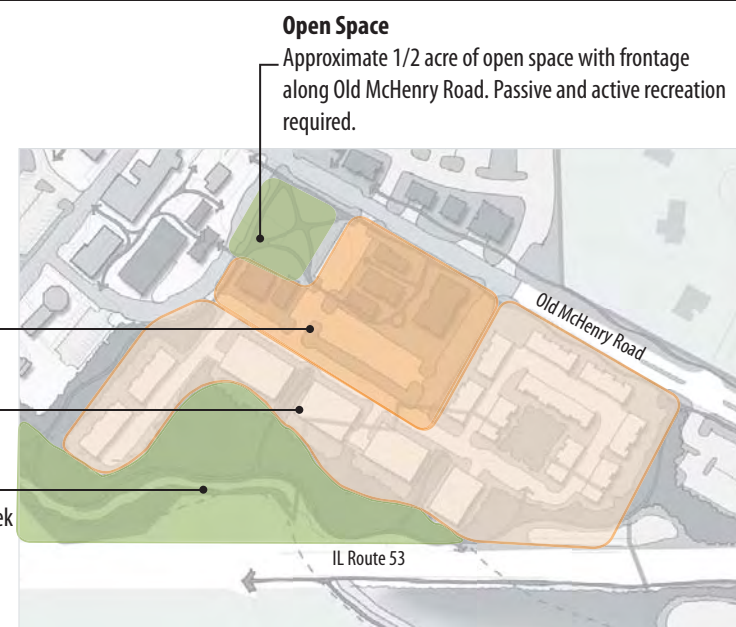
Triangle Sub-district

- Retail close to existing downtown
- Office on upper floors or east of retail area
- Hotel on upper floors or east of retail area
- Residential
- No buildings and / or roads located within the Buffalo Creek Floodplain

Mixed-Use
Retail and Office

Mixed-Use
Commercial / Office / Residential / Hospitality

Open Space
No development allowed within the Buffalo Creek Floodplain between Old McHenry Road and IL Route 53.
Only passive recreation is allowed



Open Space
Approximate 1/2 acre of open space with frontage along Old McHenry Road. Passive and active recreation required.

*Please note the design for the Triangle Sub-district is conceptual and does not represent the final design of the area. More than one design solution is possible and creative proposals for the final site design are encouraged by the Village of Long Grove

Business District

Uses

Land uses within the Business District must be compliant with uses set forth in the Long Grove Municipal Zoning Code, Title 5. The following uses will be allowed within the zoning district under a Planned Unit Development.

Route 83 Sub-district

- Retail (In-line, anchor, and outlot)
- Office as a stand alone building or in a location that does not break continuous retail frontages
- Residential appropriate on south end

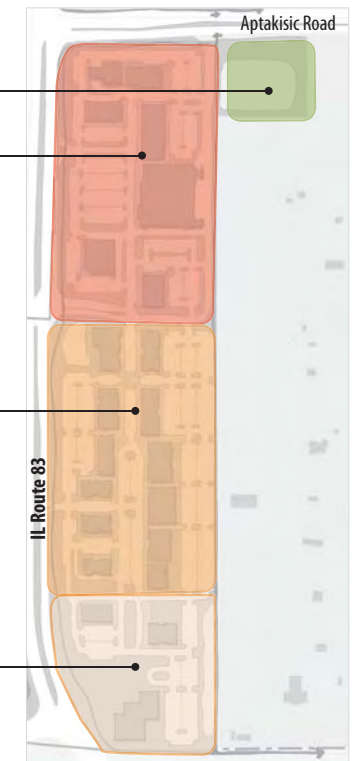
*Please note the design for the Route 83 Sub-district is conceptual and does not represent the final design of the area. More than one design solution is possible and creative proposals for the final site design are encouraged by the Village of Long Grove.

Detention / Open Space

Retail

Mixed-Use
Retail and Office

Mixed-Use
Commercial / Office / Residential / Hospitality



Route 53 Sub-district

- Drive to retail on the west corner of Old McHenry Road and IL Route 53. No banks, drugstores, gas stations, or drive-thrus will be allowed.
- Office per existing Planned Unit Development
- Residential south of IL Route 53
- No buildings and / or roads located within the Buffalo Creek Floodplain.

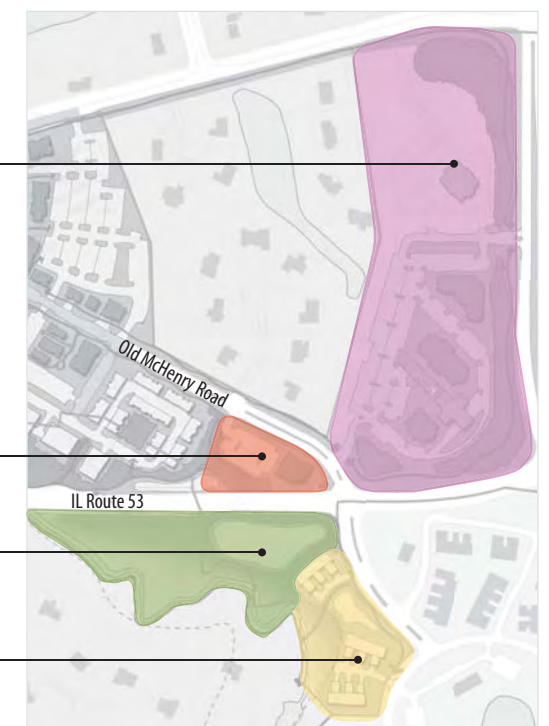
*Please note the design for the Route 53 Sub-district is conceptual and does not represent the final design of the area. More than one design solution is possible and creative proposals for the final site design are encouraged by the Village of Long Grove.

Office

Retail

Detention / Open Space

Residential



Planning and Design Guidelines

Privately-owned Properties, *continued*

Historic Downtown

Bulk, Space, and Yard Requirements

Height

Follow the requirements set forth in the Long Grove Municipal Code, 5-4-10, Bulk, Space, and Yard Requirements with, to the greatest extent possible, the below additions / exceptions:

- Building heights of new or in fill development should complement the existing pattern of building heights.
- New buildings should reflect the width and height proportionate to neighboring structures. Roof must maintain a compatible roof form and line with adjacent buildings.

Triangle Sub-district Height

- Maximum of 30 feet adjacent to Old McHenry Road
- Maximum of 40 feet set back a minimum of 200 feet from Old McHenry Road



Triangle Sub-district

Yards and Setbacks

Follow the requirements set forth in the Long Grove Municipal Code, 5-4-10, Bulk, Space, and Yard Requirements with, to the greatest extent possible, the below additions / exceptions:

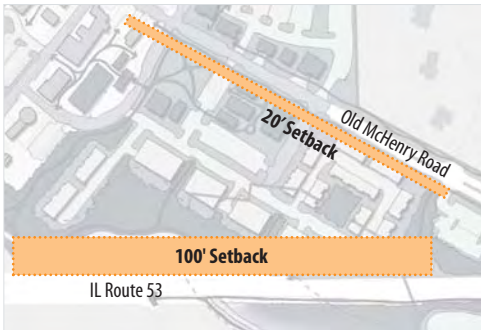
- Setback areas within the Historic Downtown should work in tangent to maintain the alignment of facades adjacent to the sidewalks and pedestrian areas.
- Setbacks should create a positive image and should be similar in dimension to setbacks of adjacent buildings.
- Exceptions may be granted if the proposed setback is pedestrian focused and contributes to the quality and character of the streetscape.

Historic Core Sub-district Minimum Setbacks

- From Old McHenry Road: 20 feet
- From Robert Parker Coffin Road: 10 feet

Triangle Sub-district Minimum Setbacks

- From Old McHenry Road: 20 feet
- From Illinois Route 53: 100 feet



Triangle Sub-district

Coverage

Follow the requirements set forth in the Long Grove Municipal Code, 5-4-10, Bulk, Space, and Yard Requirements with, to the greatest extent possible, the below additions / exceptions:

- A variety of sizes and massing is encouraged in the Triangle Sub-district.
- New building should respect the scale of Downtown.

Historic Core Sub-district Coverage

- Structural Coverage: 7,000 square feet
- Gross Impervious Coverage: 85%

Triangle Sub-district Coverage

- Structural Coverage: 7,000 square feet
- Gross Impervious Coverage: 85%

Business District

Bulk, Space, and Yard Requirements

Height

Follow the design recommendations listed for the Historic Downtown with the below differences:

Route 83 Sub-district Height

- Maximum of 40 feet for commercial uses
- Maximum of 30 feet for residential uses

Route 53 Sub-district Height

- Maximum of 40 feet commercial uses
- Maximum of 30 feet for residential uses



Route 53 Sub-district

Route 83 Sub-district

Yards and Setbacks

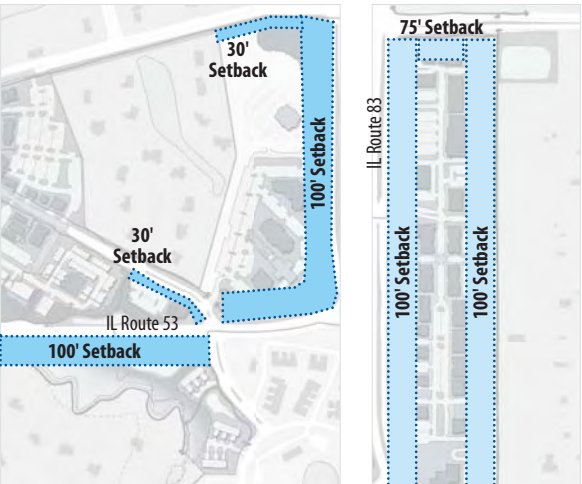
Follow the design recommendations listed for the Historic Downtown with the below differences:

Route 83 Sub-district Building Setbacks

- From Illinois Route 83: 100 feet
- From Aptakasic Road: 75 feet
- From adjacent residential: 100 feet

Route 53 Sub-district Building Setbacks

- From Illinois Route 83: 100 feet
- From Illinois Route 53: 100 feet
- From Robert Parker Coffin Road: 30 feet
- From Illinois Route 53, west of McHenry Road: 30 feet
- From Fremont Way: Match existing residential setbacks



Route 53 Sub-district

Route 83 Sub-district

Coverage

Follow the design recommendations listed for the Historic Downtown with the below differences:

Route 83 Sub-district Coverage

- Floor Area Ratio: 0.16
- Gross Impervious Coverage: 72.5%

Route 53 Sub-district Coverage

- Commercial Floor Area Ratio: 0.18
- Residential Floor Area Ratio: 0.40
- Gross Impervious Coverage: 45%
- Promenade Development: Follow PUD requirements

Planning and Design Guidelines

Privately-owned Properties, *continued*

Historic Downtown

Bulk, Space, and Yard Requirements

Orientation

- Primary entrance of the building should face the main access way, street, or other public spaces. The entrance should be easily identifiable by visitors and patrons.
- Configure the building to create focal points of pedestrian activity.
- Sites adjacent to residential uses should orient the building to minimize impacts to residents.
- Buildings within the Triangle Sub-district should be located along a street to create a more friendly pedestrian experience.
- Corner sites should be designed with attractive front building facades along both street frontages.
- Buildings should have a clear and functional tie between new and existing structures.
- Buildings should define edges of development blocks and should frame open space.
- No drive-thrus are allowed in the Historic Downtown.



Orient the front entrance to be adjacent to the main vehicular and pedestrian circulation.

Business District

Bulk, Space, and Yard Requirements

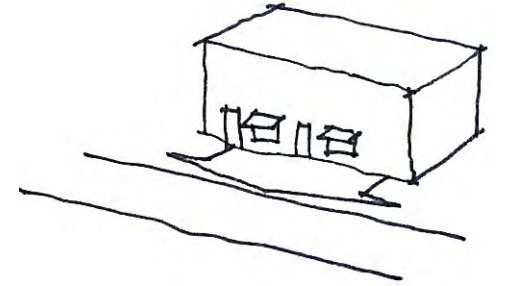
Orientation

Follow the design recommendations listed for the Historic Downtown with the below additions:

- Primary entrance of the building should face the main internal circulation streets.
- Configure the building to create focal points of pedestrian activity.
- Buildings within the Route 83 Sub-district should be located along a main axis or main street to create a more friendly pedestrian experience .
- Outlot buildings should be designed to have four-sided architecture.
- Office buildings should be designed to relate to existing structures on-site.
- Drive-thrus should be located to be screened from any public roadway.

Route 53 Sub-district Building Setbacks

- Proposed buildings should meet all PUD requirements while respecting the existing bank building.
- Alignment of proposed building should follow a northwest/southeast orientation, as shown to the right.



Orient the front entrance to be adjacent to the main vehicular and pedestrian circulation.



New buildings should be oriented to relate to the existing structure.

Sustainable Building Techniques

Property owners are encouraged to follow Leadership in Energy and Environmental Design (LEED) practices relating to building and construction techniques. New and restored building should utilize the LEED Register Project Checklist as a guide.

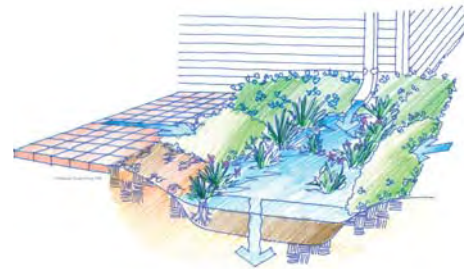
Example checklist topics include:

- Sustainable Sites
- Water Efficiency
- Energy and Atmosphere
- Materials and Resources
- Indoor Environmental Quality
- Innovation and Design Process

Additional information and LEED Project checklists can be found on the US Green Building Council website. <http://www.usgbc.org>

Common green building elements may include:

- Green Roofs
- Using locally fabricated materials
- Interior air quality
- Permeable paving
- Sustainable site design
- Green construction techniques



Rain gardens slow the stormwater runoff from impervious surfaces to allow infiltration back into the soil.



Native plants can reduce the amount of required watering, fertilizing, and maintenance.

Sustainable Building Techniques

Sustainable Building Techniques should be utilized for new development within the Business District. Follow the design recommendations listed for the Historic Downtown.



Naturalized detention is used to temporarily store storm stormwater on site and release it at a controlled rate.



A bioswale is used to slow the speed of surface runoff to allow the stormwater to infiltrate back into the ground.

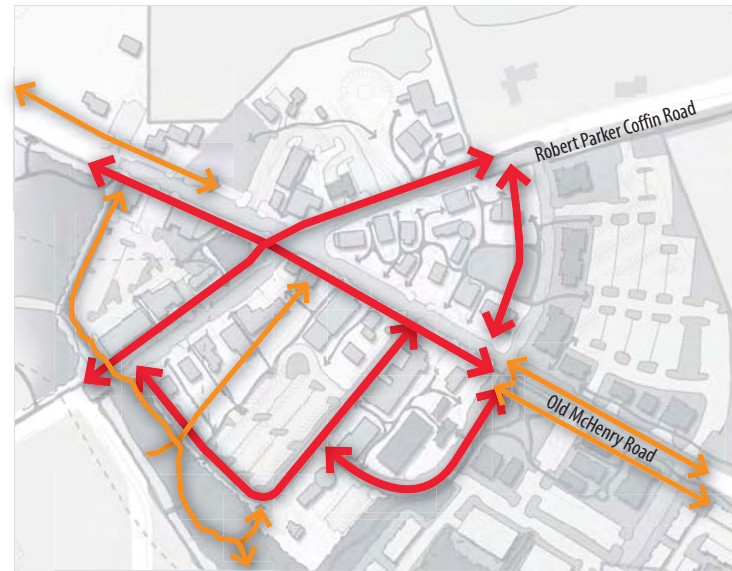
Planning and Design Guidelines

Privately-owned Properties, *continued*

Historic Downtown

Circulation and Trails

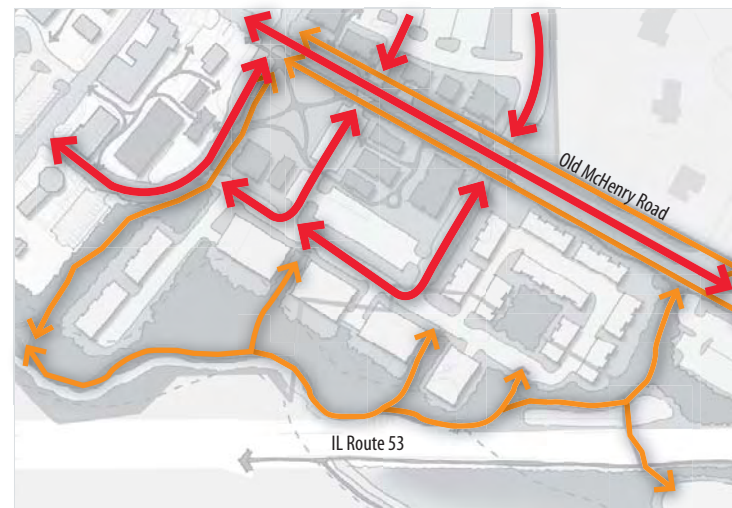
- Historic Core Sub-district**
- Create new roadway network by Fountain Square, Stempel Parking Lot, and connection to the Triangle Sub-district.
 - Sidewalks are required through parking lots.
 - Sidewalks in private areas should be constructed of concrete or clay pavers. Pavers can be installed on a gravel base.
 - Construct a rigid base under all pavers used for vehicular routes.
 - Trails must be 6-10 feet wide and constructed of asphalt or concrete.
 - Sidewalks and trails must meet current ADA code requirements.
 - Sidewalks and trails should facilitate major destinations and offer a safe and direct means of travel.
 - Design sidewalks and trails to provide water run-off and avoid puddling.
 - New private roadways and sidewalks should conform to the standards set in Section 2.



Historic Core Sub-district

- ↔ Primary Vehicular Circulation
- ↔ Primary Pedestrian Circulation

- Triangle Sub-district**
- Provide access to the Stempel Parking Lot from the Triangle Sub-district with new public roads and sidewalks.
 - Align new roadway entrances with new streets and / or parking lot entrances with new streets and parking lot connections.
 - Connect new trails throughout the Buffalo Creek floodplain to the Covered Bridge Trail and other regional trails.
 - Well marked sidewalks and crosswalks are required in parking lots.
 - Use concrete or clay pavers for sidewalks. Install pavers on a gravel base.
 - Create concrete or asphalt trails that are 6-10 feet in width and meet ADA code requirement.
 - Connect the Triangle site to other major destinations with safe and comfortable trails and sidewalks.
 - Design sidewalks and trails to facilitate water run-off and avoid puddling.
 - No new vehicular connections are permitted between Illinois Route 53 and Old McHenry Road.
 - Design new roadways and sidewalks so they conform to the standards set in Section 2 of these Guidelines.



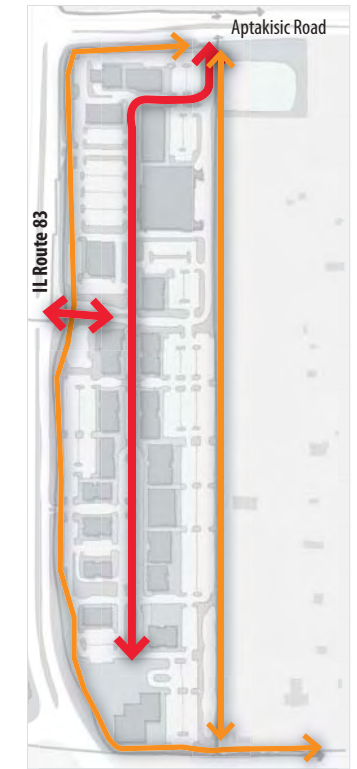
Triangle Sub-district

- ↔ Primary Vehicular Circulation
- ↔ Primary Pedestrian Circulation

Business District

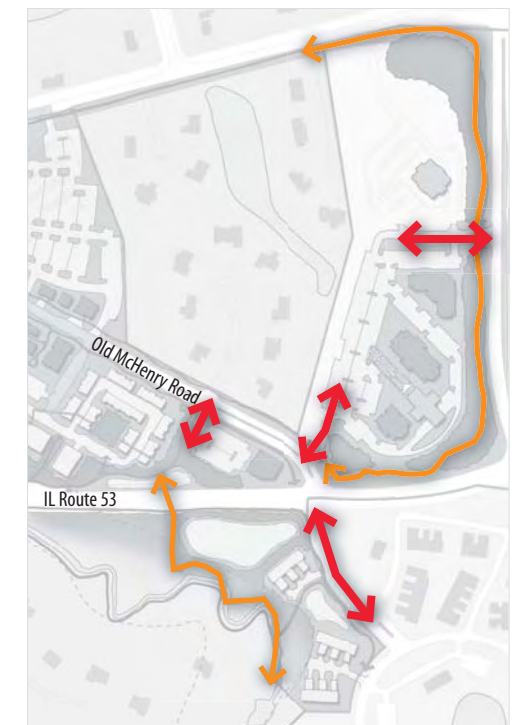
Circulation and Trails

- Route 83 Sub-district**
- Follow the design recommendations listed for the Historic Downtown with the below differences:
- Create new main axes or main street to connect various phases of development.
 - Align the main vehicular access from Illinois Route 83 with Robert Parker Coffin Road.
 - Permit only right in, right out access from Aptakasic Road.
 - Create a 10-12 foot wide multi-purpose trail along the east side of Illinois Route 83 that is safe and comfortable for pedestrians and cyclists.
 - Site should be designed to allow future vehicular connection at IL Route 83 and 53 intersection.



Route 83 Sub-district

- Route 53 Sub-district**
- Follow the design recommendations listed for the Historic Downtown.



Route 53 Sub-district

- ↔ Primary Vehicular Circulation
- ↔ Primary Pedestrian Circulation

Planning and Design Guidelines

Privately-owned Properties, *continued*

Historic Downtown

Buffer Yards, Landscaping, and Screening Requirements

Buffer Yards

Follow the requirements set forth in the Long Grove Municipal Code, 5-9-7, Buffer Yards, Landscaping, and Screening Requirements, to the greatest extent possible, except as listed below:

- Provide premium landscaping elements in all buffer yard.
- Place plants or planter pots by main building entrances. Use additional site furnishings / landscaping to provide a variety of aesthetically pleasing elements.
- **Remaining Sides:** Locate planting adjacent to building foundations.
- **Open Space:** Plan open spaces with a variety of shade and ornamental trees. Incorporate shrubs, grasses, groundcover, perennials, and annuals into planting areas.



An extensive variety of premium landscape features is highly desirable for the Historic Downtown Long Grove.

Landscaping

Follow the requirements set forth in the Long Grove Municipal Code, 5-9-7, Buffer Yards, Landscaping, and Screening Requirements, to the greatest extent possible, except as listed below:

- Retain as many existing trees and natural features as possible. Preserve existing vegetation that is environmentally beneficial and consistent with Long Grove's image and identity.
- Use native plants wherever possible.
- Plant trees, shrubs, groundcover, and perennial plantings in required setback areas.
- Use a wide variety of plant materials to provide seasonal interest.
- Reinforce the established landscape patterns of existing trees and lawns.
- Incorporate mass plantings wherever possible.
- A recommended planting list is included in Section 2. Selected plant material should be based on hardiness, disease resistance, ease of maintenance, and seasonal interest.
- Use landscaping features that comply with the tree preservation ordinance.



Planting a variety of perennials and annuals is encouraged.

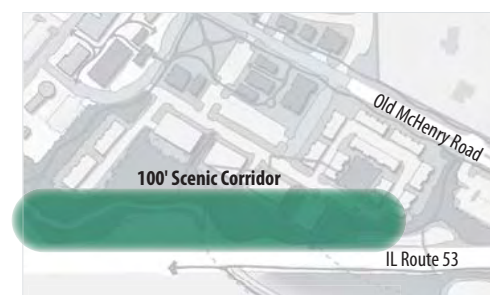
Screening / Scenic Corridor

Follow the requirements set forth in the Long Grove Municipal Code, 5-9-7. Buffer Yards, Landscaping, and Screening Requirements, to the greatest extent possible, except as listed below:

- **Buffer Plants:** Use plantings that contain a minimum of 50% evergreen trees that are 608 feet tall to allow for year long buffering.

Scenic Corridor Easement

- **Historic Sub-district:** None along Old McHenry Road
- **Historic Sub-district:** None along Robert Parker Coffin Road
- **Triangle Sub-district:** 100 foot from IL Route 53
- **Triangle Sub-district:** None along Old McHenry Road



Triangle Sub-district

Business District

Buffer Yards, Landscaping, and Screening Requirements

Buffer Yards

Follow the design recommendations listed for the Historic Downtown with the below differences:

- Landscape should visually tie adjacent buildings together to establish a continuation along street frontage.
- **Open Space:** Detention areas should be designed and planted in a natural manner.



Detention areas and buffer yards should incorporate natural forms and plant materials.

Landscaping

Follow the design recommendations listed for the Historic Downtown with the below addition:

- Non-native plant species should be limited.



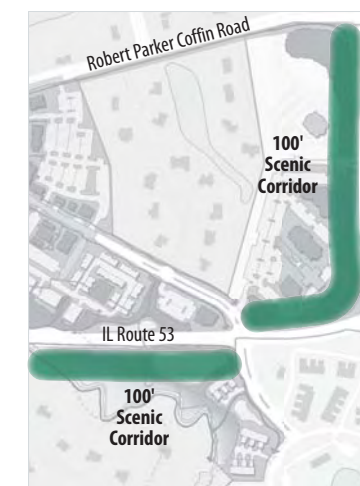
Quality landscaping enhances the visual appeal of commercial businesses

Screening / Scenic Corridor

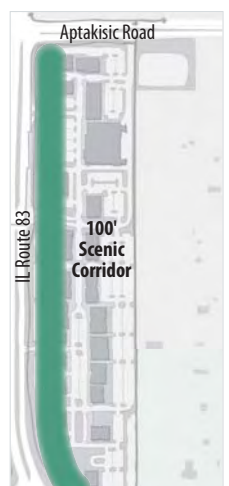
Follow the design recommendations listed for the Historic Downtown with the below differences:

Scenic Corridor Easement

- **Route 83 Sub-district:** 100 feet from IL Route 83
- **Route 83 Sub-district:** None along Aptakistic Road
- **Route 53 Sub-district:** 100 feet from IL Route 53
- **Route 53 Sub-district:** None along Old McHenry Road



Route 53 Sub-district



Route 83 Sub-district

Planning and Design Guidelines

Privately-owned Properties, *continued*

Historic Downtown

Parking

- Parking Lot Layout**
- Follow the requirements set forth in the Long Grove Municipal Code, 5-9-4, Off-Street Parking with, to the greatest extent possible, except as listed below:
- Use consistent parking dimensions for stall widths, curb to curb distances, and parking angles.
 - Use simple parking lot design and incorporate perpendicular parking wherever possible.
 - Design parking lots that are paved, striped, and feature delineated curbs and gutters. Provide illumination that permits safe and convenient evening use.
 - Design parking lots to avoid layouts that visually dominate the site . Avoid using dead end parking rows.
 - Provide well marked sidewalks and crosswalks within and between parking lots that are safe and comfortable for pedestrians.
 - Clearly define parking areas and physically separate them from roadways.
 - Locate temporary parking in private lots throughout the Historic Downtown.
 - Provide a 2 foot overhang for car bumpers.
 - Encourage businesses to reserve nearby parking spaces for customers and require employees to use the public parking lots.
 - Design parking lots constructed of asphalt, concrete, stamped concrete, permeable pavers, or vehicular pavers on an asphalt setting bed with a concrete underlay defined by concrete or granite curbs
 - **Triangle Sub-district, Retail Buildings:** No retail parking requirements.
 - **Triangle Sub-district, Residential Uses:** Two attached spaces per unit.



Parking lot landscape islands provide safe pedestrian access.



Permeable paving is preferred for parking lot surfaces.

- Parking Lot Landscape and Screening**
- **Parking lots up to 4,500 square feet:** Landscape area should equal 8% of the vehicle area.
 - **Parking lots between 4,500 square feet and 20,000 square feet:** Landscape area should equal 10% of the vehicle area.
 - **Parking lot over 20,000 square feet:** Landscape area should equal 12% of the vehicle area.
 - Break up large areas of paving with planting islands that are a minimum 10 feet wide. Place trees and shrubs in planting islands located within parking areas.
 - Plant one tree for every 10 parking spaces. Use a minimum 3 inch caliper.
 - Set back parking lots 10 feet from adjacent property lines.
 - Provide high quality landscaping or hardscaping features to screen parking lots from public sidewalks. Plant trees in parking lots perimeters to define the boundaries between the street and the parking lot.
 - Use a combination of trees, shrubs, and groundcover within landscape buffers. Locate landscape features so that parking lots are screened from adjacent residences.



Use native plants to help screen a parking lots.

Business District

Parking

- Parking Lot Layout**
- Follow the design recommendations listed for the Historic Downtown with the below differences:
- No bus parking is allowed.
 - All parking within 200 feet of the commercial building is to be reserved for customers.



Use landscaped islands in parking lots to visually subdivide and shade paved surfaces.



Physically separate parking lots from from roads. Screen parking lots with high quality landscaping materials.

- Parking Lot Landscape and Screening**
- Follow the design recommendations listed for the Historic Downtown with the below addition:
- When parking is adjacent to a residential area, fencing should be included along shared property line.



Use high quality fencing to screen parking lots from residences

Planning and Design Guidelines

Privately-owned Properties, *continued*

Historic Downtown

Loading and Services

- Location**
- Locate loading and service areas so they are hidden from street views.
 - Locate loading and service areas behind or to the sides of buildings and separate them from pedestrian traffic. Make sure they do not impede emergency access.
 - Use group recycling areas wherever possible.
 - Maintain emergency access at all times.



Physically separate service areas from public areas.

- Screening**
- Screen commercial buildings from adjacent residences with walls or landscaping features.
 - Shield roof mounted mechanical equipment from views on all sides.
 - Screen mechanical equipment, air conditions, and delivery / storage containers from view with high quality fencing, hardscaping materials, and / or landscaping features.



Fully integrate screens for service areas and dumpsters into a building structure or screen them from view with high quality fencing, hardscaping materials and / or landscaping features.

- Refuse Enclosures**
- Fully integrate screens for dumpsters into building structures using the same high quality materials that are used for the primary building. Or, fully screen service areas and dumpsters from view using high quality fencing, walls, and / or landscaping features that are complementary to the primary building and adjacent properties.
 - Create common areas for refuse enclosures wherever possible. Reduce the number of collections and multiple service providers whenever feasible.

- Refuse Collection and Delivery Times**
- Implement restrictions as necessary on deliveries and service times for commercial buildings that abut residential areas.
 - Limit pick up / drop off times to 8 a.m. - 8 p.m.
 - Do not begin service activities until 7 a.m. on weekdays and 8:00 a.m. on Saturdays. Do not allow service activities on Sundays.

Business District

Loading and Services

- Location** Follow the design recommendations listed for the Historic Downtown.

- Screening** Follow the design recommendations listed for the Historic Downtown with the below addition:
- Screen service areas and dumpsters from view using high quality fencing, walls, and / or landscaping features that are complementary to the primary building and adjacent commercial properties.

- Refuse Enclosures** Follow the design recommendations listed for the Historic Downtown.

- Refuse Collection and Delivery Times** Follow the design recommendations listed for the Historic Downtown with the below differences:
- Limit pick up / drop off times to 7 a.m. - 10 p.m.
 - Do not begin service activities until 7 a.m. on weekdays and 8:00 a.m. on Saturdays. Do not allow service activities on Sunday.

Planning and Design Guidelines

Privately-owned Properties, *continued*

Historic Downtown

Stormwater Management

Provide adequate stormwater management facilities for new developments within the Historic Downtown. Design the facilities that comply with Lake County Stormwater Management Regulations while following the basic principles listed below:

- Minimizes impervious surfaces and eliminate as much impervious surface as possible by installing vegetated roofs or pervious surfaces.
- Locate buildings, roads, and parking away from natural resource areas and soils that infiltrate well.
- Retain native vegetation and trees where possible.
- Preserve native soil where possible.
- Utilize existing topography and plant material of a site to slow, store, and infiltrate stormwater.
- Protect natural drainage features.
- Utilize Best Management Practices (BMP) such as bioretention, bioswales, or permeable pavement to help decrease the size of stormwater ponds.
- Design detentions areas to be natural in form and planting. Incorporate curvilinear edges and appropriate native plantings wherever possible. Use taller plant material within detention area buffer plantings that are located adjacent to residences.



Use native plantings in parking islands for stormwater management.



Use bioswales in planting islands to help filter parking lot run-off.

Business District

Stormwater Management

Provide adequate stormwater management facilities for new developments within the Business District. Follow the guidelines listed for the Historic Downtown.



Use bioswales in planting islands to help filter parking lot run-off.



Incorporate natural forms and plant materials into the design of detention areas.

Planning and Design Guidelines

Privately-owned Properties, *continued*

Historic Downtown

Long Grove Style

Architecture

Follow the requirements set forth in the Long Grove Municipal Code, 7-2-4, Long Grove Style, to the greatest extent possible, except as listed below.

- Emphasize street corners with signature architectural design.
- Vary the architectural styles of contiguous buildings to reflect the eclectic feel of the existing buildings in the Historic Business District.
- Emphasize the distinction between fronts, sides, and backs of the buildings with architectural design elements and / or building materials.
- Incorporate the mass, dimension, scale, materials, facade articulation, roof lines, and overall character of the Historic Downtown into the architectural design of new structures.
- Provide entrances at ground level and insure barrier-free access to building.



Emphasize the distinction between fronts, sides, and backs of buildings with architectural design elements and / or building materials.

Roofs and Facades

- Design buildings facades with a base, middle, and top.
- Subdivide large facades vertically with windows, columns, or other architectural features.
- Thoughtfully integrate ornamentation into the overall building design.
- Use dormers, skylights, and clerestories to enliven the appearance of roofs.
- Do not use false facades or false roof lines.
- Do not use mansard roofs.
- Do not use vinyl or metal sidings.
- Develop a rhythm of design elements, such as alternating windows, to create interest in the building's facade.
- Incorporate widows in front building facade to highlight retail or commercial spaces.



Design building façades with a base, middle, and top.

Building Material

- Use high quality, long lasting building materials (preferred primary building materials include stone, brick, and wood).
- The following materials are considered inappropriate for the Historic Downtown: Concrete block, concrete masonry units, corrugated fiberglass, imitation rock work, and mirror or metallized reflective glass.
- Select masonry colors which are compatible with adjacent structures.
- Use building materials with warm colors. Trim colors should be contrasting but compatible with the building's color.



Use high quality, long lasting building materials.

Business District

Long Grove Style

Architecture

Follow the design recommendations listed for the Historic Downtown with the below addition:

- Complement the architectural style of existing buildings within the Historic Downtown (complementary styles are not limited to Victorian or Greek Revival).



Use architectural design elements that harmonize with the classical styles of existing buildings in the Business District.

Roofs and Facades

Follow the design recommendations listed for the Historic Downtown with the below additions:

- Allow flat roofs in conjunction with gently sloped roofs for office and commercial buildings if the roofs are well designed.
- Use overhanging roofs wherever possible.
- Use green roofs wherever possible.



Subdivide large façades vertically with windows, columns, or other architectural features.

Building Material

Follow the design recommendations listed for the Historic Downtown with the below addition:

- Decorative concrete masonry units are allowed in the Business District within service areas and / or at the rear of the building, hidden from street views.



Use high quality, long lasting building materials.

Planning and Design Guidelines

Privately-owned Properties, *continued*

Historic Downtown

Lighting

Parking Lot Lighting

Follow the requirements set forth in the Long Grove Municipal Code, 5-9-9, Exterior Lighting, to the greatest extent possible, except as listed below.

- Parking lot lighting should be adequate to ensure pedestrian and vehicular safety and be activated by a photocell. Full public illumination is expected until midnight each day.
- Use dark sky friendly lighting.
- Design and orient lighting as not to reflect or shine on adjacent properties. Provide a cut-off lens adjacent to residential properties to ensure that light is directed on site.
- Parking lot lighting must be design as to not call attention to the parking lot.
- Organize, articulate, and enhance the lighting to reinforce the downtown structure. Poles should be located in planter islands and perimeter landscape areas.
- Remove and replace existing non-conforming units.
- Perimeter poles must be set back a minimum of 2 feet from back of curb.
- Parking lots shall have lighting levels in accordance with the latest edition of the Illumination Engineering Society (IES) Lighting Handbook.
- See Section 2 for specific public lighting requirements.

Pole and Fixture Color: Black or Dark Brown

Lantern: Dark Sky Friendly

Pole: Decorative Concrete or Metal

Preferred Height: 25 feet



Box shaped light fixture is preferred for parking lot lighting in the Historic Downtown.



Pedestrian Lights

- Light poles are required to be setback at least 2 feet from walkways.
- Use dark sky friendly lighting.
- Use white light in pedestrian areas.
- Lighted bollards and other landscape lighting may be placed along pedestrian walkways and within the landscape.
- Bollards must be located at least 1 foot from pedestrian walkways.
- Cut-off reflective lenses are recommended to direct light onto walkways.
- Parking lots shall have lighting levels in accordance with the latest edition of the Illumination Engineering Society (IES) Lighting Handbook.
- See Section 2 for specific public lighting requirements.

Pole and Fixture Color: Black or Dark Brown

Lantern: Dark Sky Friendly

Pole: Decorative Concrete or Metal

Height: 10-16 feet



Traditional style fixture is preferred for pedestrian lighting in the Historic Downtown.



Architectural and Seasonal Lighting

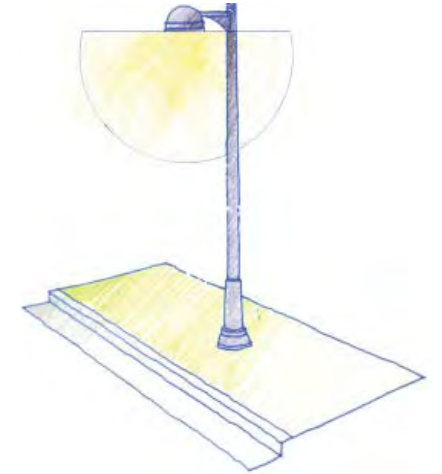
- Major entry ways should be carefully illuminated.
- Illumination should highlight the entry with soft, controlled light.
- Building illumination is only allowed in the Historic Downtown.
- Seasonal lighting is encouraged to be placed and maintained on buildings and landscaping. Seasonal lighting is allowed between November 1 and February 1.
- Roof outlining in white lights is allowed year round. Burned out bulbs must be changed in a timely manner.

Business District

Lighting

Parking Lot Lighting

Follow the design recommendations listed for the Historic Downtown.



Dark sky light fixtures are designed to direct lamp light downward and outward where it is useful rather than upward.

Pedestrian Lights

Follow the design recommendations listed for the Historic Downtown with the below addition:

- Install pedestrian lights along primary vehicular circulation routes.

Color: Black

Lantern: Traditional Style, with swan style neck

Pole Material: Metal

Height: 12-16 feet

Accessories: Hanging Baskets or Banner Arms



Traditional fixture with swan style neck is preferred for pedestrian lighting in the Business District.



Architectural and Seasonal Lighting

Follow the design recommendations listed for the Historic Downtown.

Planning and Design Guidelines

Privately-owned Properties, *continued*

Historic Downtown

Site Furnishings

- Site furnishings in private areas should closely resemble chosen amenities for public areas. See Section 2 for furnishings chosen for public improvements.
- When redevelopment projects disturb existing, non-compliant site furnishings, these items should be replaced.
- Developments should place benches, trash / ash receptacles, lights, bike racks, and other site furnishings in locations where they will be easily accessible to patrons, employees, and visitors.
- Materials should reflect the style of other Village furniture and be high quality.
- Maintenance and cost effectiveness are influenced by durability and construction quality.



Existing stone bench in the Historic Downtown.

Benches

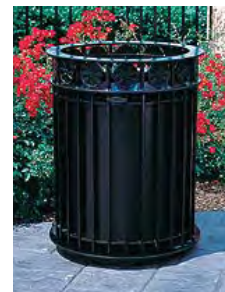
- Benches should be located near building entrances, adjacent to walkways, and through out any open space.
 - Benches should be securely mounted to minimize theft and vandalism.
 - Bench selection will be approved by the Village of Long Grove.
 - When redevelopment projects disturb existing site furnishings, those items should be replaced with approved equals.
 - Colors and materials should complement Historic Downtown architecture and landscape
- Length:** Should be long enough to accommodate 2 to 3 people comfortably.



Custom benches, such as this, are encourage but must complement the Historic Downtown's architecture and landscape.

Trash / Recycling / Ash Receptacle

- Receptacles should be spaced throughout the right-of-way, placing additional receptacles near restaurants and other areas of heavy pedestrian use.
- Color:** Black
Material: Metal



Manufacturer: DuMor
Model: Receptacle 102



Manufacturer: DuMor
Model: Ash Urn 123

Mailboxes

- Mailboxes located within the Historic Downtown shall be located within the right-of-way.
 - Custom mailboxes may also be installed and must reflect the character of Historic Long Grove.
 - Custom Mailboxes must be approved by the Village of Long Grove Architectural Board and be compliant with any United States Postal Service requirements.
- Color:** Black
Material: Metal



Example of desirable group mailbox styles for the Historic Downtown.

Business District

Site Furnishings

- Follow the design recommendations listed for the Historic Downtown with the below addition:
- Site furnishings must complement the development's architectural character.

Benches

- Follow the design recommendations listed for the Historic Downtown with the below additions:
- Benches should be located in pedestrian areas.
 - Benches may be constructed of recycled material.
- Color:** Black
Material: Metal



Benches may be constructed of recycled material.

Trash / Recycling / Ash Receptacle

- Follow the design recommendations listed for the Historic Downtown with the below addition:
- Receptacles may be constructed of recycled material.



Receptacles may be constructed of recycled material.

Mailboxes

- Follow the design recommendations listed for the Historic Downtown with the below additions:
- Mailboxes for large commercial development shall be incorporated within the commercial building.
 - If residential housing utilizes a gang box, it must follow the below requirements.

Planning and Design Guidelines

Privately-owned Properties, *continued*

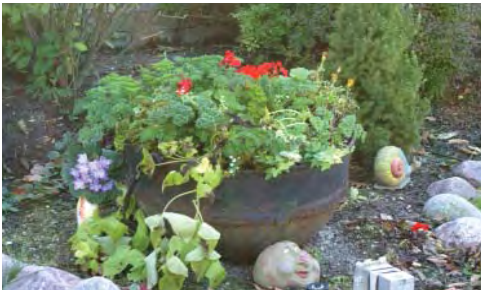
Historic Downtown

Site Furnishings

- Bicycle Racks**
- Bicycle racks may be placed adjacent to benches or building entrances.
 - A simple design having little visual impact is preferred.
 - Bicycle racks must be permanently secured to the ground.
- Color:** Black or Dark Brown
Material: Metal



- Planters**
- Planters should be located adjacent to the public sidewalks in areas that are not conducive to in-ground planting.
 - Hanging planters shall also be placed on street / pedestrian lights within the right-of-way, adjacent to the street.
 - Wood planters are prohibited.
- Color:** Complement architecture
Material: Clay, concrete, metal or approved equal



Similar to this metal pot, unique, durable, and high quality planters are encourage to be placed adjacent to businesses.

- Unique Site Amenities**
- Unique site amenities are encourage to be placed in the Historic Downtown.



Unique elements may be permanent or seasonal.

Business District

Site Furnishings

- Bicycle Racks**
- Follow the design recommendations listed for the Historic Downtown with the below additions:
- Bicycle racks should be spaced throughout the right-of-way, placed adjacent to benches and building entrances.
 - Style should match the development’s theme and architecture.
- Color:** Black
Material: Per manufactures regulations



- Planters**
- Follow the design recommendations listed for the Historic Downtown.

- Unique Site Amenities**
- Follow the design recommendations listed for the Historic Downtown with the below addition:
- Unique site amenities are encourage but not required in the Business District.

Planning and Design Guidelines

Private Improvements, *continued*

Historic Downtown

Site Furnishings

Fencing

- Fencing shall be used in the Historic Downtown for either decorative or screening purposes.
- Decorative fencing should be “open” fencing and may be located along the front and side yard property lines.
- Screening fencing is only allowed around refuse containers.

Color: White, natural wood, or black metal

Material: Wood or Metal

Decorative Height: Varies

Screening Height: Maximum: 8 feet



Decorative planter fencing



Existing white picket fencing



Wood screening fencing



Existing post and chain

Decorative and Retaining Walls

- All walls should be level, with the height of the wall varying according to the grade changes.

Color: Complementary to building architecture and landscape.

Material: Brick, stone, or other natural material



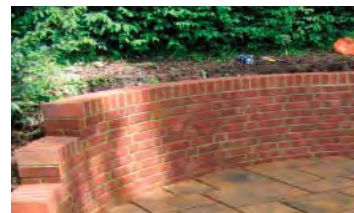
Existing brick bridge and walls



Existing brick walls



Brick retaining wall



Brick retaining wall

Outdoor Dining

Follow the requirements set forth in the Long Grove Municipal Code, 5-4-5, Special Uses, to the greatest extent possible, except as listed below.

- Metal fencing shall be placed to define the edges of the outdoor dining space. Fencing must have a minimum of 50% of it's railing or top of fence covered with planter boxes. Planter boxes must include plant material throughout the growing season.
- The location and arrangement of the dining areas must not impede pedestrian or traffic flow or block the access to and from the building.
- All outdoor furnishings shall be constructed of high quality material and must allow for easy removal during the winter months or if required by the Village.
- No advertising or promotional features are allowed in outdoor dining areas.



Existing table and chairs

Table and Chairs

Color and Style: Complementary to existing site

Material: Metal

Optional Accessories: Umbrellas

Business District

Site Furnishings

Fencing

Follow the design recommendations listed for the Historic Downtown with the below additions:

- Screening fencing is only allowed along the rear property line or to screen businesses from residential uses.

Screening Height: Maximum: 8 feet



Wood screening fencing



Wood screening fencing



Metal screening fencing

Decorative and Retaining Walls

Follow the design recommendations listed for the Historic Downtown with the below addition:

- Decorative modular wall is allowed but must complement building architecture and landscape.



Brick retaining wall



Stone retaining wall



Modular block retaining wall

Outdoor Dining

Follow the design recommendations listed for the Historic Downtown with the below additions:

Table and Chairs

Color and Style: Black and complementary to site

Material: Metal

Optional Accessories: Umbrellas



Planning and Design Guidelines

Privately-owned Properties, *continued*

Historic Downtown

Signage Regulations

Signs Signs shall follow the requirements set forth in the Long Grove Municipal Code, 5-9-5, Signs, to the greatest extent possible, except as listed below.

General Requirements

- Signs must reflect the historic and eclectic feel of the Long Grove Historic Downtown and be integrated within the landscaping and architecture whenever possible.
- Creative and unique signs are encouraged.
- Signs may not be internally illuminated.
- Recommended signs can be illuminated with architecturally appropriate fixtures including goose-neck style, carriage style, ground sign up lighting, or other fixtures designed to be hidden from view.

Placement

- No sign shall be placed more than 12 feet above finished grade at the main entrance of the building.
- Signs must be placed adjacent to the destination they are intended to serve.
- Window signs area allowed but are to cover no more than 20% of the total window space.

Colors

- A darker background with lighter lettering is encouraged.
- Use body colors for awnings and canopies that blend with the building facade.

Materials

- Signs should be simple and constructed of high quality materials.
- Signs must be durable, vandal resistant, and designed for easy maintenance.
- Suggested materials include painted wood, metal, and stone.
- No particle board or plastic is allowed.
- Highly reflective metallic signs are not permitted.

Content

- Signs shall be limited to the business name and a maximum of five additional words describing the products or services.
- Signs may not include an email, web, address, or phone number of the business.
- A graphic or symbol may be included on the sign given it is complementary to the overall design of the sign.

Temporary Signs

- Temporary signs must comply with Section 5-9-3 of the Long Grove Municipal Code.
- Hand lettered or temporary ground stake signs are prohibited.
- Daily retail “specials” signs or sandwich board are not allowed to be placed within the right-of-way.



Business District

Signage Regulations

Signs Follow the design recommendations listed for the Historic Downtown with the below differences.

General Requirements

- Use low-profile signs, which are compatible with the architecture of the building.
- Signage should provide information and direction to direct people without confusion or delay.

Placement

- Wall signs should be integrated into the facade of the building or landscape design.

Materials

- Materials should complement architecture of the building.

IL Route 83 Monument Signage

- Use low-profile signs, which are compatible with the building architecture and site for all uses.
- Retail, office, service, and entertainment signage should be designed as monument signage.
- Each development may not have more than one monument sign.
- One sign per outlot is allowed. Ground signs of all outlots must not be more than 8 feet tall, measured from the final grade to the top of the sign.
- Ground signs for development must not be taller than 15 feet, measured from the final grade to the top of the sign.

Lighting

- Illuminated signs should only light the letters of the sign, not the background.
- Signs can be internally illuminated.

