



**AGENDA
ARCHITECTURAL COMMISSION
REGULAR MEETING**

Monday, July 18, 2022 at 7:00 P.M.

**Location: Long Grove Village Hall
3110 Old McHenry Road, Long Grove, IL 60047**

- 1. CALL TO ORDER**
- 2. ATTENDANCE**
- 3. VISITOR BUSINESS / PUBLIC COMMENTARY**
- 4. APPROVAL OF MINUTES**
 - a. Approval of the May 16, 2022 Updated Draft Meeting Minutes
 - b. Approval of the June 20, 2022 Draft Meeting Minutes
- 5. OLD BUSINESS**
- 6. NEW BUSINESS**
 - a. Consideration of a request for a new single-family home, 7237 Greywall Court and within the Concord Homes' Ravenna Planned Unit Development, submitted by Muhammad Khan, the future homeowner.
 - b. Consideration of a request for a sign for "New Perspective", 2300 IL Route 83 and within the R-2 Residential Zoning District, submitted by Shannon Jones, the Executive Director of New Perspective.
- 7. QUESTIONS AND COMMENTS**
- 8. ADJOURNMENT**

Next Regularly Scheduled Meeting: August 15, 2022 @ 7:00 PM

The Village of Long Grove is subject to the requirements of the Americans with Disabilities Act of 1990 Individuals with disabilities who plan to attend this meeting and who require certain accommodations in order to allow them to observe and/or participate in this meeting, or who have questions regarding the accessibility of the meeting or the facilities, are requested to phone the Long Grove Village Manager at 847-634-9440 or TDD 847-634- 9650 promptly to allow the Village of Long Grove to make reasonable accommodations for those persons.

DRAFT Meeting Minutes

May 16, 2022

**MEETING MINUTES OF THE
LONG GROVE ARCHITECTURAL COMMISSION
REGULAR MEETING
May 16, 2022
7:00 P.M.**

Chairwoman Sylvester called the meeting of the Long Grove Architectural Commission (AC) to order at 7:00 p.m. with the following members present.

Members Present: Jeanne Sylvester; Laura Mikolajczak; Allen Roiter; and Matthew Akins

Members Absent: John Marshall and John Plunkett

Also Present: Taylor Wegrzyn, Community Development Services, and members of the public.

VISITORS BUSINESS

Chairwoman Sylvester asked if anyone in attendance desired to provide public comments on a topic other than those already on the agenda. All in attendance confirmed that they did not have commentary on other business. Chairwoman Sylvester clarified that the agenda item concerning Joanie's Pizzeria would be a review of the deck's design and any comments concerning the specific use of the deck should be reserved for a future hearing before the PCZBA. The Architectural Commission does not consider zoning relief or actions which fall under the purview of the Planning Commission and Zoning Board of Appeals (PCZBA) or Village Board. T. Wegrzyn noted that notice of any such PCZBA meeting will be posted on the Village's website, newspaper, property, and certified mailings will be sent out. He confirmed that PCZBA petitions require separate notifications and that the Architectural Commission does not share those same notification requirements. He also confirmed that an application for a Special Use Permit has been received by the Village and is still under staff review. If a Special Use Permit is required and a complete application is received, the zoning matter will be placed on a PCZBA agenda and notifications sent out to neighboring property owners. Roger Goble, a member of the public, spoke from the ~~crowd~~ audience to dispute the Village's notification requirements. Another member of the public requested that item #3 on the agenda be moved up before item #2.

NEW BUSINESS

1) Approval of the April 18, 2022 Meeting Minutes.

Corrections were made to the spelling of Commissioner Mikolajczak's name throughout. A reference to a landscaping recommendation for 145 Old McHenry Road was corrected to better reflect the intent of the comment. Grammar corrections were made to two instances of the term "newel post". The Commission's recommendation for signage at the Oatflow Café was corrected to replace the word "blend" with "resemble" in reference to the sign's border and its compatibility with other signs on the site.

Motion. A motion was made by Commissioner Roiter, seconded by Commissioner Mikolajczak to recommend approval of the April 18, 2022, meeting minutes, as amended.

Ayes: A. Roiter; L. Mikolajczak; M. Akins; J. Sylvester
Nays:
Absent: J. Marshall; J. Plunkett

Motion. A motion was made by Commissioner Roiter, seconded by Commissioner Akin, to move agenda item #3 before item #2.

Ayes: A. Roiter; L. Mikolajczak; M. Akins; J. Sylvester
Nays:
Absent: J. Marshall; J. Plunkett

2) Consideration of a request for an exterior deck for “Joanie’s Pizzeria”, 235 Robert Parker Coffin Road and within in the B-1 Historical Downtown Business District, submitted by Chris Kanzler.

T. Wegrzyn provided an overview of the petitioner’s request and context. It is located within the B1 Historic Business District. The deck is on the north side of the building and measures 15 feet x 39 feet. It would be attached to the existing deck and building. A 4-foot walkway would be removed for the deck expansion. Photos of the immediate vicinity and the existing conditions were shown. He further explained that the deck design is up for the Commission’s consideration tonight. The deck satisfies the bulk, yard, and setback regulations for the district. The use of the deck would be a matter for consideration by the PCZBA and Village Board, if required.

Ken Siwieck, representing New Midwest Capital, presented on behalf of the project. There is a new operator of the business, and they desire to improve the property by expanding the deck. The expansion would improve the look of the property over what is presently there. The deck matches the existing deck in material and design. Eventual expansion of the outdoor dining would allow the business to increase revenue, expand their capacity, and improve the aesthetics of the property.

The deck material is a newer rendition of the material used on the existing deck. It is carbonate decking. Wood picket railing is to be used to match the majority of the existing deck. There are a few sections of metal railing, but they wouldn’t be able to match that material. The serving station would be removed to make a pass through between the old and new deck. The existing walkway and planters are severely weathered and would be removed. The deck would extend approximately one foot beyond the eastern-most sliding door. No roof is proposed. Mr. Siwieck provided a physical example of the decking material. The existing walkway is made of wood. Chairwoman Sylvester asked if the newel posts match any existing posts. There are no other newel posts at the business to match. The lattice below the deck would match the existing lattice and would be stained.

Chairwoman Sylvester noted that the Downtown Guidelines recommend planters along 50% of the railings. There are some hanging baskets and boxes at the existing deck. She strongly recommended that these be applied to the new deck as well along 50% of the railings. Commissioner Mikolajczak asked if they could be permanent. Mr. Siwieck confirmed that no lighting is proposed.

Chairwoman Sylvester opened the meeting to public comment. T. Wegrzyn noted that everyone would have an opportunity to speak. Commentary would be limited to one turn each and back-and-forth commentary will not be allowed. Chris Beckord asked the applicant whether they had given any consideration, when designing the deck, on the impact of the immediate neighbors. Mr. Siwieck noted that the design is based on complementing the existing deck and building. Mr. Beckord claimed that the Zoning Code has restrictions on noise and buffer requirements for outdoor dining. Roger Goble asked if the Commission had seen the Special Use Permits which were issued for this property. The Commission did not review any Special Use Permits for this property. Mr. Goble also noted requirements for a 300-yard buffer requirement. He expressed a desire to see a landscape plan to buffer the structure and use from adjacent properties.

John Heidmann, a member of the public, spoke. He commented that the style of the deck was not consistent with that of Long Grove: rural, nineteenth century, and country. Nineteenth Century buildings did not have decks. A member of the public questioned whether the submitted plans were sufficient. T. Wegrzyn confirmed that permit-ready building plans are not required for an application to appear before the Architectural Commission. The Commission may request an additional appearance with more detailed drawings if they find the plans to be insufficient. Mr. Heidmann questioned why the Architectural Commission doesn't consider zoning in its determination.

There were comments made from the ~~crowd audience~~ regarding the Architectural Commission's consideration of zoning standards. Chairwoman Sylvester reiterated that the Planning and Commission and Zoning Board of Appeals has jurisdiction over zoning matters and will consider those aspects of the proposed project at such time that the PCZBA hears a petition concerning the use of the deck. The Architectural Commission will strictly be considering the design of the proposed deck. T. Wegrzyn explained that the Architectural Commission meeting was being held prior to any PCZBA hearing because the design could impact the specific zoning relief or approvals required for the project. ~~T. Wegrzyn, in response to a question from the crowd, explained that a hypothetical building proposed to be in the middle of the roadway would not be heard by the Architectural Commission because it would need the owner's signature of approval. It was clarified that the proposal does not include a roof or enclosed porch.~~

After additional comments made from the ~~crowd audience~~, Chairwoman Sylvester addressed the ~~crowd audience~~ to note that public concerns regarding the use should be presented before the PCZBA. T. Wegrzyn noted that those public comments received by May 6th were included in the agenda packet and provided to the Architectural Commission members prior to the meeting. Any comments received after that date were printed out and provided to the Commission at the meeting. Chairwoman Sylvester asked T. Wegrzyn whether there was any chance that the deck would not have to go to the PCZBA. T. Wegrzyn responded to note that the petitioner's application was still under staff and legal review. If the review finds that there is no requirement for the deck to appear before the PCZBA then there will not be a public comment period regarding the use. However, if the proposed use does require a hearing before the PCZBA then there will be an opportunity for the public to provide their comments. Whether or not a hearing is required or not, there is always a general commentary period at the start of all PCZBA meetings. The Special Use Permit application submitted by the petitioner and requesting an outdoor dining facility is still under review. Architectural Commission is required for any addition to a commercial building in the B1 district, whether or not a Special Use Permit is also needed.

~~Written~~ Comments from Randall Harland, Chris Beckord, David Mundt, Debbie Handler, John Heidmann, Randy Towner, Shelley Frain, and Jon Garlovsky were included in the materials provided to the Architectural Commission. ~~It was T. Wegrzyn asked what would happen if the Commission wanted to continue its review of the application. T. Wegrzyn responded that the matter would be continued until the Commission felt that sufficient information and materials had been provided confirmed that the Commission has the option to continue its review of this matter until the next meeting or until sufficient information is provided. He continued to clarify that the Village is still reviewing a PCZBA application from the petitioners concerning a request for zoning approval of expanded outdoor dining on the property. If PCZBA action was required, it could proceed before that body and return to the Architectural Commission at its next meeting. If additional time was needed to provide additional information, the Commission could continue the matter further. If any additional zoning approvals are necessary, a public hearing before the PCZBA will be scheduled and the public will be afforded an opportunity to provide commentary on the matter. The Commission can may place a condition that its review be subject to any further make its approvals or conditions required conditional upon approval by the PCZBA and/or Village Board.~~

Chairwoman Sylvester opined that the newel posts were very standard and could be more decorative. The building is very vernacular, but there may be other decorative elements on the property that could be reflected in the newel posts. Commissioner Roiter confirmed that the additional decorating is needed. A finial or other decoration could be used. Planters are encouraged along 50% of the railing. Commissioner Mikolajczak recommended that a planter be installed across the whole railing. Chairwoman Sylvester noted that any future changes such as size, length, design, materials, or lighting would require an additional appearance before the Commission. Mr. Goble spoke from the ~~crowd~~ audience to recommend that the review be continued until revised plans can be considered. The Commission considered whether the proposal required additional time for review. Members of the public also pointed out that the deck does not comply with the Special Use Permit issued previously or the Zoning Code standards.

Chairwoman Sylvester asked the commission whether the proposed deck, with changes to the newel posts, the recommended planters, and subject to any further conditions by the PCZBA, would be acceptable. Plans for the newel posts and planters will need to be provided to staff and reviewed together with the Chair of the Architectural Commission. Any further changes to the project will require further review by the Architectural Commission. Mr. Siwieck confirmed his understanding of the proposed conditions. Chairwoman Sylvester continued and asked whether any member of the Commission would like to make a motion or see the matter continued.

Motion. A motion was made by Commissioner Roiter, seconded by Commissioner Mikolajczak to recommend approval of the exterior deck, subject to the following conditions:

- 1) Plans for newel posts with additional detailing and in character with the immediate vicinity are to be submitted for review by staff and the Commission Chair.
- 2) Planters will be placed along 50% of the deck railing.
- 3) Subject to any additional requirements or review by the Plan Commission and Zoning Board of Appeals and Village Board resulting from the proposed use of the deck expansion.

Ayes: A. Roiter; L. Mikolajczak; M. Akins J. Sylvester

Nays:

Absent: J. Marshall; J. Plunkett

Chairwoman Sylvester encouraged those in attendance to contact the Village to ensure that the project comes before the Plan Commission and Zoning Board of Appeals. She thanked everyone for their participation in this process and thanked the applicant for the contributions of their business to the Village.

3) Consideration of a request for a new commercial structure “KEEP.Rental, Inc.”, 2798 Route 53 and within the R-2, Single Family Residential, submitted by Thomas and Douglas Olson.

T. Wegrzyn provided an overview of the proposed commercial structure at 2798 IL Route 53. The site is presently zoned R-2 and would require ~~approval of to be determined zoning actions~~ additional zoning approvals by the Village Board. Self-Storage Facilities are not a permitted use within the R-2 zoning district. The property is at the southern extent of the Village’s corporate limits. There is a large estate property to the north which is expected to be redeveloped in the future. The project previously was presented to the Village Board in February 2022. The Board referred the project to the appropriate Commissions and recommended that the design resemble other commercial structures in the vicinity such as Menards. He further explained that the project was appearing before the Architectural Commission first because any further changes to the design of the building may impact the extent to which any zoning relief is needed. If the plans are altered by any request of the PCZBA or Village Board, or if the applicant modifies the design on their own account, then the project will require another review by the Commission. The property is 2.19 acres in size. A photo was shown of the property. There is a ranch home located on the property which was built in the 1960’s. Renderings of the property were shown. The proposal includes lighting, signage, and landscaping in addition to the building structure. Melt Span is proposed for the exterior siding. Nichiha Kurastone is also proposed as an accent siding material. The plans for the signage, landscaping, lighting, materials, and site were shown. Additional photos of commercial buildings within the Village and surrounding areas were also shown.

Commissioner Roiter asked for clarification on the project location. It is located just north of Lake-Cook Road, west of Menards, and along Route 53. He asked what vehicular access would be provided to the site. Doug Olson, the applicant, responded that the access is proposed as right-in, right-out. Chairwoman Sylvester asked if that influenced the location of the signs. Mr. Olson clarified that there is a sign proposed on the north façade and on the west façade towards the south end of the building. The design has two stories on the front side and three at the rear due to the grade of the site. Two elevators would be located on center. Two overhead doors would be located on center at the rear to allow for loading inside of the building. Chairwoman Sylvester asked Mr. Olson to clarify how the property would be screened from Lake-Cook Road. The property’s rear faces a wetland area on the neighboring property and there are existing trees further obscuring the view. The applicant does not own the adjacent property. There will be no access from Lake-Cook Road. No wetlands are on the property, however, there are wetlands on the properties immediately surrounding it. Mr. Olson continued to note that the property will not generate a significant amount of traffic, but they were still intentional about placing the vehicular entrance as far from the intersection as possible. They have contacted IDOT regarding their request for access. Lighting at the rear of the building is intended to cover some of the driveway aisle while lighting along the sides of the building is directed downward

and up the side of the building. There are lights also by the access doors. One pole light is to be along the drive lane near the property entrance. The signs are backlit.

Chairwoman Sylvester noted that the staff report indicated that Village Board expressed a desire for the project to reflect the architecture of other commercial developments in the Village such as the Menards or Sunset Grove. Mr. Olson described how the Nichiha stone was applied to the office portion, south tower, and center bump out of the building to address the Village Board's recommendation. T. Wegrzyn asked the Petitioner to clarify what portions of the building were Metl Span and which were Nichiha. Mr. Olson responded that only the stone is Nichiha. The metal panels are two-tone but extend the whole height of the building. There is no physical separation between the colors on the panels. Mr. Olson further described how the building has little negative impact in terms of noise or fumes to the surrounding properties. Commission Mikolajczak asked whether the windows were real. Mr. Olson responded that the windows would either have blackout film applied or have backings with interior lighting to give the effect of a functional window. There would be no visible lockers as you look through the windows. The majority of customers find these facilities through the internet. Commissioner Roiter inquired as to how many storage units are in the building. There would be approximately 500 units, varying in size from 12'x30' and 10'x5'. Chairwoman Sylvester asked if there was any consideration to giving the building a break in texture along the larger facades of the building. Mr. Olson replied that there was no precedent in the Village to look to, ~~but~~ they tried their best to minimize the mass of the building. Mr. Olson continued to explain that areThey were not opposed to changing the building aesthetics and would like further direction from the Commission if there are any recommendations to know if the Commission has any further recommendations. Chairwoman Sylvester, to facilitate the conversation, asked that the group tackle the facades, fenestration, and signage separately.

Concerning the facades, Chairwoman Sylvester pointed to the variations in pattern and texture at the Menards building located across Route 53. She also noted that there was no precedent for metal siding within the Village. T. Wegrzyn confirmed that there are no modern buildings in the Village with metal siding. Mr. Olson also referred to the Menards and indicated that the building has some larger horizontal lines which are broken up only in a few positions. He also pointed out that the building's southeast corner and façade are the most likely to be visible to the public. Commission Mikolajczak recommend paint to break up the larger expanses of façade. Chairwoman Sylvester asked if they were decided on using metal siding. Mr. Olson indicated that due to the design of the building, which is based on the storage units themselves, the exterior is merely a skin. Commissioner Roiter recommended a 6:12 or 10:12 pitch to the roofs of the towers to increase visibility and the project aesthetics. There is a long façade and the articulation in the middle could also have a similar roof treatment. Chairwoman Sylvester noted that the other commercial shopping centers in town have variegated roof lines and steeper roof pitches. Could other siding materials be used to provide variation. There has to be some texture to the walls. There should be some other element to further distinguish between the two stories of the building. Some masonry is strongly encouraged because there are no other metal sided buildings in the Village. The ridges on the proposed metal siding are not pronounced enough. Shadow lines will give the building some depth. Chairwoman Sylvester also agreed with Commissioner Roiter on the towers. Mr. Olson pointed out the canopy on the façade. Chairwoman Sylvester noted that the building's presence at a gateway intersection into the Village. She clarified that a four-foot band of stone would not be desired along the whole building. Adding

more wall articulation may be beneficial, but the Commissioners expressed a desire to see how it would work visually.

Chairwoman Sylvester moved the conversation to the windows. She noted that the current windows look very plain and as if they were “punched” into the façade. Sills or other treatments may help. Dormers could also help along the roofline to break up the mass. The walls and rooflines should be interrupted, and the windows could be more articulated. The windows are otherwise to scale. Shutters would not be appropriate for this style of building. Commissioner Roiter recommended stacking the windows. Mr. Olson noted that there are some areas of the Menards where there are canopies with blank areas below. T. Wegrzyn showed some photographs of newer, modern storage facilities in the region. Mr. Olson recommended putting windows on the lower level with some dormers above. Commissioner Roiter confirmed that those improvements would look more commercial. Mr. Olson asked for clarification on the southern tower. Chairwoman Sylvester noted that adding sills would be beneficial and should be reflected on the north side of the building, ~~where there is the façade that is not part of the~~ but is not needed on the tower feature.

T. Wegrzyn asked for a recap of the recommendations so far. A greater roof pitch is recommended at all towers. Additional stone is recommended at the towers. Breaking up of the roofline and additional canopies to break up the façade further. Some additional elements to break up the “flatness” of the walls is also needed. Sunset Grove was pointed to as having a good level of variation to the materials, colors, and elements to break up the building façades. There is masonry, clapboard, and brackets supporting canopies. Mr. Olson again pointed to “bump outs” at the Menards with roofs. Chairwoman Sylvester responded to suggest that the metal siding is the primary concern. Metal should be reduced first. The proposed Nichiha or stone would be preferred. Accents with these materials, bumped out from the façade, might be acceptable. This would avoid changing out the whole wall. Mr. Olson will prepare additional renderings. Commissioner Mikolajczak recommended that they prepare multiple design renderings for the Commission to consider. Mr. Olson prepared the renderings from the application himself.

The Commission moved on to discuss the signage. The business logo is used in the design. Mr. Olson clarified that Keep.rentals is also the business’ website. T. Wegrzyn noted that the signage may need additional relief from the Village’s sign ordinance. Staff are working with the Village attorney to determine the best path forward for zoning entitlement on the project. There are a few different routes it could proceed; however, all would require additional action by the PCZBA and Village Board. Depending on which type of zoning relief is requested, there are different zoning and sign standards which would apply to the project. The internally illuminated signs would require specific relief. Chairwoman Sylvester asked whether the applicant had considered placing signage on the east façade of the building. Mr. Olson responded that they were attempting to be subtle with the branding. Traffic heading southbound is likely to be the best audience to reach with signage. He noted that the sign may shift towards the corner of the building more. Multiple Commissioners quickly responded to request that the sign stay centered on the building. A sign facing Lake-Cook Road would not likely be visible. The sign was placed on the north side of the building so that there was space on the eastern façade for windows.

Chairwoman Sylvester again opined that the Commission should review the design again at an upcoming meeting. Mr. Olson thanked the Commission for their feedback. Commissioner Mikolajczak

asked how tall the overhead doors were. Mr. Olson responded that the two center doors are 14 feet tall. The other doors would either be 10 or 12 feet tall.

The group agreed that the lighting was acceptable as proposed.

T. Wegrzyn asked for clarification as to which overhead door designs were being used. The glass doors would be used in the center bay. The other doors provide direct access to units.

Chairwoman Sylvester asked for the Commission's thoughts on the proposed landscaping. T. Wegrzyn noted that staff would recommend some additional landscaping to the north/northwest could be applied to screen the overhead doors from any future development on the neighboring property. There is presently no landscaping on that portion of the property. The Commissioners agreed that landscaping in that area would be beneficial. T. Wegrzyn also pointed out that there is a 40-foot separation between building and the roadway. Mr. Olson noted that there is a well and septic planned for the site. The septic would be in that space. A sewer connection would be extremely cost prohibitive. That septic has yet to be approved by Lake County. Commissioner Roiter asked if there was an alternative if the septic cannot be installed. Mr. Olson responded that their engineer made it very clear that there really is no cost-effective alternative to the septic. Chairwoman Sylvester asked for additional landscaping along the façade to also help break up that expanse of wall.

Motion. A motion was made by Commissioner Roiter, seconded by Commissioner Akins to approve the preliminary request for a new commercial structure at 2798 Route 53, subject to further review by the Architectural Commission, and with the following recommendations:

1. Increasing the roof pitch of the towers.
2. Consideration of a third tower.
3. Additional masonry or similar materials on the lower level of the building.
4. Enhancing the delineation between the levels of the building through the use of variations in material, canopies, or textures.
5. Recommended window placements and window enhancements such as trim or sills.
6. Additional landscaping along the east façade and northwest property line.
7. Reduction in metal siding and additional texture to any metal siding used.

Ayes: A. Roiter; M. Akins; J. Sylvester; L. Mikolajczak

Nays:

Absent: J. Marshall; J. Plunkett

4) Oman Greenhouse property update.

Chairwoman Sylvester provided a brief update regarding the property at 22155 North Illinois Route 83. The case is expected to appear before the Village's hearing officer in June. A continuation of greenhouse use was contemplated by the owner. Village staff have indicated that greenhouse use is no longer permitted on the property. The Village is aggressively pursuing demolition as a requirement for due to the condition of the property. Chairwoman Sylvester noted that she had brought up this issue to the Village Planner two years ago. Commissioner Mikolajczak asked whether a greenhouse could be built on the property if the site is demolished. T. Wegrzyn noted that the property is zoned R-2, and a

greenhouse is not a permitted use within that district. As a legal, non-conforming use, the property was allowed to operate as a greenhouse. That legal status was lost once the use was discontinued for longer than six months and any future use of the property must now comply with the present standards.

OTHER BUSINESS

The group briefly discussed planned absences for the upcoming June 20th Architectural Commission Meeting. Staff will follow up to confirm attendance for the meeting.

Chairwoman Sylvester asked staff to follow up on an unpermitted sign advertising “The Broken Bridge Treats.” All commercial signs require approval by the Architectural Commission and this sign has not been reviewed by the Commission. It was noted that the applicant at 145 Old McHenry Road made changes to the staircase without submitting plans first and that the changes were not aligned with the Commission’s request. T. Wegrzyn added that the owner has been notified of their violation. Staff are working with the owner to bring them into compliance with the Commission’s conditions of approval.

ADJOURNMENT

The next scheduled Architectural Commission meeting is for June 20, 2022 at 7:00 P.M.

Motion. With no further business, a motion to adjourn the meeting was made by Commissioner Roiter, seconded by Commissioner Mikolajczak.

Ayes: A. Roiter; L. Mikolajczak; M. Akins; J. Sylvester

Nays:

Absent: J. Marshall; J. Plunkett

Meeting Adjourned at 9:20 p.m.

Respectfully Submitted,

Taylor Wegrzyn

Taylor Wegrzyn
Planner

TW/JLM

DRAFT Meeting Minutes

June 20, 2022

**MEETING MINUTES OF THE
LONG GROVE ARCHITECTURAL COMMISSION
REGULAR MEETING
June 20, 2022
7:00 P.M.**

Chairwoman Sylvester called the meeting of the Long Grove Architectural Commission (AC) to order at 7:01 p.m. with the following members present.

Members Present: Jeanne Sylvester; Allen Roiter; John Marshall; and John Plunkett.

Members Absent: Laura Mikolajczak and Matthew Akins

Also Present: Jessica Marvin, Community Development Services, and members of the public.

VISITORS BUSINESS

None.

NEW BUSINESS

1) Approval of the May 16, 2022 Draft Meeting Minutes.

The Commissioners discussed several recommended edits to the draft meeting minutes.

A motion was made by Commissioner Roiter, seconded by Commissioner Marshall, to deny and reconsider the May 16, 2022 meeting minutes.

Ayes: A. Roiter; J. Marshall; J. Sylvester; J. Plunkett

Nays:

Absent: L. Mikolajczak; M. Akins

2) Consideration of a request for signage for “TTO Bokki”, 4196 IL Route 83 and within the Sunset Grove HR-1 Highway Retail Planned Unit Development, submitted by Chul Yong Kim the business owner.

J. Marvin gave an overview presentation of the proposed signage at 4196 IL Route 83 for “TTO Bokki”.

Commissioner Plunkett was concerned that customers wouldn’t be able to read the “Korean Food” sign from IL Route 83. Sean Park from TFA Signs explained the client would like to focus more on the “TTO Bokki” sign. The designated area for signage according to the PUD is a maximum of 42 square feet.

Chairwoman Sylvester mentioned to Mr. Park that other signage within this development are channel letter signs. Mr. Park informed Chairwoman Sylvester that the proposed sign is a front-lit channel cloud

sign and not individual letters. She recommends for Mr. Park to revise the sign to have the individual letters and the fork with the rice cake design to be raised. Mr. Park informed the commission that yellow background will be non-translucent.

Commissioner Plunkett asked about how the square footage of the sign was calculated and J. Marvin read verbatim the sign measurement section of the zoning code. Commissioner Plunkett then recommended to remove the white border around the sign and to move “Korean Food” closer to the bottom of the fork to increase the square footage of the revised sign elsewhere.

Mr. Park will provide updated plans for an enlarger “Korean Food” sign as well as the individual raised front-lit channel letters. He will also provide the commission with the revised sign from different viewpoints (day and night view) from IL Route 83.

A motion was made by Commissioner Plunkett, seconded by Commissioner Roiter to recommend approval of the proposed illuminated signage at 4196 IL Route 83 with the conditions below, subject to staff and AC Chair review.

- The letters and the fork with the rice cake design should be designed as individual raised front-lit channel letters.
- To remove the white boarder around the sign to increase the square footage of the sign.
- To enlarge the font and move “Korean Food” closer to the bottom of the fork.
- The yellow background of the sign is to be non-translucent.
- Please provide a new viewpoint (day and night view) from IL Route 83 to allow the commission to see how large and legible the sign will be from the road.

Ayes: J. Plunkett; A. Roiter; J. Marshall; J. Sylvester

Nays:

Absent: L. Mikolajczak; M. Akins

OTHER BUSINESS

Chairwoman Sylvester asked for an update on the following items:

- Oman’s Greenhouse Hearing
- Joanie’s Pizza
- 145 Old McHenry Road – Staircase
- Bridge Update
- Broken Bridge Sign
- Workshop with the Commission and Mundelein and Long Grove Staff

There was no other business, and the next scheduled Architectural Commission meeting is for July 18, 2022 at 7:00 P.M.

ADJOURNMENT

With no further business, a motion to adjourn the meeting was made by Commissioner Marshall, seconded by Commissioner Roiter.

Ayes: J. Marshall; A. Roiter; J. Sylvester; J. Plunkett

Nays:

Absent: L. Mikolajczak; M. Akins

Meeting Adjourned at 8:09 p.m.

Respectfully Submitted,

Jessica Marvin
Associate Planner

DRAFT

ITEM #1

New Single Family Home

7237 Greywall Court



ARCHITECTURAL COMMISSION STAFF REPORT

To: Jeanne Sylvester, Chair
Architectural Commission Members

From: Jessica Marvin, Community Development Services

Subject: 7237 Greywall Court

Requests: New Single-Family Residence

Public Meeting Date: July 18, 2022

Attachments:

1. Petitioner's Application
2. Location Map
3. Current Applicable Architectural Standards
4. Previous Zoning Code Sections 5-20 and 5-22



PETITIONER Muhammad Khan (future homeowner)
7237 Greywall Court
Long Grove, IL

REQUEST

Review of material and design of a new single-family residence at 7237 Greywall Court.

HISTORY

The Village of Long Grove entered a Settlement Agreement with the owner, Indian Valley Golf Club, Inc., consisting of 113.5 acres, generally located east of Route 83 and west of Diamond Lake Road. The Settlement Agreement provided that this property would be zoned R-3 Single Family Residential District and developed as a planned unit development. The proposed development consists of 133 lots that will be developed with single family residential dwellings. The final Concord Homes' Ravenna Planned Unit Development was approved on September 14, 2004. Majority of the homes were constructed between 2006-2014. A new home is proposed at 7237 Greywall Court.

A permit was submitted for the Khan Residence, 7237 Greywall Court, in June 2022. During the review of this new structure, it was realized that the new home required Architectural Review, pursuant to the PUD.

Per The Concord Homes' Ravenna Planned Unit Development, Section 4 (G)(1) the applicant must go through the Architectural Board of review for approval for the proposed new single-family residence.

G. Design Standards.

1. Applicant shall comply with the architectural control regulations contained in Section 5-20-1 of the Long Grove Zoning Code

Section 5-20-1

Prohibition, Criteria: No building permit shall be an existing building which if erected, remodeled or altered would produce one or more of the harmful effects set forth in section 2-3-1 of this code. In awning, sign, fence or other structure will produce one or more of the harmful effects set forth in section 2-3-1 of this code, the architectural board shall consider whether there exists one or more of the following:

A. Excessive similarity or dissimilarity in design in relation to any other structure existing or for which permit has been issued within a distance of one thousand feet (1,000') of the proposed site or in design generally prevailing in the area in respect to one or more of the following features:

1. Apparently identical façade;
2. Substantially identical size and arrangement of either doors, windows, porticoes or other openings or breaks in the façade facing the street, including a reverse arrangement thereof;
3. Cubical contents;
4. Gross floor area;
5. Other significant design features, such as but not limited to, roofline, height of building, construction or quality of architectural design; or
6. Location and elevation of building upon the site in relation to contiguous properties.

B. Inappropriateness in relation to any other property in same or any adjoining district of design, landscaping, building material, and use thereof, orientation to site, or placement of parking, storage or refuse areas.

PROPOSED PROJECT

The proposed new 4,544 sf single-family residence is located at 7237 Greywall Court. It is a side-loaded, two-story home with a basement.

Proposed materials for the Khan residence include:

- Natural Stone
 - Fond du Lac Stone Ridge Cobble
- Fiber Cement Board Siding, Soffit and Facia
 - Color: Navajo Beige
- Stucco
 - Color: 404 Barn Swallow
- Heavy Cedar Shingle
 - Natural Color

The main style of residences in the neighborhood is Millennium Mansions. The proposed residence consists of Millennium Mansions Architecture.

The proposed residence incorporated many different window and door styles. Rectangular windows with transom and fanlight windows are a prominent feature throughout the whole design. The windows in the neighborhood are mainly rectangular but used different styles of windows to add some dimensions to the overall design of the residences.

The residences on Greywall Court all use similar materials such as: brick, vinyl siding, painted cedar siding, natural stone, stucco and/or EIFS. Similar materials that were listed are being used for the Khan residence but in different exterior areas of the façade compared to other residences on this street.

The front façade of the resident compared to the other residence on Greywall Court uses a large amount of stucco. The left façade has a three-car garage and uses more than 2 materials. The right façade has a lot of blank space with little use of different materials. The rear façade is broken up with a multitude of large rectangular and with transom windows.

The criteria require roof overhangs, similar quality and design of doors and windows, and varied roof lines which this proposed residence meets.

ARCHITECTURAL COMMISSION DECISION

The AC should review the single-family residence against the anti-monotony regulations and render a determination based upon those criteria as well as the appropriateness of the new single-family residence at this location in relation to other residences in the area in general. An excerpt from the Long Grove Zoning Ordinance “Residential Chapter” regarding the anti-monotony regulations is included for consideration by the Commission.

STAFF RECOMMENDATION

The AC should consider whether the materials used, and overall design of the proposed structure aligns with the character of new construction projects for the Village of Long Grove. The proposed materials are used for the other homes of the subdivision. The AC should comment on the overall design as presented. The comments of the AC will be taken into consideration with any other required action.

The residence also utilizes more than four (4) techniques to differentiate houses in the Ravenna of Long Grove neighborhood as required in the anti-monotony regulations. The proposed single-family residence uses a unique architectural style that is similar to the current residences in the neighborhood. The type of building materials used to construct this proposed residence uses similar yet different colored materials. The roof height and orientation are one of kind and will blend in with the architectural style of the other residence in the Ravenna of Long Grove neighborhood.

JNM/JLM/AO



RECEIVED
June 13, 2022
Village of Mundelein
Community Development

**STRUCTURE/FIXTURE
ARCHITECTURAL COMMISSION APPLICATION**

DATE: 05-07-2022

APPLICANT'S NAME: Muhammad N Khan E-MAIL _____

ADDRESS: 912 Bedford court Buffalo Grove IL 60089 PHONE: 847-942-2943

NAME OF BUSINESS: _____

BUSINESS ADDRESS: _____ PHONE: _____

TYPE OF STRUCTURE/FIXTURE: Single family house

1. LOCATION OF STRUCTURE/FIXTURE ON PROPERTY:
 - A. PROVIDE SITE PLAN.
 - B. PROVIDE PHOTOGRAPH OF SITE.
 - C. SQUARE FOOTAGE OF STRUCTURE 4544 SQUARE FEET.

2. DRAWING OF PLANNED STRUCTURE/FIXTURE:
 - A. DIMENSIONS.
 - B. ELEVATIONS (ALL DIRECTIONS).
 - C. LIST MATERIALS TO BE USED/SAMPLE OF COLORS.

3. NAME, ADDRESS, AND PHONE NUMBER OF FIRM ERECTING OR MANAGING STRUCTURE:

Muhammad N Khan PHONE: 847-942-2943

E-MAIL _____

The property owner's signature is required below before any application may be processed. It is understood by the property owner(s) that he or she has read and understands the regulations governing the commercial property under this application in the Village of Long Grove, accepts and is liable for any corrections or modifications required to meet the standards of the Village, and further approves the work to be done on their property.

BUSINESS OWNER(S) _____

PROPERTY OWNER(S) _____

APPLICATION APPROVAL: _____ DATE: _____

Ravenna East Homeowners Association

June 06, 2022

Chicago Title Land Trust #8002385580
912 Bedford Court
Buffalo Grove, IL 60089

Reference: Architectural Modification Request Approval Letter
7237 RFD Greywall Court, Long Grove, IL 60060
XN1523199 Acct# 51976912

Dear Chicago Title Land Trust #8002385580,

Your request for an Architectural Modification for the Ravenna East Homeowners Association on your property at 7237 RFD Greywall Court has been approved. Specifically, you have approval to proceed with the following request as submitted: -Plans Resubmitted. Please see Contractors Response.

1- We will do cedar shake shingles per plan attached. 2- Stone will be provided just as it shows on then drawings 3- The chimney was added to the Drawings, please see attached drawings 4-Please see attached stone picture. 5- The material colors were provided on the initial submission of documents. 6-We are working on the plan, but if you can approve the permit we will provide later. 7- The Rear elevation was updated with the sliding on the living room.

The above-mentioned alteration or addition must remain in compliance with the Association's guidelines and restrictions. Please do not deviate from the plans submitted unless otherwise noted. If your plans need to be changed, please contact management and submit a revised architectural request.

Owners are responsible to contact the City or Village to obtain any necessary or required approval or permits. The Association's approval is subject to the municipality's approval or permitting process.

If applicable, please consider the safety of you and your neighbors and contact JULIE before you or a contractor, begin any digging projects, regardless of depth or project size. Today more electric, gas, water, sewer and telecommunication companies are delivering utility services underground. To avoid personal injury and damage to those lines, the state law requires you to contact JULIE before any digging projects.

Any debris, dirt excavated, and building material from the installation or alteration needs to be hauled offsite and NOT dumped in the common areas within the community. If any items located on common areas, public property and neighboring lots are damaged due to the construction of this alteration you, the owner and/or your contractor, must be responsible for any costs to repair the area.

We appreciate your cooperation in meeting the established guidelines as set forth in your community. It is recommended that you keep this approval letter with your other important home-related papers. If you have questions please contact Property Specialists, Inc. at (847) 806-6121 or email, info@psmanagement.net.

Please note that the Association reserves the right to make a final inspection to ensure that your project is compliant with the architectural design standards applicable to your neighborhood.

Sincerely,

Board of Directors

Professionally Managed By:



2155 Point Boulevard, Suite 210 - Elgin, IL 60123
(847) 806-6121 - Fax (847) 806-6154
www.psimanagement.net

Ravenna East Homeowners Association

Ravenna East Homeowners Association

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2155 Point Boulevard, Suite 210 - Elgin, IL 60123

(847) 806-6121 - Fax (847) 806-6154

www.psimanagement.net

SINGLE FAMILY RESIDENCE

LONG GROVE, ILLINOIS



AD
AGAMA DESIGNS
 architecture
 129 Commercial Drive Suite 8
 Yorkville, Illinois 60560
 Phone: 630-381-9019
 E-mail: alberto@agamadesigns.com

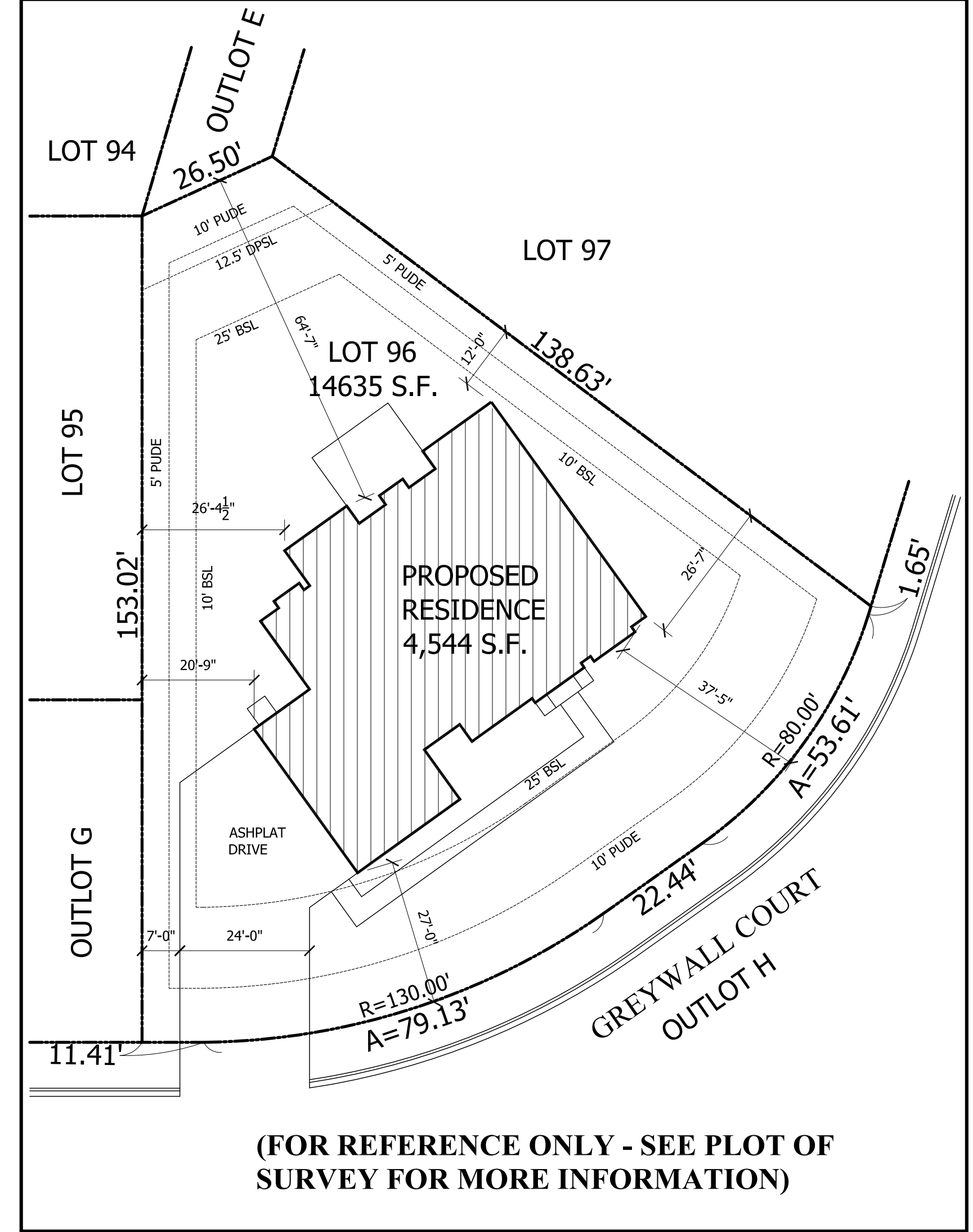
THESE DRAWINGS, INCLUDING ALL DESIGNS, DETAILS, SPECIFICATIONS AND INFORMATION, ARE THE SOLE PROPERTY AND COPYRIGHT OF AGAMA DESIGNS AND ARE FOR USE ON THIS SPECIFIC PROJECT AND SHALL NOT BE USED ON ANY OTHER WORK WITHOUT THE AGREEMENT AND WRITTEN PERMISSION OF AGAMA DESIGNS.

ISSUED	DATE
FOR APPROVAL	
FOR PERMIT	
FOR BID	
FOR CONST.	

REVISIONS	DATE
▲	
▲	
▲	

RESIDENTIAL GENERAL NOTES

- SECTION 0100 GENERAL**
- MEANS AND METHODS AND SAFETY OF WORK: THE ARCHITECT SHALL NOT CONTROL OR SPECIFY ANY MEANS OR METHODS OF ANY WORK PERFORMED BY THE GENERAL CONTRACTOR OR ANY SUBCONTRACTOR. ALL ISSUES OF JOBSITE SAFETY SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR, THE CONSTRUCTION MANAGER OR THE OWNER IF THE OWNER IS ACTING AS GENERAL CONTRACTOR OR CONSTRUCTION MANAGER.
 - INSURANCE: ALL CONTRACTORS SHALL HAVE A MINIMUM OF ONE MILLION DOLLARS OF INSURANCE COVERAGE FOR PROPERTY AND PERSONAL LIABILITY INSURANCE FOR THE PERFORMANCE OF THE WORK AND TRANSPORTATION TO AND FROM THE JOBSITE. ALL CONTRACTORS EMPLOYING OTHERS SHALL HAVE WORKMAN'S COMPENSATION INSURANCE AS REQUIRED BY THE STATE OF ILLINOIS. ALL CONTRACTORS SHALL SUPPLY THE OWNER WITH CURRENT CERTIFICATES OF INSURANCE THAT NAME THE OWNER AND THE ARCHITECT AS "ALSO INSURED". SUBMITTAL OF A BID SHALL BE CONSTRUED AS EVIDENCE THAT THE CONTRACTOR HAS SUCH INSURANCE OR WILL PROVIDE SUCH INSURANCE. NOT SUBMITTING SUCH CERTIFICATES SHALL NOT CONSTITUTE WAIVING OF CONTRACTOR'S REQUIREMENT TO CARRY INSURANCE THROUGHOUT THE DURATION OF THE JOB. BIDDER AGREES THAT NON-SUBMITTAL OF AN INSURANCE CERTIFICATE IS GROUNDS FOR WITHOLDING PAYMENT BY OWNER UNTIL CERTIFICATE IS FILED WITH THE OWNER.
 - ERRORS AND CONFLICTS ON THE DRAWINGS: THE GENERAL CONTRACTOR OR CONST. MANAGER SHALL BE RESPONSIBLE FOR CHECKING AND VERIFYING ALL DIMENSIONS ON THE DESIGN DRAWINGS AND ANY SHOP DRAWINGS. THE GENERAL CONTRACTOR OR CONSTRUCTION MANAGER SHALL BE RESPONSIBLE FOR VERIFYING AND CHECKING THE LAYOUT AND CONSTRUCTION OF ALL SUBCONTRACTORS, AND HIS OWN WORK. THE ARCHITECT SHALL NOT BE LIABLE FOR CORRECTIVE WORK OR REMOVAL OF RESULTING FROM ERRORS OR CONFLICTS ON THE DESIGN DRAWINGS IF THE GENERAL CONTRACTOR OR CONSTRUCTION MANAGER FAILS TO CHECK THE DRAWINGS OR THE LAYOUT FOR CONFORMANCE WITH THE OVERALL DESIGN CONCEPT. SUBCONTRACTORS ARE RESPONSIBLE FOR VERIFYING THAT ANY EQUIPMENT OR FIXTURES SPECIFIED BY MODEL NUMBER ETC. IS THE APPROPRIATE MODEL NUMBER, WITH THE APPROPRIATE FITTINGS, ATTACHMENTS, TRIMS, ETC. FOR THE TYPE OF CONSTRUCTION INTO WHICH THE EQUIPMENT, DEVICE OR FIXTURE IS TO BE INSTALLED. THE ARCHITECT ASSUMES NO LIABILITY FOR CORRECTION OR REPLACEMENT OR RESTOCKING FEES FOR MATERIALS ORDERED BY ANY CONTRACTOR OR SUBCONTRACTOR WHO DOES NOT VERIFY MODEL NUMBERS AND CONTEXT OF THE INSTALLATION.
 - GENERAL CONTRACTOR SHALL VISIT THE SITE AND FULLY INFORM HIMSELF OF ALL EXISTING CONDITIONS AND LIMITATIONS AFFECTING THE WORK. ALL DIMENSIONS TO BE VERIFIED IN THE FIELD.
 - DO NOT SCALE DRAWINGS, DIMENSIONS GOVERN. CONTACT ARCHITECT FOR ANY CLARIFICATIONS.
 - ALL WORK TO BE DONE IN ACCORDANCE WITH ALL STATE AND LOCAL CODES WHICH HAVE AUTHORITY OVER THIS PROJECT.
 - THE CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, LICENSES AND INSPECTIONS NECESSARY AND INCIDENTAL FOR HIS INSTALLATION.
 - THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF ALL TOOLS, DEBRIS AND GENERAL CLEAN-UP
 - GENERAL CONTRACTOR TO UNCONDITIONALLY GUARANTEE ALL WORK AND MATERIALS FOR A PERIOD OF ONE YEAR AFTER ACCEPTANCE OF THE WORK AND MATERIALS.
 - THE G.C. SHALL BUILD THE BUILDING IN ACCORDANCE WITH THE MINIMUM STANDARDS OF THE INTERNATIONAL RESIDENTIAL CODE AND ALL LOCAL BUILDING CODES
 - G.C. TO COMPLY WITH FEDERAL OSHA STANDARDS
- SECTION 0200 SITE**
- EXCAVATION: UNLESS NOTED OTHERWISE, ASSUMED BEARING CAPACITY FOR FOUNDATION DESIGN IS 3000 PSF. NOTIFY ARCHITECT IMMEDIATELY IF PROPER BEARING IS NOT EVIDENT.
 - SITE CLEARING: DO NOT REMOVE ANY TREES OR VEGETATION OUTSIDE OF THE IMMEDIATE AREA OF THE HOUSE. OBTAIN OWNERS WRITTEN PERMISSION BEFORE REMOVING ANY TREE OVER 2" DIAMETER. STOCKPILE TOPSOIL AND REAPPLY TO FINISH GRADE AROUND HOUSE. FINISH GRADE SHALL BE +/- 1" OF GRADES SHOWN ON DRAWING. IF NO GRADES ARE INDICATED, GRADE FOR PROPER DRAINAGE AWAY FROM AND AROUND THE HOUSE. MAINTAIN GRADE MIN. 8" BELOW TOP OF FOUNDATION.
 - AREAS NOTED "UNEXCAVATED" AND ALL AREAS BELOW CONCRETE SLABS SHALL HAVE UNSUITABLE MATERIALS REMOVED AND BE PROPERLY COMPACTED BEFORE GRANULAR FILL IS PLACED AND COMPACTED
 - CALL "J.U.L.I.E." 1-800-892-0123 OR "DIGGER" 1-312-744-7000 AT LEAST 48 HOURS BEFORE YOU DIG. (TWO WORKING DAYS)
 - COMPLIANCE WITH UNDERGROUND AND OVERHEAD FACILITIES REGULATIONS MUST BE DONE BEFORE WORK BEGINS
- SECTION 0300 CONCRETE**
- 4" DRAIN TILE: 4" PERFORATED PVC FOUNDATION DRAIN TILE ALL AROUND THE FOUNDATION CONNECTED TO SUMP PUMP. PROVIDE 2" MIN. WASHED STONE BED AND 12" MIN. STONE COVER. PROVIDE 4" DIA. VERTICAL PIPE FROM EACH WINDOW WELL DOWN TO DRAIN TILE, FILL W/ STONE. COVER DRAIN TILE WITH APPROVED FILTER MEMBRANE MATERIAL (DRAIN TILE IN A SOCK TYPE)
 - CONCRETE: USE 3000 PSI (AT 28 DAYS) COMPRESSIVE STRENGTH. TRANSIT MIXED CONCRETE: ASTM C-90 UNLESS NOTED OTHERWISE. USE AIR ENTRAINING ADMIXTURE FOR ALL FLATWORK EXPOSED TO WEATHER. PITCH ALL EXTERIOR CONCRETE SLABS AND WALKS 1/8" AWAY FROM THE HOUSE.
 - ALL FOOTINGS TO BEAR NO LESS THAN 48" BELOW FINISHED GRADE ON UNDISTURBED, INORGANIC SOIL WITH AN ALLOWABLE BEARING CAPACITY OF 3,000 P.S.F.
 - ESCAPE LADDER IS REQUIRED FOR ESCAPE WINDOW. PROVIDE WINDOW WELL COVER ON ALL WINDOW WELLS.
 - SEALED SUMP PUMP PIT REQUIRED FOR PASSIVE RADON SYSTEM
- SECTION 0400 MASONRY**
- MASONRY: USE GALVANIZED CORRUGATED BRICK TIES ATTACHED TO SHEATHING AND STUDS AT 16" O.C. HORIZ. (NOT TO EXCEED 24") & 16" VERT. USE TYPE "M" MORTAR, NATURAL COLOR UNLESS INDICATED OTHERWISE ON THE DRAWING. PROVIDE COTTON ROPE LOOPED BETWEEN EACH TWO ADJACENT WEEP HOLES. LOCATE WEEP HOLES 24" O.C. USE PVC BASE FLASHING AND PVC FLASHING AT WINDOW SILLS AND HEADS
- SECTION 0500 METALS**
- ANCHOR BOLT - ALL WOOD PLATES ANCHORED TO CONCRETE TO HAVE 1/2"x10" HOOKED BOLTS WITH 7" EMBEDMENT SPACED MAX. 6'-0" O.C. AND WITHIN 12" OF ALL CORNERS (MIN. 2 PER PLATE)
 - LALLY COLUMNS SPECIFIED ARE OUTSIDE DIAMETER OF STANDARD WEIGHT, UNLESS NOTED OTHERWISE. THEY SHALL BE FURNISHED WITH 6"x10"x3/4" BASE PLATES, AND 6"x10"x1/2" CAP PLATES, UNLESS NOTED. BASE PLATES AND CAP PLATES SHALL BE SECURED DIRECTLY TO FOUNDATIONS AND STEEL BEAMS WITH 2-1/2" DIAMETER BOLTS (MINIMUM)
- SECTION 0600 WOOD**
- FRAMING LUMBER SPECIES AND BASE VALUES SHALL BE AS NOTED BELOW, U.N.O. RAFTERS, JOISTS, HEADERS AND BEAMS- #2 DOMESTIC HEM-FIR OR BETTER Fb= 850 PSI, Fv= 75 PSI, E= 1,300,000 PSI STUDS- 10'-0" AND LESS IN HEIGHT- STUD GRADE S-P-F OR BETTER Fb= 575 PSI, Fc= 600 PSI, E= 1,000,000 PSI GREATER THAN 10'-0" IN HEIGHT- #2 S-P-F OR BETTER Fb= 750 PSI, Fc= 975 PSI, E= 1,100,000 PSI POSTS AND TREATED LUMBER- #2 SOUTHERN PINE OR BETTER Fv= PER NDS TABLES, Fv= 90 PSI, Fc= PER NDS TABLES, E= 1,600,000 PSI LAMINATED STRUCTURAL WOOD BEAMS Fv= 2,400 PSI, Fv= 165 PSI, E=1,800,000 ALL FRAMING MEMBERS DESIGNATED "ML" OR "MICROLAM" SHALL BE L96 MICROLAM LVL BY TRUS JOIST Mfg/MILL OR BETTER Fv= 2,600 PSI, Fv= 285 PSI, E= 1,900,000
 - DOUBLE FRAMING MEMBERS (MINIMUM) AROUND OPENINGS IN ROOFS, FLOORS, CEILINGS, UNDER BATHTUBS AND SHOWERS AND UNDER PARTITIONS PARALLEL TO JOISTS.
 - ALL HEADERS TO BE 2-2"x12" UNLESS NOTED OTHERWISE
 - MINIMUM 2 CRIPPLE STUDS BELOW ALL OPENINGS 6'-0" AND WIDER
 - DESIGN LOADS AS FOLLOWS:
 ROOF DESIGN LIVE LOAD = 30 PSF CEILING/ATTIC DESIGN LIVE LOAD = 20 PSF
 SNOW GROUND LOAD = 30 PSF WALL WIND LOAD, 0-20 FT. = 20 PSF
 ROOF SNOW LOAD = 30 PSF FLOOR DESIGN LIVE LOAD = 40 PSF WALL WIND LOAD, 21-29 FT. = 25 PSF
 FLOOR DESIGN LIVE LOAD = 40 PSF WALL WIND LOAD, +30 FT. = 30 PSF
 - ALL WALL TOP PLATES ARE TO BE LAPPED AT ALL CORNERS
 - PROVIDE METAL JOISTS HANGERS AT STAIRS AND ALL FLUSH FRAMED MEMBERS
 - FIRESTOP SOFFITS AND TOP AND BOTTOM OF STAIR STRINGERS
 - PROVIDE MINIMUM 2" CLEARANCE BETWEEN FRAMING MEMBERS AND CHIMNEY
 - FIRESTOP CAVITIES BETWEEN CHIMNEY AND FRAMING MEMBER WITH NON-COMBUSTIBLE FILL
- SECTION 0700 THERMAL**
- GLAZING: ALL GLAZING WITHIN 12" OF A DOOR (IN CLOSED POSITION), OR WITHIN A DOOR, OR WITHIN 18" FROM FINISHED FLOOR OR WALKING SURFACE (WITHIN 36" OF GLAZING), SHALL BE TEMPERED GLASS OR OTHER APPROVED SAFETY GLAZING. MEET 2015 IRC R-308
 - ALL GLAZING TO FOLLOW 2015 INTERNATIONAL RESIDENTIAL CODE AS REQUIRED
 - PROVIDE TEMPERED SAFETY GLASS, AS NOTED, AT ALL WINDOWS OVER TUBS, AND AT WINDOWS WITH SILLS 18" OR LESS ABOVE THE FINISHED FLOOR
 - EXPOSED CRAFT PAPER OF INSULATION IN BASEMENT MUST HAVE A FLAME SPREAD OF 25 OR LESS
 - FLASH OVER EXTERIOR DOORS AND WINDOWS, UNDER SILLS AND AT JUNCTIONS WITH DISSIMILAR MATERIALS
 FLASHING AT TOP OF FOUNDATION TO CARRY 16" UP WALL
 ALL ROOFING COUNTER FLASHING MUST BE BENT AND CUT INTO THE BRICK MORTAR JOINTS
 - BEDROOM WINDOW EGRESS - WINDOW MANUFACTURER TO SUPPLY WINDOWS FOR SLEEPING ROOMS WHICH MEET THE CABO 1 & 2 FAMILY DWELLING CODE EMERGENCY EGRESS REQUIREMENTS. MIN. OPENABLE AREA OF 5.7 SQ. FT. MIN. OPENABLE CLEAR HEIGHT OF 2'-0" AND A MIN. CLEAR WIDTH OF 1'-8" AND NOT MORE THAN 3'-4" ABOVE FINISHED FLOOR - 2015 IRC
- SECTION 0800 DOORS**
- U.N.O. DOORS SHALL BE CENTERED IN OPENINGS OR MIN. 4" FROM FACE OF ADJACENT WALLS.
- SECTION 0900 FINISHES**
- INTERIOR TRIM: FILL ALL VOIDS IN FRAMING OR AROUND PENETRATIONS IN CONSTRUCTION WITH EXPANDING FOAM. USE POLYSULFIDE, URETHANE, OR RUBBER SILICONE CAULK AT ALL OPENINGS, JOINTS, ETC. AS REQUIRED TO MAKE CONSTRUCTION WEATHER TIGHT.
 - ALL FIRST FLOOR CEILINGS SHALL BE 9'-0", UNLESS NOTED OTHERWISE.
 - PROVIDE WATER RESISTIVE DRYWALL IN ALL BATHS, SHOWERS AND AREAS SUBJECT TO MOISTURE.
- SECTION 1000 SPECIALTIES**
- STAIR NOTES - ALL STAIRS SHALL HAVE A MAX. RISE OF 7 3/4", A MIN. TREAD OF 10" CLEAR OF TREAD ABOVE, MINIMUM 1 1/8" NOSING, MINIMUM WIDTH OF 36" AND A CONT. CLEAR HEADROOM MEASURED VERTICALLY FROM FRONT NOSING OF TREAD TO A LINE PARALLEL WITH A STAIR RUN MIN. OF 6'-10"
 - HAND AND GUARD RAILS
 A. ALL REQUIRED HANDRAILS SHALL BE CONTINUOUS TH FULL LENGTH OF THE STAIRS AND ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS
 B. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE NOT LESS THAN 1 1/2" BETWEEN THE WALL AND THE HANDRAIL
 C. HANDRAILS SHALL HAVE EITHER A CIRCULAR CROSS SECTION WITH A DIAMETER OF 1 1/4" TO 2" OR A NON-CIRCULAR CROSS WITH A PERIMETER DIMENSION OF AT LEAST 4" BUT NOT MORE THAN 6 1/4" AND A LARGEST CROSS SECTION DIMENSION NOT EXCEEDING 2 1/4"
 D. STAIR NOSINGS SHALL BE NO LESS THAN 1 1/8"
 E. OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN 30" ABOVE THE FLOOR SHALL HAVE GUARDRAILS NOT LESS THAN 34" IN HEIGHT MEASURED VERTICALLY FROM THE NOSING OF THE TREADS.
 F. GUARDRAILS ON OPEN SIDES OF STAIRWAYS OR RAISED FLOOR AREAS SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL CLOSURES WHICH DO NOT ALLOW PASSAGE OF AN OBJECT 4" OR MORE IN DIAMETER.
 G. THE TRIANGULAR OPENINGS FORMED BY RISER, TREAD AND BOTTOM RAIL OF A GUARDRAIL AT THE OPEN SIDE OF A STAIRWAY WILL NOT ALLOW AN OBJECT THE SIZE OF A 4" SPHERE PASS THROUGH - 36" MIN. HEIGHT
 - ALL GUARDRAILS (VERANDA, BALCONY, DECK, AND INTERIOR STAIRWELLS, ETC.) SHALL HAVE BALUSTERS WHICH ARE SPACED SO THAT A 4" DIAMETER SPHERE CANNOT PASS-THRU.
- SECTION 1500 MECHANICAL & PLUMBING**
- PLUMBING: USE HARD COPPER (TYPE "L" ABOVE GRADE OR "K" BELOW GRADE FOR ALL WATER SUPPLY. USE 4" SCHEDULE 40 CAST IRON BELOW GRADE FOR WASTE. USE SCHED. 40 PVC WASTE PIPING ABOVE GRADE. PROPERLY VENT ALL WASTE LINES. DO NOT USE WET VENTS. PROVIDE HOSE BIBBS WHERE SHOWN OR WHERE DIRECTED BY THE OWNER. PROVIDE SUMP, PUMP AND METAL LID FOR FOUNDATION DRAIN. PROVIDE HIGH WATER ALARM IN SUMP. PROVIDE INSTALLATION OF BATTERY BACK-UP FOR SUMP PUMP IF OWNER SUPPLIES EQUIPMENT. USE NON-LEAD SOLDER. CONNECT BASEMENT FLOOR DRAIN TO SANITARY SEWER.
 - VENT DRYERS AND EXHAUST FANS DIRECTLY TO EXTERIOR VIA METAL DUCT
 - PROVIDE ANTI-SCAD VALVES IN ALL TUBS, SHOWERS AND TUB/SHOWER COMBINATIONS. SET TO DELIVER MAX. 115 DEGREES. DO NOT USE HOT WATER HEATER TO SET VALVES.
 - PROVIDE ACCESS PANEL FOR WHIRLPOOL MOTOR REPAIRS, 18" x 24" W.
 - PROVIDE GRAY BOX OR 2" STAND PIPE FOR WAHER DISCHARGE AND FLOOR DRAIN IN LAUNDRY AREA.
 - PROVIDE FULL 2" WASTE OPENINGS FOR KITCHEN SINK W/ ACCESSIBLE FULL 2" OPENING FOR CLEAN OUT UNDER SINK.
 - ALL FLOORDRAINS MUST BE TRAPPED AND VENTED. SEND TO EJECTOR PIT WHEN BELOW GRADE, SEND TO SEWER WHEN ABOVE GRADE.
 - SUMP PIT MUST BE 2" ABOVE THE FINISHED FLOOR.
 - COMBUSTION AIR FROM OUTDOOR SHALL BE REQUIRED IF THE SPACE WHERE COMBUSTION APPLIANCES ARE LOCATED IS ENCLOSED OR OF UNUSUALLY TIGHT CONSTRUCTION
- SECTION 1600 ELECTRICAL - 2014 NEC / 2015 IRC**
- ELECTRICAL: 200 AMP 120/240 VOLT SERVICE (VERIFY). USE CONDUIT AND CONDUCTORS SIZED PER CURRENT NATIONAL ELECTRICAL CODE. UNLESS NOTED OTHERWISE, PROVIDE SWITCHED CIRCUIT IN 1/2 OF EACH OUTLET IN EVERY BEDROOM. PROVIDE JUNCTION BOX AND/OR OUTLET FOR GARBAGE DISPOSER, DISHWASHER, OVERHEAD DOOR OPERATOR(S), CEILING FANS, ETC. PROVIDE GROUND FAULT INTERRUPTING CIRCUITS AT ALL OUTLETS WITHIN 6'-0" OF BATHROOM, KITCHEN, BASEMENT ETC. SINKS. ALSO G.F.I. AT EXTERIOR & GARAGE OUTLETS.
 - FOLLOW THE NATIONAL ELECTRIC CODE- GROUND FAULT INTERRUPT = ALL OUTLETS
 - USE SINGLE DEDICATED OUTLETS FOR SUMP, EJECTOR AND FURNACE.
 - NO MORE THAN 12'-0" PERMITTED BETWEEN ELECTRICAL RECEPTACLES AND THEY SHALL BE LOCATED NOT MORE THAN 6'-0" FROM AN OPENING IN A WALL
 - DUAL-VOLTAGE U.L.A. SMOKE DETECTORS WIRED IN SERIES WITH BATTERY BACKUP ON EACH LEVEL AND IN EACH BEDROOM
 - LIGHT FIXTURES IN ALL CLOSETS
 A. LOCATION-A FIXTURE IN A CLOSET SHALL BE PERMITTED TO BE INSTALLED:
 1. ON THE WALL ABOVE THE CLOSET DOOR, PROVIDED THE CLEARANCE BETWEEN THE FIXTURE AND A STORAGE AREA WHERE COMBUSTIBLE MATERIAL MAY BE STORED WITHIN THE CLOSET IS NOT LESS THAN 18" OR...
 2. ON THE CEILING OVER AN AREA WHICH IS UNOBSTRUCTED TO THE FLOOR, MAINTAINING AN 18" CLEARANCE HORIZONTALLY BETWEEN THE FIXTURE AND A STORAGE AREA WHERE COMBUSTIBLE MATERIAL MAY BE STORED WITHIN THE CLOSET
 B. FLUSH RECESSED FIXTURE WITH A SOLID LENS OR A CEILING FLOURESCENT FIXTURE SHALL BE PERMITTED TO BE INSTALLED, PROVIDED THERE IS A 6" CLEARANCE, HORIZONTALLY BETWEEN THE FIXTURE AND STORAGE AREA.
 B. PENDANTS SHALL NOT BE INSTALLED IN CLOTHES CLOSETS.
 - CEILING LIGHT FIXTURES IN HABITABLE ROOMS SHALL HAVE FAN RATED BOXES



SITE PLAN

SCALE: 1" = 20'

Village of Long Grove

The Village Hall:
 3110 Old McHenry Road
 Long Grove, IL 60047
 (847) 634-9440
 (847) 634-9408 fax

THESE DRAWINGS AND ALL CONSTRUCTION SHALL CONFORM TO THE VILLAGE OF LONG GROVE CODES AND AMENDMENTS LISTED BELOW :

- International Residential Code - 2015 Edition
- International Building Code - 2015 Edition
- International Mechanical Code - 2015 Edition
- National Electric Code - 2014 Edition
- Illinois State Plumbing Code - 2014 Edition
- International Fire Code - 2015 Edition
- International Fuel Gas Code - 2015 Edition
- International Existing Building Code - 2015 Edition
- International Property Maintenance Code - 2015 Edition
- International Wildland - Urban Interface Code - 2015 Edition
- International Swimming Pool and Spa Code - 2015 Edition
- Illinois Accessibility Code - 2018 Edition
- International Energy Conservation Code - 2018 Edition

DRAWING INDEX

DWG#	DRAWING TITLE
T1	Cover Sheet
A1	Exterior Elevations
A2	Exterior Elevations & Roof Plan
A3	Basement Plan & Notes
A4	First Floor Plan & Notes
A5	Second Floor Plan & Notes
A6	Basement Electric Plan & Schedules
A7	First Floor Electric Plan & Overall Section
A8	Second Floor Electric Plan & Plumbing Diagrams
A9	Sections and Details
M1	Basement & First Floor Mechanical
M2	Second Floor Mechanical

Design Firm License No. 184-005990

I HEREBY CERTIFY THAT THESE PLANS AND SPECIFICATIONS ARE PREPARED UNDER MY DIRECT SUPERVISION AND TO THE BEST OF KNOWLEDGE CONFORM TO ALL APPLICABLE CODES AND ORDINANCES

ARCHITECT ILL. LIC. #001-020439
 EXPIRATION DATE: 06-02-22

ALBERTO B. AGAMA

PROJECT: PROPOSED NEW RESIDENCE
 7237 GREYWALL COURT (LOT 96)
 LONG GROVE, IL 60047

CLIENT: GREYWALL COURT LLC
 6870 ELLIS DRIVE
 LONG GROVE, IL 60047

JOB NO. 21-011
 DATE 06-10-21
 FILE
 PLOT SCALE: 1:1

OWNER APPROVAL

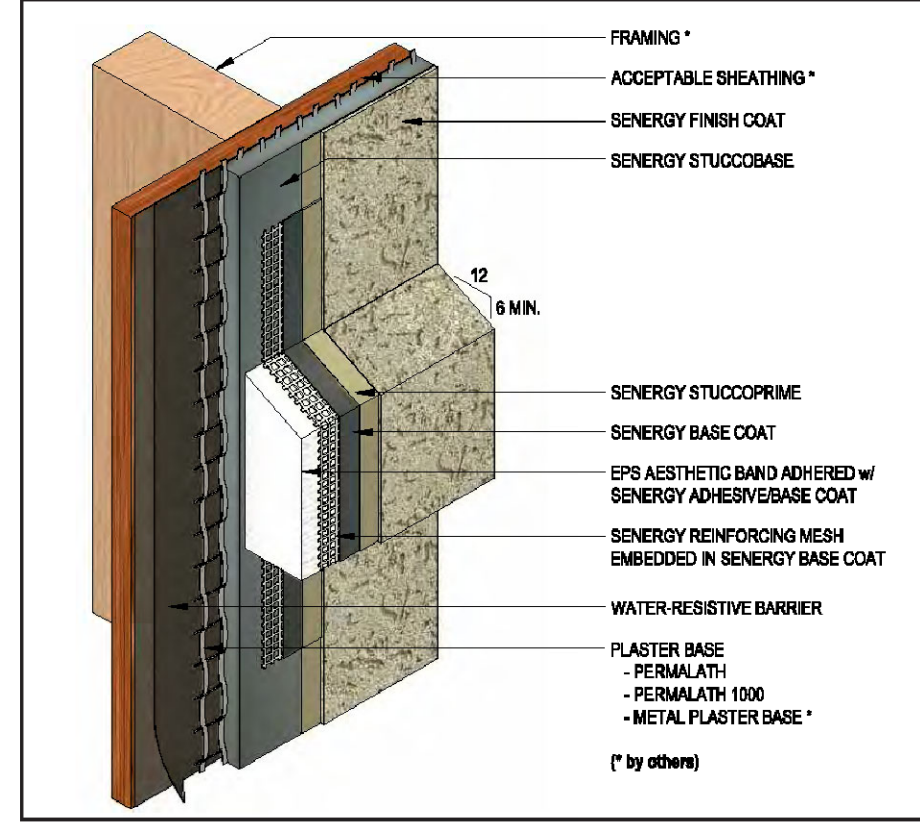
Signature _____
 Date _____

SHEET TITLE
 DRAWING INDEX &
 GENERAL NOTES &
 SITE PLAN

SHEET NUMBER
T1

- Notes:**
- Verify all materials are installed in accordance with installation instructions and applicable code.
 - Overlap reinforced base coat onto StuccoBase a minimum of 76 mm (3").
 - On horizontal projections greater than one inch maintain a minimum 6:12 slope.

TYPICAL EPS SHAPE APPLICATION



USE 2-2X12 HEADER W/ 1/2" R-3 FOAM SPACER IN BETWEEN ABOVE WINDOWS -PLACE HEADER RIGHT BELOW TOP PLATES (TYPICAL)

WINDOW NOTE: ALL WINDOW SIZES ARE ACCORDING TO PELLA PROLINE

◇ E = EGRESS WINDOW
◇ S = SAFETY GLASS

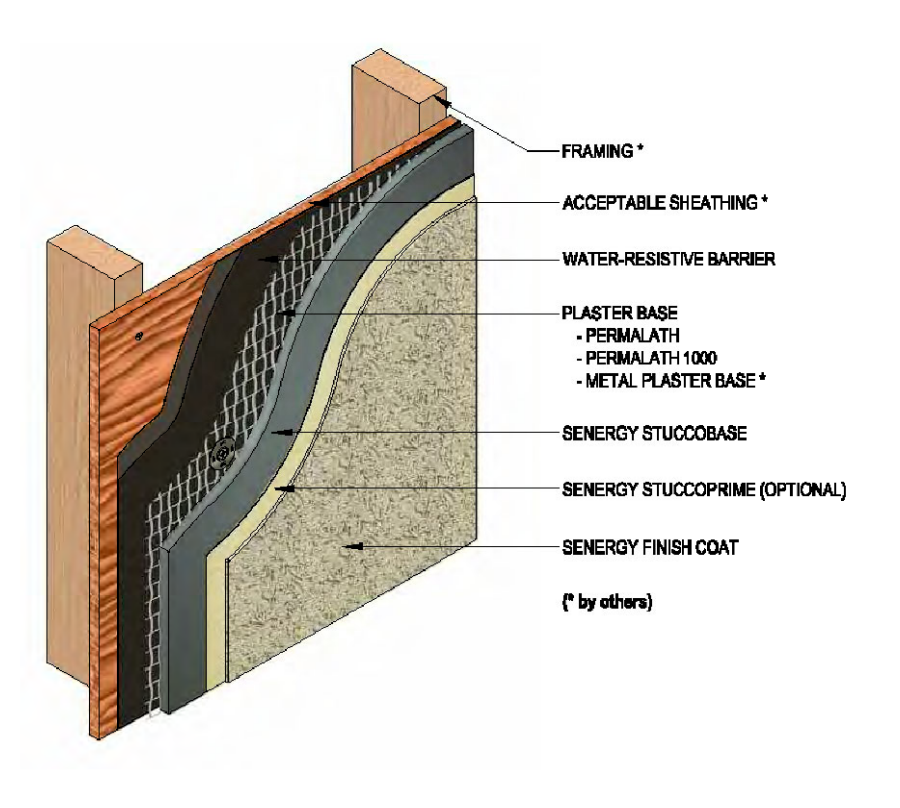
WINDOW NOTE: PROVIDE 0.30 U-FACTOR IN ALL WINDOWS



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

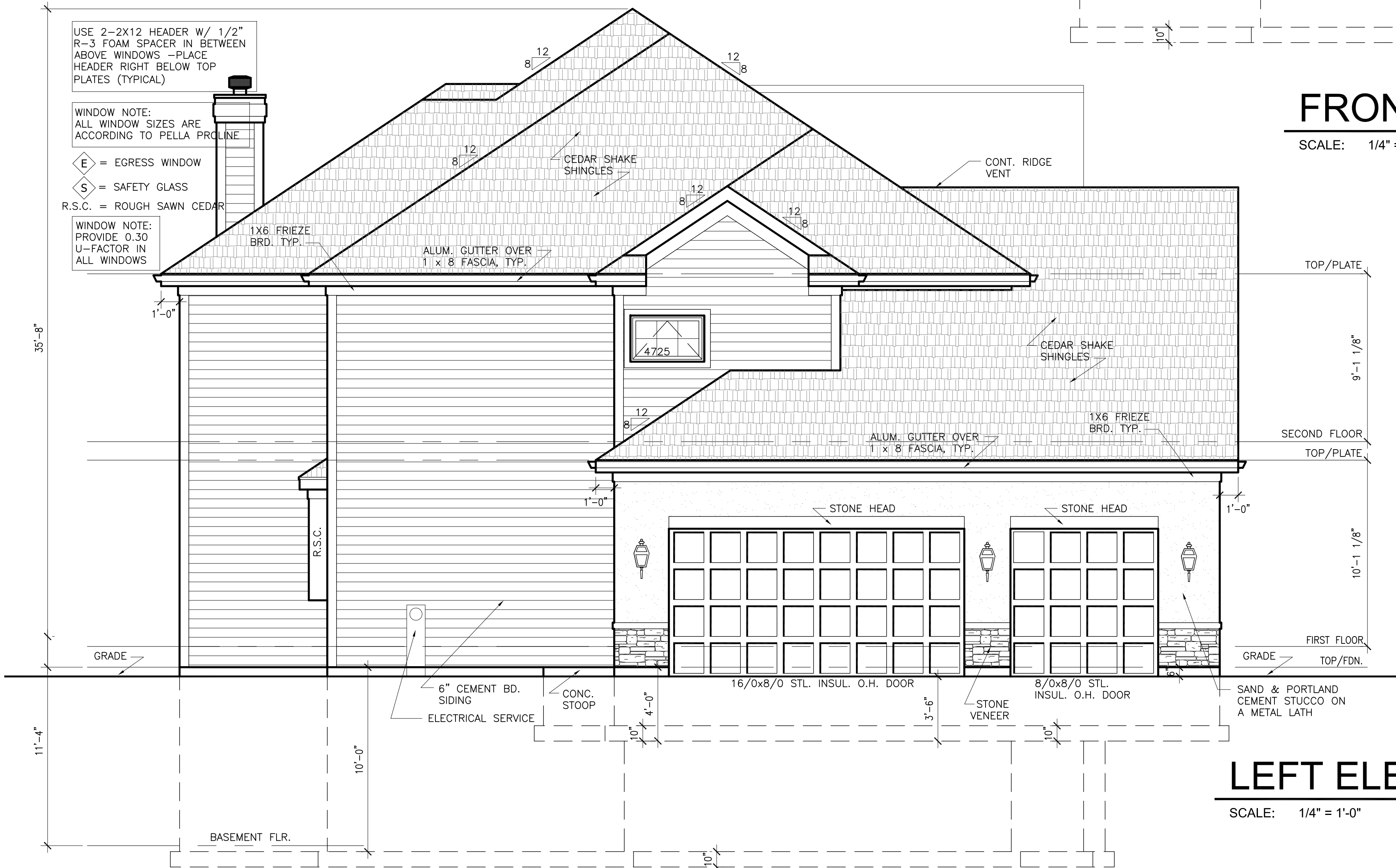
WITH WOOD FRAMING



- Notes:**
- Verify all materials are installed in accordance with installation instructions and applicable code.
 - Basic requirements for water-resistive Barrier:
 - Two layers minimum Grade D on wood based sheathing
 - One layer minimum No.15 felt on non-wood based sheathing
 - Sensshield-R with one layer minimum Grade D as slip sheet on wood and non-wood based sheathing
 - The use of Permalath requires the use of a polymer water-resistive barrier. Comply with applicable local building code.
 - Basic requirements for Plaster Base:
 - StuccoBase 3/8" to 1/2" thickness: Permalath or min. 1" 20 ga. wire, min. 2.5 lbs/sqyd metal lath or acceptable alternative.
 - StuccoBase min. 1/2" to nominal 7/8" thickness: Permalath 1000 or min. 1 1/2" 17 ga. wire, min. 2.5 lbs/sqyd. metal lath or acceptable alternative.

STUCCO DETAILS

SCALE: NTS



LEFT ELEVATION

SCALE: 1/4" = 1'-0"



AGAMA DESIGNS
architecture
129 Commercial Drive Suite 8
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E-mail: alberto@agamadesigns.com

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FOR CONST.	

REVISIONS	DATE
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PROJECT: **PROPOSED NEW RESIDENCE**
7237 GREYWALL COURT (LOT 96)
LONG GROVE, IL 60047

CLIENT: GREYWALL COURT LLC
6870 ELLIS DRIVE
LONG GROVE, IL 60047

JOB NO. 21-011
DATE 06-10-21
FILE
PLOT SCALE: 1/4"

OWNER APPROVAL

Signature _____
Date _____

SHEET TITLE
EXTERIOR ELEVATIONS & DETAILS

SHEET NUMBER
A1

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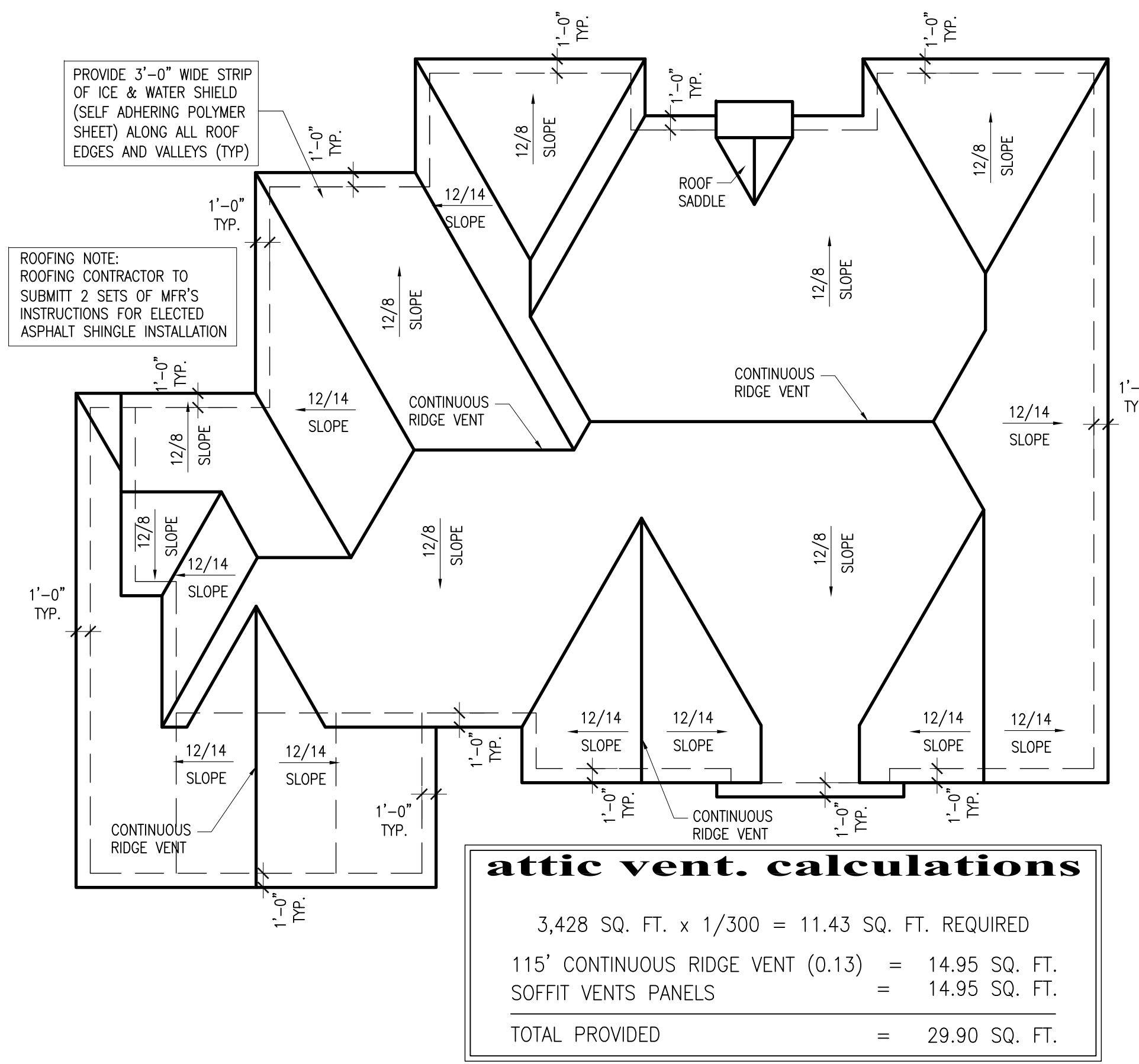
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REAR ELEVATION

SCALE: 1/4" = 1'-0"

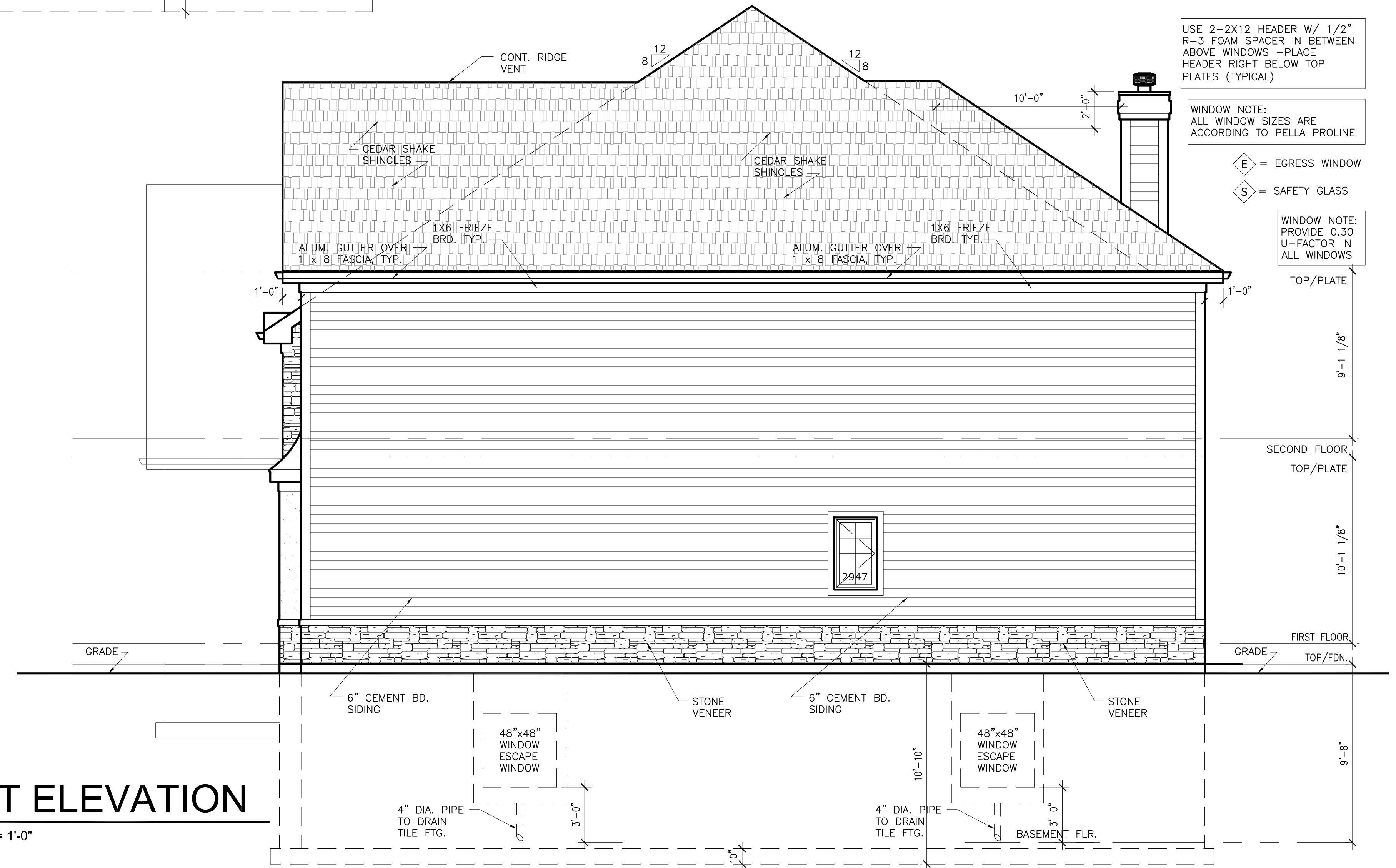


attic vent. calculations

3,428 SQ. FT. x 1/300	= 11.43 SQ. FT. REQUIRED
115' CONTINUOUS RIDGE VENT (0.13)	= 14.95 SQ. FT.
SOFFIT VENTS PANELS	= 14.95 SQ. FT.
TOTAL PROVIDED	= 29.90 SQ. FT.

ROOF PLAN

SCALE: 1/8" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

PROJECT: PROPOSED NEW RESIDENCE
7237 GREYWALL COURT (LOT 96)
LONG GROVE, IL 60047
CLIENT: GREYWALL COURT LLC
6870 ELLIS DRIVE
LONG GROVE, IL 60047

JOB NO. 21-011
DATE 06-10-21
FILE
PLOT SCALE: 1:1
OWNER APPROVAL

Signature _____
Date _____

SHEET TITLE
EXTERIOR ELEVATIONS
& ROOF PLAN

SHEET NUMBER
A2

NOTES

- ALL FLOOR JOISTS SHALL BE #2 DOMESTIC HEM-FIR OR #2 CANADIAN SPRUCE PINE FIR OR BETTER WITH BRIDGING U.N.O. ON PLANS.
- MINIMUM FOOTING SIZES REQ'D: 10" x 20" SOIL BEARING CAPACITY = 3000 PSF
- EXTERIOR WALL FRAMING TO BE FULLY BRACED WITH 1/2" O.S.B SHEATHING
- FOUNDATION WALLS SHALL BE 10" THICK UNDER BRICK VENEER AND 8" THICK UNDER FRAME CONSTRUCTION.
- DOUBLE ALL JOIST UNDER WHIRLPOOL
- ALL FOOTINGS TO BEAR ON UNDISTURBED, NON-ORGANIC SOIL CAPABLE OF CARRYING 3,000 PSF MINIMUM AND TO BE A MINIMUM OF 42" BELOW GRADE
- STRUCTURAL STEEL TO BE A.S.T.M. A-36 REINFORCING STEEL TO BE GRADE 60
- ALL GLAZING TO FOLLOW R308 OF THE 2015 IRC AS REQUIRED, REQUIREMENTS PROVIDE SAFETY GLASS IN ALL DOORS, SIDELIGHTS, WINDOWS WITH GLAZING WITHIN 18" OF THE FLOOR & OVER 9 SQUARE FEET OF AREA, GLASS SHOWER ENCLOSURES, AND WINDOWS AT TUB AREA
- ANY WHIRLPOOL INSTALLATIONS ARE TO FOLLOW 2014 NEC
- DRYER VENT SHALL BE MADE OF GALVANIZED SHEET METAL OR ALUMINUM - VENT DRYERS AND EXHAUST FANS TO OUTSIDE
- A FIRE RATED DOOR IS REQUIRED BETWEEN THE GARAGE AND THE HOUSE - SOLID CORE WITH CLOSERS
- CONTRACTORS TO OBTAIN AND FOLLOW THE INSTALLATION DETAILS AND PROCEDURES FOR ALL MANUFACTURED PRODUCTS AS CALLED FOR IN THE MANUFACTURER'S SPECIFICATIONS THIS IS TO INCLUDE LVL BEAMS, I-JOISTS, SHINGLES, SIDING, INSULATION, WINDOWS, DOORS, APPLIANCES, ETC.
- WINDOW MANUFACTURER TO DESIGN AND PROVIDE NECESSARY REINFORCING FOR WIND LOADS IN MILLIONS OF COMBINED WINDOWS-VERIFY LOAD REQUIREMENTS
- HEARTH EXTENSION - MIN. 16" TO FRONT & 8" TO SIDE OF FIREPLACE OPENING - IF OPENING IS 6 SQ. FT. OR GREATER 20" TO FRONT AND 12" TO SIDES.
- EMERGENCY EGRESS WINDOWS PER SEC R310 OF 2015 IRC
- PROVIDE A (1) HOUR FIRE SEPARATION AT WALLS AND CEILINGS IN GARAGE COMMON TO RESIDENCE - 5/8" TYPE "X" GYP. BD. AT WALLS AND CEILING AND PROTECTING ALL STRUCTURAL AND STEEL MEMBERS
- ARC-FAULT INTERRUPTER DISCONNECT (AFCI) IS REQUIRED PER 2015 IRC E3902.11 OR 2014 NEC ARTICLE 210.12
- ALL OUTLETS IN GARAGE, BATHROOMS, KITCHEN, EXTERIOR AND BASEMENT TO BE GFI PROTECTED - OUTLETS AT FOR SUMP PUMP, FURNACE AND EJECTOR PITS TO BE SINGLE DEDICATED OUTLETS. - SEE ELECTRICAL DRAWINGS
- ALL BEDROOMS SHALL HAVE AT LEAST ONE EGRESS WINDOW WITH A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT., A MINIMUM NET CLEAR OPENING HEIGHT DIMENSION OF 24", MINIMUM WIDTH OF 20" AND A MAXIMUM SILL HEIGHT OF 44" ABOVE THE FINISHED FLOOR. PROVIDE WINDOW FALL PROTECTION AS PER R312 OF THE 2015 IRC
- INSTALL (1) 110V ELECTRIC FIRE AND SMOKE DETECTOR ON EACH FLOOR, INCLUDING BASEMENT, AND EACH BEDROOM WIRED IN SERIES FOR SIMULTANEOUS ACTION
- ALL FRAMING DRILLED FOR PLUMBING VENTS OR SIMILAR HOLES SHALL BE A MINIMUM OF 2" x 6 STUDS IN LIEU OF 2" x 4 STUDS.
- ALL GUARDRAILS (VERANDA, BALCONY, DECK, AND INTERIOR STAIRWELLS, ETC.) SHALL HAVE BALUSTERS WHICH ARE SPACED SO THAT A 4" DIAMETER SPHERE CANNOT PASS-THRU.
- PENETRATIONS BETWEEN STORIES AND THE ROOF SPACE SHALL BE FIRESTOPPED AS WELL AS SOFFITS, DROP CEILING, ETC.
- WINDOW WELLS ARE TO HAVE A PROTECTIVE COVER TO PREVENT PEOPLE AND ANIMALS FROM FALLING IN
- ALL PREFAB FIREPLACES SHALL RECEIVE FIVE-EIGHTHS INCH (5/8") TYPE "X" GYPSUM BOARD ON INSIDE OF ALL CHASE WALLS AND BE FIRESTOPPED AT ALL FLOOR AND CEILING LINES, INCLUDING ATTIC.
- PROVIDE WALL TIE DOWNS ON BOTH SIDES OF CORNERS AND EVERY 25' R802.11 & TABLE R301.2(1)
- USE CEMENT BOARD IN LIEU OF WATER RESISTANT DRYWALL IN WET LOCATIONS SUCH AS SHOWERS AND BATHUBS WALLS AND CEILINGS

ROOF RAFTER SCHEDULE

RAFTER SIZE	RAFTER SPACING	MAX. SPAN VAULTED CLG.	MAX. SPAN NON-VAULTED
2 x 12	16" O.C.	19'-11"	21'-1"
2 x 10	16" O.C.	17'-2"	18'-2"
2 x 10	12" O.C.	19'-10"	21'-0"
2 x 8	16" O.C.	14'-0"	14'-11"

ALL RAFTERS SHALL BE MINIMUM SIZE AND SPACING PER SCHEDULE ABOVE UNLESS OTHERWISE NOTED ON PLANS - ALL RAFTERS SHALL BE #2 HEM - FIR (E = 1,200,000 MIN.) #2 CANADIAN SPRUCE PINE FIR (E = 1,400,000 MIN.) OR BETTER

CEILING JOIST SCHEDULE

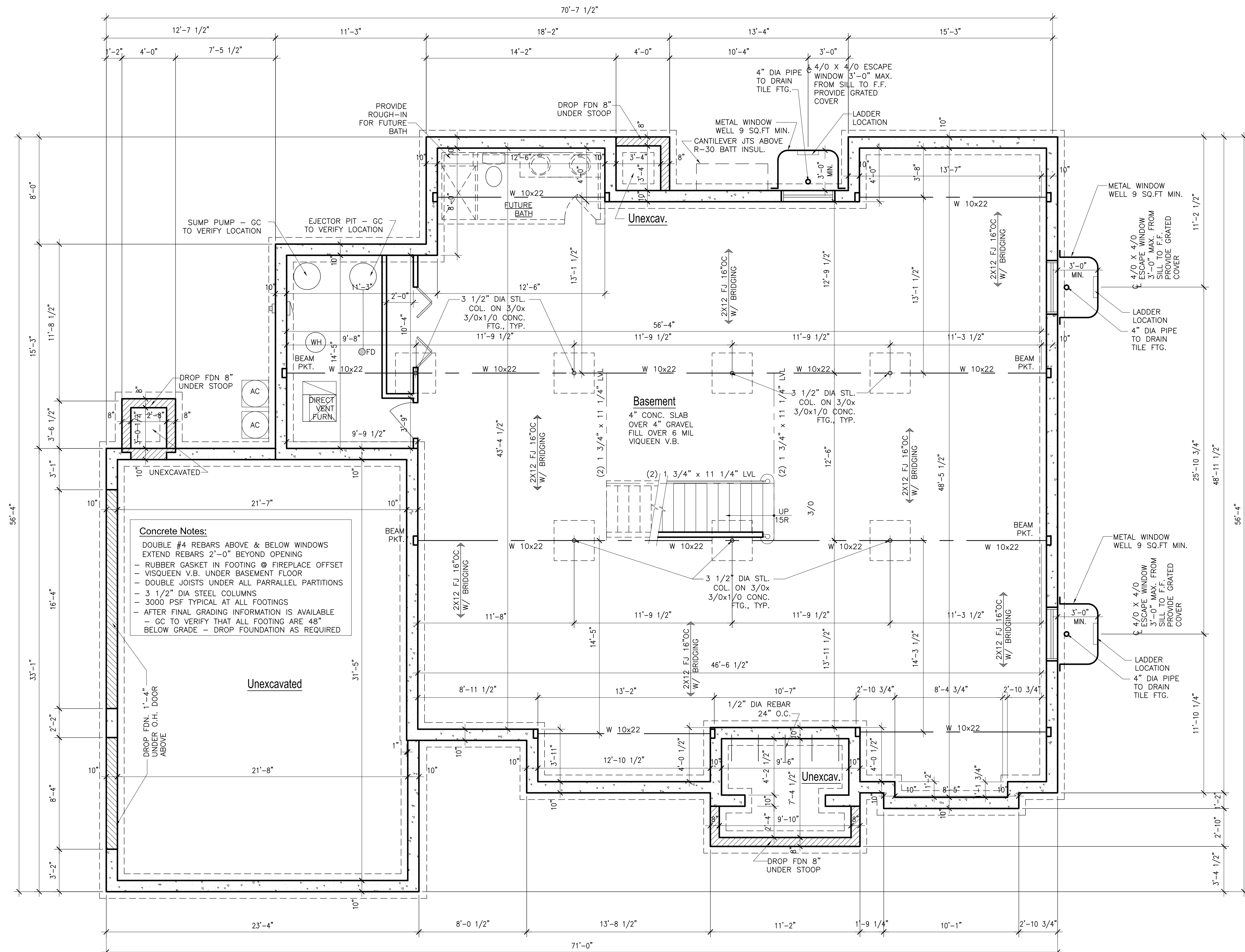
JOIST SIZE	JOIST SPACING	MAX. SPAN
2 x 4	AT 16" O.C.	6'-6"
2 x 6	AT 16" O.C.	12'-0"
2 x 8	AT 16" O.C.	16'-0"
2 x 8	AT 12" O.C.	18'-6"
2 x 10	AT 16" O.C.	19'-7"
2 x 10	AT 12" O.C.	22'-7"
2 x 12	AT 16" O.C.	22'-8"
2 x 12	AT 12" O.C.	26'-3"

CEILING JOISTS SHALL BE #2 HEM - FIR , #2 CANADIAN SPRUCE PINE FIR OR BETTER. ALL JOISTS SHALL BE MINIMUM SIZE AND SPACING PER SCHEDULE ABOVE UNLESS OTHERWISE NOTED OTHERWISE ON PLANS.

FLOOR JOIST SCHEDULE

JOIST & SPACING	MAXIMUM SPAN	
	NON-SLEEPING ROOMS	SLEEPING ROOMS
L / 360	40# LL - 10# DL	30# LL - 10# DL
2 x 8 AT 12" O.C.	13'-2"	14'-6"
2 x 8 AT 16" O.C.	12'-0"	13'-2"
2 x 10 AT 12" O.C.	16'-10"	18'-6"
2 x 10 AT 16" O.C.	15'-2"	16'-10"
2 x 10 AT 16" O.C. DBL. EVERY OTHER JOIST	15'-9"	17'-5"
2 x 12 AT 12" O.C.	20'-4"	22'-6"
2 x 12 AT 16" O.C.	17'-7"	19'-8"
2 x 12 AT 16" O.C. DBL. EVERY OTHER JOIST	19'-1"	21'-4"

PROVIDE DBL. FLOOR JOIST BELOW ALL PARALLEL PARTITIONS, UNLESS NOTED OTHERWISE ON PLANS. ALL FLOOR JOISTS SHALL BE #2 DOMESTIC HEM-FIR, #2 CANADIAN SPRUCE PINE FIR OR BETTER. PROVIDE CROSS BRIDGING AT MAX. 8'-0" O.C.



BASEMENT PLAN

SCALE: 1/4" = 1'-0"

PRESCRIPTIVE METHOD TO BE USED

INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT										
2018 IECC-- TABLE R402.1.2										
CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FEN. SHGC	CEILING R-VALUE	WD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BSMNT WALL R-VALUE	SLAB R-VALUE & DEPTH	CRAWL SPACE WALL R-VALUE
5 AND MARINE 4	0.30	0.55	NR	49	20 OR 13+5	13/17	30	15/19	10 , 2 ft 15, Heated slab	15/19

- R-values are minimums. U-factors and SHGC are maximums. When insulation is installed in a cavity which is less than the label or design thickness of the insulation, the installed R-value of the insulation shall not be less than the R-value specified in the table.
- The fenestration U-factor column excludes skylights. The SHGC column applies to all glazed fenestration. Exception: Skylights may be excluded from glazed fenestration SHGC requirements in Climate Zones 1 through 3 where the SHGC for such skylights does not exceed 0.30.
- "15/19" means R-15 continuous insulation on the interior or exterior of the home or R-19 cavity insulation at the interior of the basement wall. "15/19" shall be permitted to be met with R-13 cavity insulation on the interior of the basement wall plus R-5 continuous insulation on the interior or exterior of the home. "10/13" means R-10 continuous insulation on the interior or exterior of the home or R-13 cavity insulation at the interior of the basement wall.
- R-5 shall be added to the required slab edge R-values for heated slabs. Insulation depth shall be the depth of the footing or 2 feet, whichever is less in Climate Zones 1 through 3 for heated slabs.
- There are no SHGC requirements in the Marine Zone.
- Basement wall insulation is not required in warm-humid locations as defined by Figure R301.1 and Table R301.1.
- Or insulation sufficient to fill the framing cavity, R-19 minimum.
- First value is cavity insulation, second value is continuous insulation, so "13+5" means R-13 cavity insulation plus R-5 continuous insulation.
- The second R-value applies when more than half the insulation is on the interior of the mass wall.

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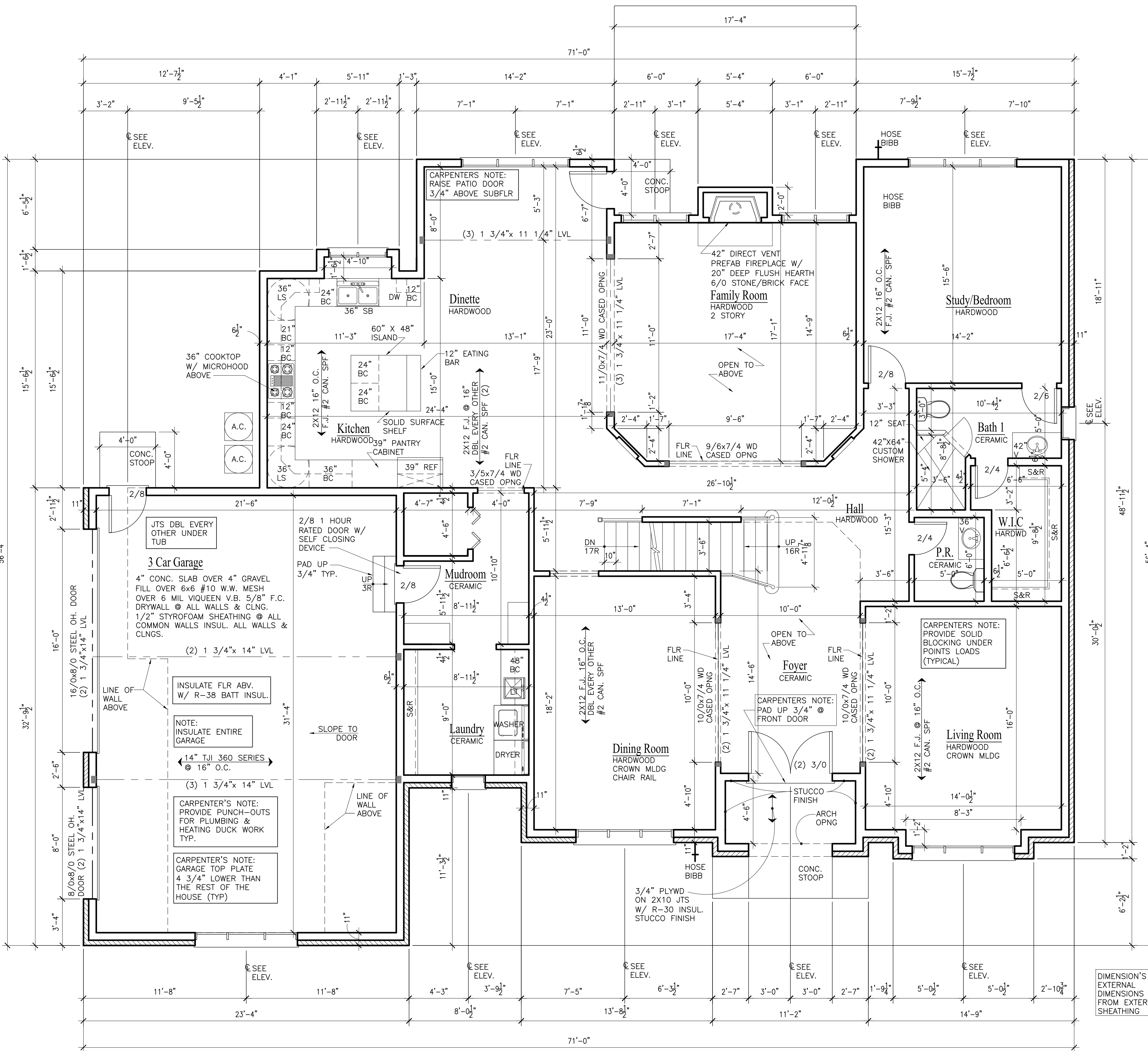
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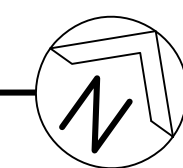
SHEET TITLE
BASEMENT PLAN

SHEET NUMBER
A3



FIRST FLOOR PLAN - 2,390 S.F.

SCALE: 1/4" = 1'-0"



AREAS	
1ST FLOOR AREA	2,390 S.F.
2ND FLOOR AREA	2,154 S.F.
TOTAL AREA	4,544 S.F.

NOTES

- ALL FLOOR JOISTS SHALL BE #2 DOMESTIC HEM-FIR OR #2 CANADIAN SPRUCE PINE FIR OR BETTER WITH BRIDGING U.N.O. ON PLANS.
- MINIMUM FOOTING SIZES REQ'D: 10" x 20" SOIL BEARING CAPACITY = 3000 PSF
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- ALL CONSTRUCTION TO MEET APPLICABLE BUILDING CODES
- DOUBLE ALL JOIST UNDER WHIRLPOOL.
- ALL FOOTINGS TO BEAR ON UNDISTURBED, NON-ORGANIC SOIL CAPABLE OF CARRYING 3,000 PSF MINIMUM AND TO BE A MINIMUM OF 42" BELOW GRADE
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- PROVIDE A (1) HOUR FIRE SEPARATION AT WALLS AND CEILINGS IN GARAGE COMMON TO RESIDENCE - 5/8" TYPE "X" GYP. BD. AT WALLS AND CEILING AND PROTECTING ALL STRUCTURAL AND STEEL MEMBERS
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- ALL BEDROOMS SHALL HAVE AT LEAST ONE EGRESS WINDOW WITH A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT., A MINIMUM NET CLEAR OPENING HEIGHT DIMENSION OF 24", MINIMUM WIDTH OF 20" AND A MAXIMUM SILL HEIGHT OF 44" ABOVE THE FINISHED FLOOR.
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- PENETRATIONS BETWEEN STORIES AND THE ROOF SPACE SHALL BE FIRESTOPPED AS WELL AS SOFFITS, DROP CEILING, ET.
- WINDOW WELLS ARE TO HAVE A PROTECTIVE COVER TO PREVENT PEOPLE AND ANIMALS FROM FALLING IN
- ALL PREFAB FIREPLACES SHALL RECEIVE FIVE-EIGHTHS INCH (5/8") TYPE "X" GYPSUM BOARD ON INSIDE OF ALL CHASE WALLS AND BE FIRESTOPPED AT ALL FLOOR AND CEILING LINES, INCLUDING ATTIC.
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- USE CEMENT BOARD IN LIEU OF WATER RESISTANT DRYWALL IN WET LOCATIONS SUCH AS SHOWERS AND BATHTUBS WALLS AND CEILINGS

ROOF RAFTER SCHEDULE

RAFTER SIZE	RAFTER SPACING	MAX. SPAN VAULTED CLG.	MAX. SPAN NON-VAULTED
2 x 12	16" O.C.	19'-11"	21'-1"
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JOIST SIZE	JOIST SPACING	MAX. SPAN
2 x 4	AT 16" O.C.	6'-6"
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2 x 8	AT 16" O.C.	16'-0"
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2 x 10	AT 16" O.C.	19'-7"
2 x 10	AT 12" O.C.	22'-7"
2 x 12	AT 16" O.C.	22'-8"
2 x 12	AT 12" O.C.	26'-3"

CEILING JOISTS SHALL BE #2 HEM - FIR, #2 CANADIAN SPRUCE PINE FIR OR BETTER. ALL JOISTS SHALL BE MINIMUM SIZE AND SPACING PER SCHEDULE ABOVE UNLESS OTHERWISE NOTED OTHERWISE ON PLANS.

FLOOR JOIST SCHEDULE

JOIST & SPACING	MAXIMUM SPAN	
	NON-SLEEPING ROOMS	SLEEPING ROOMS
L / 360	40# LL - 10# DL	30# LL - 10# DL
2 x 8 AT 12" O.C.	13'-2"	14'-6"
2 x 8 AT 16" O.C.	12'-0"	13'-2"
2 x 10 AT 12" O.C.	16'-10"	18'-6"
2 x 10 AT 16" O.C.	15'-2"	16'-10"
2 x 10 AT 16" O.C. DBL. EVERY OTHER JOIST	15'-9"	17'-5"
2 x 12 AT 12" O.C.	20'-4"	22'-6"
2 x 12 AT 16" O.C.	17'-7"	19'-8"
2 x 12 AT 16" O.C. DBL. EVERY OTHER JOIST	19'-1"	21'-4"

PROVIDE DBL. FLOOR JOIST BELOW ALL PARALLEL PARTITIONS, UNLESS NOTED OTHERWISE ON PLANS.
 ALL FLOOR JOISTS SHALL BE #2 DOMESTIC HEM-FIR, #2 CANADIAN SPRUCE PINE FIR OR BETTER.
 PROVIDE CROSS BRIDGING AT MAX. 8'-0" O.C.



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2	
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JOB NO. 21-011
 DATE 06-10-21
 FILE 05-04-first floor plan.dwg
 PLOT SCALE: 1:1

OWNER APPROVAL
 Signature _____
 Date _____

SHEET TITLE
FIRST FLOOR PLAN

SHEET NUMBER
A4

NOTES

- ALL FLOOR JOISTS SHALL BE #2 DOMESTIC HEM-FIR OR #2 CANADIAN SPRUCE PINE FIR OR BETTER WITH BRIDGING U.N.O. ON PLANS.
- MINIMUM FOOTING SIZES REQ'D: 10" x 20" SOIL BEARING CAPACITY = 3000 PSF
- EXTERIOR WALL FRAMING TO BE FULLY BRACED WITH 1/2" O.S.B SHEATHING
- FOUNDATION WALLS SHALL BE 10" THICK UNDER BRICK VENEER AND 8" THICK UNDER FRAME CONSTRUCTION.
- ALL CONSTRUCTION TO MEET APPLICABLE BUILDING CODES
- DOUBLE ALL JOIST UNDER WHIRLPOOL
- ALL FOOTINGS TO BEAR ON UNDISTURBED, NON-ORGANIC SOIL CAPABLE OF CARRYING 3,000 PSF MINIMUM AND TO BE A MINIMUM OF 42" BELOW GRADE
- STRUCTURAL STEEL TO BE A.S.T.M. A-36 REINFORCING STEEL TO BE GRADE 60
- ALL GLAZING TO FOLLOW R308 OF THE 2015 IRC AS REQUIRED. REQUIREMENTS PROVIDE SAFETY GLASS IN ALL DOORS, SIDELIGHTS, WINDOWS WITH GLAZING WITHIN 18" OF THE FLOOR & OVER 9 SQUARE FEET OF AREA, GLASS SHOWER ENCLOSURES, AND WINDOWS AT TUB AREA
- ANY WHIRLPOOL INSTALLATIONS ARE TO FOLLOW 2014 NEC
- DRYER VENT SHALL BE MADE OF GALVANIZED SHEET METAL OR ALUMINUM - VENT DRYERS AND EXHAUST FANS TO OUTSIDE
- A FIRE RATED DOOR IS REQUIRED BETWEEN THE GARAGE AND THE HOUSE - SOLID CORE WITH CLOSERS
- CONTRACTORS TO OBTAIN AND FOLLOW THE INSTALLATION DETAILS AND PROCEDURES FOR ALL MANUFACTURED PRODUCTS AS CALLED FOR IN THE MANUFACTURER'S SPECIFICATIONS THIS IS TO INCLUDE LVL BEAMS, JOISTS, SHINGLES, SIDING, INSULATION, WINDOWS, DOORS, APPLIANCES, ETC.
- WINDOW MANUFACTURER TO DESIGN AND PROVIDE NECESSARY REINFORCING FOR WIND LOADS IN MULLIONS OF COMBINED WINDOWS VERIFY LOAD REQUIREMENTS
- HEARTH EXTENSION - MIN. 16" TO FRONT & 8" TO SIDE OF FIREPLACE OPENING - IF OPENING IS 6 SQ. FT. OR GREATER. 20" TO FRONT AND 12" TO SIDES.
- EMERGENCY EGRESS WINDOWS PER SEC R310 OF 2015 IRC
- PROVIDE A (1) HOUR FIRE SEPARATION AT WALLS AND CEILINGS IN GARAGE COMMON TO RESIDENCE - 5/8" TYPE "X" GYP. BD. AT WALLS AND CEILING AND PROTECTING ALL STRUCTURAL AND STEEL MEMBERS
- ARC-FAULT INTERRUPTER DISCONNECT (AFCI) IS REQUIRED PER 2015 IRC E5902.11 OR 2014 NEC ARTICLE 210.12
- ALL OUTLETS IN GARAGE, BATHROOMS, KITCHEN, EXTERIOR AND BASEMENT TO BE GFI PROTECTED - OUTLETS AT FOR SUMP PUMP, FURNACE AND EJECTOR PITS TO BE SINGLE DEDICATED OUTLETS. - SEE ELECTRICAL DRAWINGS
- ALL BEDROOMS SHALL HAVE AT LEAST ONE EGRESS WINDOW WITH A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT., A MINIMUM NET CLEAR OPENING HEIGHT DIMENSION OF 24", MINIMUM WIDTH OF 20" AND A MAXIMUM SILL HEIGHT OF 44" ABOVE THE FINISHED FLOOR.
- PROVIDE WINDOW FALL PROTECTION AS PER R312 OF THE 2015 IRC
- INSTALL (1) 110V ELECTRIC FIRE AND SMOKE DETECTOR ON EACH FLOOR, INCLUDING BASEMENT, AND EACH BEDROOM WIRED IN SERIES FOR SIMULTANEOUS ACTION
- ALL FRAMING DRILLED FOR PLUMBING VENTS OR SIMILAR HOLES SHALL BE A MINIMUM OF 2 x 6 STUDS IN LIEU OF 2 x 4 STUDS.
- ALL GUARDRAILS (VERANDA, BALCONY, DECK, AND INTERIOR STAIRWELLS, ETC.) SHALL HAVE BALLISTERS WHICH ARE SPACED SO THAT A 4" DIAMETER SPHERE CANNOT PASS-THRU.
- PENETRATIONS THROUGH STORIES AND THE ROOF SPACE SHALL BE FIRESTOPPED AS WELL AS SOFFITS, DROP CEILINGS, ET.
- WINDOW WELLS ARE TO HAVE A PROTECTIVE COVER TO PREVENT PEOPLE AND ANIMALS FROM FALLING IN
- ALL PREFAB FIREPLACES SHALL RECEIVE FIVE-EIGHTHS INCH (5/8") TYPE "X" GYPSUM BOARD ON INSIDE OF ALL CHASE WALLS AND BE FIRESTOPPED AT ALL FLOOR AND CEILING LINES, INCLUDING ATTIC.
- PROVIDE WALL TIE DOWNS ON BOTH SIDES OF CORNERS AND EVERY 25' R802.11 & TABLE R301.2(1)
- USE CEMENT BOARD IN LIEU OF WATER RESISTANT DRYWALL IN WET LOCATIONS SUCH AS SHOWERS AND BATHTUBS WALLS AND CEILINGS

ROOF RAFTER SCHEDULE

RAFTER SIZE	RAFTER SPACING	MAX. SPAN VAULTED CLG.	MAX. SPAN NON-VAULTED
2 x 12	16" O.C.	19'-11"	21'-1"
2 x 10	16" O.C.	17'-2"	18'-2"
2 x 10	12" O.C.	19'-10"	21'-0"
2 x 8	16" O.C.	14'-0"	14'-11"

ALL RAFTERS SHALL BE MINIMUM SIZE AND SPACING PER SCHEDULE ABOVE UNLESS OTHERWISE NOTED ON PLANS - ALL RAFTERS SHALL BE # 2 HEM - FIR (E = 1,200,000 MIN.) # 2 CANADIAN SPRUCE PINE FIR (E = 1,400,000 MIN.) OR BETTER

CEILING JOIST SCHEDULE

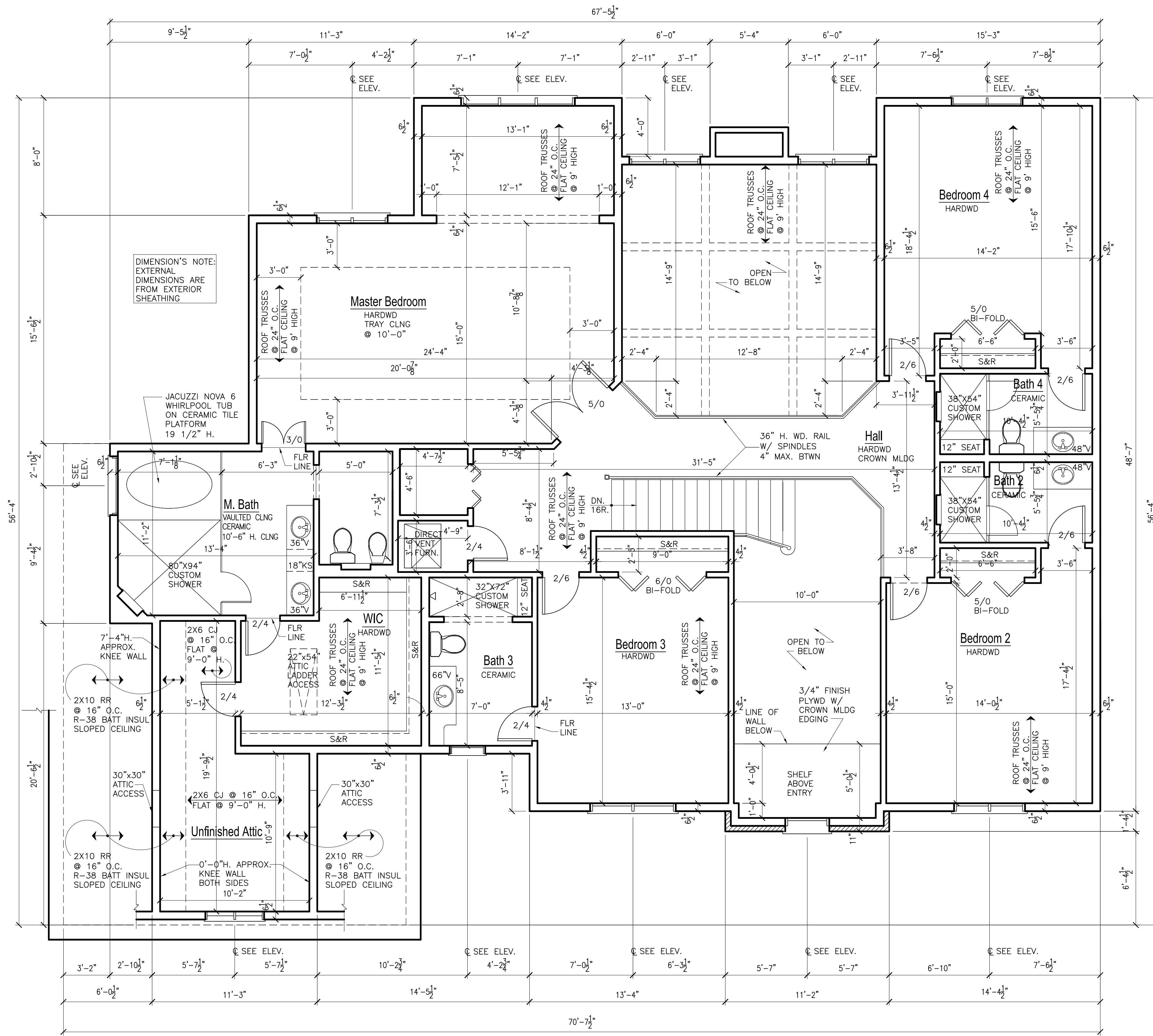
JOIST SIZE	JOIST SPACING	MAX. SPAN
2 x 4	AT 16" O.C.	6'-6"
2 x 6	AT 16" O.C.	12'-0"
2 x 8	AT 16" O.C.	16'-0"
2 x 8	AT 12" O.C.	18'-6"
2 x 10	AT 16" O.C.	19'-7"
2 x 10	AT 12" O.C.	22'-7"
2 x 12	AT 16" O.C.	22'-8"
2 x 12	AT 12" O.C.	26'-3"

CEILING JOISTS SHALL BE # 2 HEM - FIR , # 2 CANADIAN SPRUCE PINE FIR OR BETTER. ALL JOISTS SHALL BE MINIMUM SIZE AND SPACING PER SCHEDULE ABOVE UNLESS OTHERWISE NOTED OTHERWISE ON PLANS.

FLOOR JOIST SCHEDULE

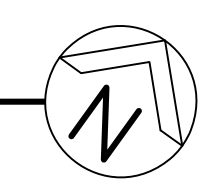
JOIST & SPACING	MAXIMUM SPAN	
	NON-SLEEPING ROOMS	SLEEPING ROOMS
L / 360	40# LL - 10# DL	30# LL - 10# DL
2 x 8 AT 12" O.C.	13'-2"	14'-6"
2 x 8 AT 16" O.C.	12'-0"	13'-2"
2 x 10 AT 12" O.C.	16'-10"	18'-6"
2 x 10 AT 16" O.C.	15'-2"	16'-10"
2 x 10 AT 16" O.C. DBL. EVERY OTHER JOIST	15'-9"	17'-5"
2 x 12 AT 12" O.C.	20'-4"	22'-6"
2 x 12 AT 16" O.C.	17'-7"	19'-8"
2 x 12 AT 16" O.C. DBL. EVERY OTHER JOIST	19'-1"	21'-4"

PROVIDE DBL. FLOOR JOIST BELOW ALL PARALLEL PARTITIONS, UNLESS NOTED OTHERWISE ON PLANS.
ALL FLOOR JOISTS SHALL BE #2 DOMESTIC HEM-FIR, #2 CANADIAN SPRUCE PINE FIR OR BETTER.
PROVIDE CROSS BRIDGING AT MAX. 8'-0" O.C.



SECOND FLOOR PLAN - 2,154 S.F.

SCALE: 1/4" = 1'-0"



AGAMA DESIGNS
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ISSUED	DATE
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FOR BID	
FOR CONST.	

REVISIONS	DATE
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2	
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PROJECT: PROPOSED NEW RESIDENCE
7237 GREYWALL COURT (LOT 96)
LONG GROVE, IL 60047
CLIENT: GREYWALL COURT LLC
6870 ELLIS DRIVE
LONG GROVE, IL 60047

JOB NO. 21-011
DATE 06-10-21
FILE
PLOT SCALE: 1/4"

OWNER APPROVAL
Signature _____
Date _____

SHEET TITLE
SECOND FLOOR PLAN

SHEET NUMBER
A5

NATURAL LIGHT AND VENTILATION SCHEDULE FOR SINGLE FAMILY RESIDENCE								
ROOM NAME	FLR AREA	ORDINANCE REQ'D			PLAN PROVIDED (ACTUAL)			REMARKS
		GLAZED AREA (S.F)	VENT. AREA (S.F)	MECH. EXH. (CMF)	GLAZED AREA (S.F)	VENT. AREA (S.F)	MECH. EXH. (CMF)	
1ST FLR								
KITCHEN / DINETTE	459.00 SF	36.72 SF	18.36 SF		47.20 SF	28.30 SF		(2) 2547, 10882 9' SLIDER
FAMILY ROOM	291.00 SF	23.28 SF	11.64 SF		76.00 SF	80.80 SF		(4) 2965, (4) 2959
STUDY / BED	220.00 SF	17.60 SF	8.80 SF		30.00 SF	21.20 SF		(3) 2965
LIVING ROOM	233.00 SF	18.64 SF	9.32 SF		30.00 SF	21.20 SF		(3) 2965
DINING ROOM	236.00 SF	18.88 SF	9.44 SF		30.00 SF	21.20 SF		(3) 2965
LAUNDRY ROOM	81.00 SF	---	---	75	9.00 SF	9.60 SF	75	(1) 2959
BATH 1	65.00 SF	---	---	75	5.80 SF	6.30 SF	75	(1) 2947
POWDER ROOM	30.00 SF	---	---	75	---	---	75	---
2ND FLR								
MASTER BEDROOM / SITTING RM	459.00 SF	36.72 SF	18.36 SF		45.00 SF	38.40 SF		(3) 2959, (2) 2959
MASTER BATH	189.00 SF	---	---	75	5.80 SF	6.30 SF	75	(1) 4725
BEDROOM 2	219.00 SF	17.52 SF	8.76 SF		18.00 SF	19.20 SF		(2) 2959 W/ TRANSOM
BEDROOM 3	200.00 SF	16.00 SF	8.00 SF		18.00 SF	19.20 SF		(2) 2959 W/ TRANSOM
BEDROOM 4	236.00 SF	18.88 SF	9.44 SF		21.77 SF	14.51 SF		(2) 2959
BATH 2	57.00 SF	---	---	75	---	---	75	---
BATH 3	79.00 SF	---	---	75	---	---	75	---
BATH 4	57.00 SF	---	---	75	---	---	75	---

ELECTRIC KEY			
⊖	120 V. DUPLEX OUTLET	⊖	RECESSED INCAND.
⊖	220 V. OUTLET	⊖	CEILING INCAND.
⊖	THERMOSTAT	⊖	PULL CHAIN
⊖	DIMMER	⊖	FLUORESCENT
⊖	DOOR BELL	⊖	WALL MOUNT INCAND.
⊖	SINGLE POLE SWITCH	⊖	EXHAUST FAN
⊖	SPEAKER OUTLET	⊖	SMOKE DETECTOR
⊖	TELEPHONE OUTLET	⊖	LOCATION BY OWNER
⊖	EXIT SIGN	⊖	EXISTING DEVICE
⊖	TV ANTENNA OUTLET	⊖	REMOVE OF RELOCATE
⊖	JUNCTION BOX	⊖	SMOKE DETECTOR
⊖	CARBON MONOXIDE DETECTOR	⊖	CAT OUTLET
⊖	ETHERNET OUTLET	⊖	
⊖	SPEAKER CONTROL		

PROVIDE WALL SWITCH CONTROLLED LIGHT FIXTURE FLUORESCENTS IN ALL CLOSETS OVER 5 S.F. ALL
FIRE AND SMOKE DETECTORS SHALL BE HARDWIRED AND INTERCONNECTED FOR SIMULTANEOUS ACTIVATION. PROVIDE A MINIMUM OF ONE DETECTOR PER FLOOR AS SHOWN ON PLAN

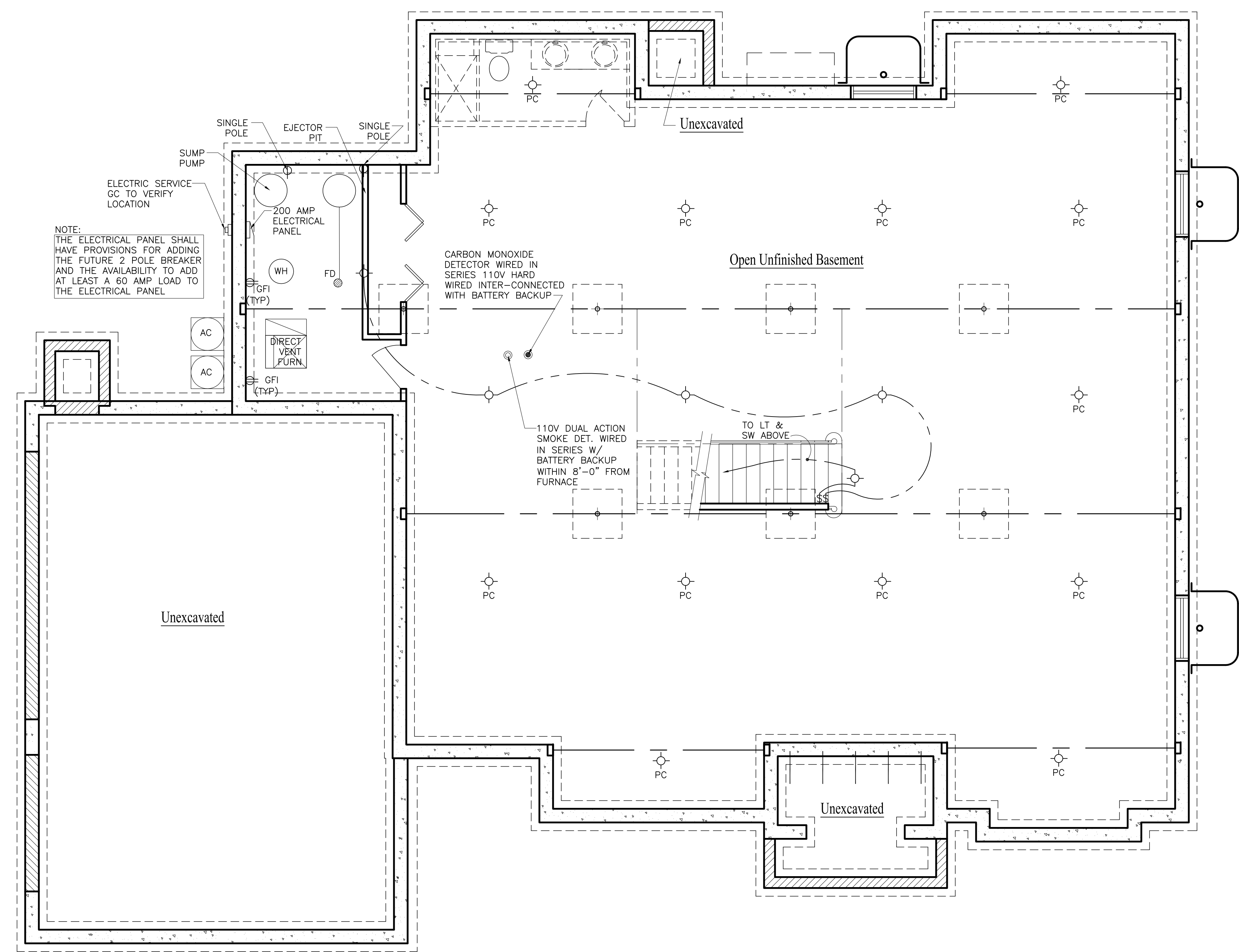
AGAMA DESIGNS
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FOR PERMIT	
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FOR CONST.	

ELECTRICAL CODE NOTES

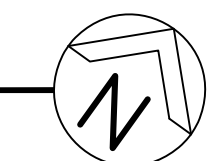
- A RUN OF CONDUIT MAY NOT BE BENT MORE THAN FOUR TIMES (4) AND NOT MORE 360 DEGREES.
- MINIMUM #14 WIRE MUST BE USED IN ALL LIVING AREAS AND MIN. #12 WIRE MUST BE USED IN KITCHEN AREA
- EVERY 500 SF OF LIVING SPAC MUST BE SUPPLIED WITH A SEPARATE CIRCUIT
- RECEPTACLE OUTLETS SUPPLIED BY AT LEAST TWO APPLIANCES RECEPTACLE BRANCH CIRCUITS MUST BE INSTALLED IN THE KITCHEN
- PROVIDE ONE 20 AMP BRANCH CIRCUIT FOR LAUNDRY RECEPTACLE (S)
- EVERY PANEL BOX MUST HAVE EACH CIRCUIT LABELED
- BEDROOM RECEPTACLES REQUIRE ARC-FAULT BRANCH CIRCUIT PROTECTION
- ALL ELECTRIC WORK TO COMPLY WITH LOCAL ELECTRIC CODE AND AMMENDMENTS
- NO MORE THAN 12'-0" PERMITTED BETWEEN ELECTRICAL RECEPTACLES AND THEY SHALL BE LOCATED NOT MORE THAN 6'-0" FROM AN OPENING IN A WALL.
- RACEWAY SEAL REQUIRED FOR SERVICE ENTRANCE (NEC 2014 ART. 230.8 & 300.5)
- ALL OUTSIDE GFCI MUST BE PROTECTE BY A BULB DOOM COVER. (NEC 2014 ART. 406.8(B)(1))
- ANY OUTLET IN LAUNDRY ROOM OPPOSITE TO LAUNDRY TUB MUST BE GFCI PROTECTED
- SMOKE DETETOR IN BASEMENT MUST BE LOCATED WITHIN 8' OF FURNACE AREA
- SMOKE DETECTORS IN DWELLING AREAS SHOULD BE LOCATED CLOSE TO DOOR OPENINGS
- MEANS OF DISCONNECT BOX MUST HAVE A BUILT IN GFCI OUTLET FOR SERVICING OF A.C. UNIT
- ARC-FAULT INTERRUPTER DISCONNECT (AFCI) IS REQUIRED PER 2015 IRC E3902.11 OR 2014 NEC ARTICLE 210.12
- TAMPERED RESISTANT RECEPTACLE ARE REQUIRED PER NEC 406.11 IN AREAS SPECIFIED IN NEC 210.52
- PROVIDE GFCI PROTECTION IN ALL RECEPTACLES IN DAMP OR WET LOCATIONS INCLUDING UNFINISHED BASEMENT PER NEC 406.8 AND 210
- ARC-FAULT PROTECTION - ALL CIRCUIT SUPPLYING 120-VOLT SINGLE PHASE, 15 AND 20 AMP OUTLETS WHICH INCLUDE LIGHTING OUTLET, SWITCH OUTLET AND RECEPTACLE OUTLET PER 2015 IRC

REVISIONS	DATE
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BASEMENT ELECTRIC PLAN

SCALE: 1/4" = 1'-0"



PROJECT: PROPOSED NEW RESIDENCE
7237 GREYWALL COURT (LOT 96)
LONG GROVE, IL 60047

CLIENT: GREYWALL COURT LLC
6870 ELLIS DRIVE
LONG GROVE, IL 60047

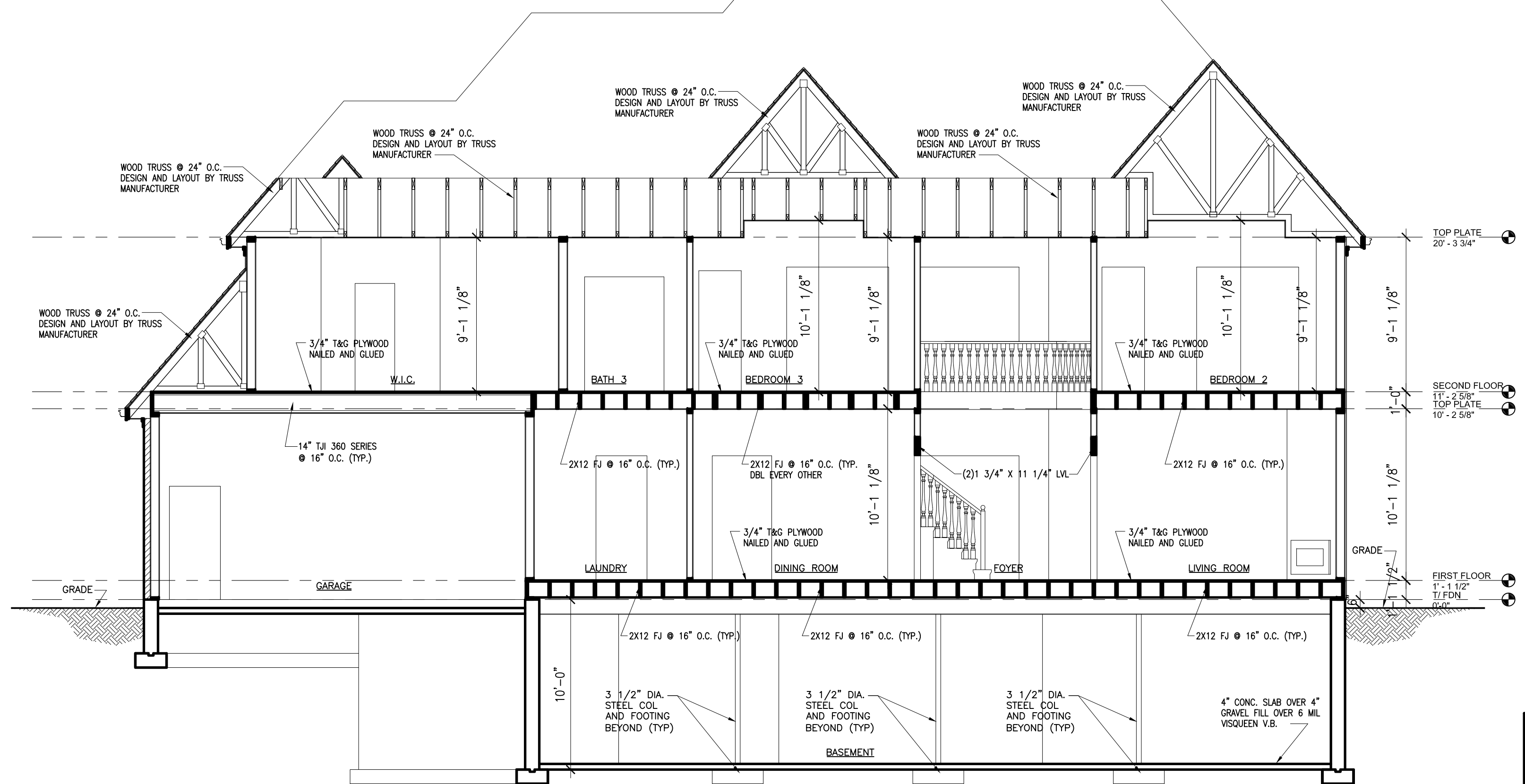
JOB NO. 21-011
DATE 06-10-21
FILE
PLOT SCALE: 1:1

OWNER APPROVAL

Signature _____
Date _____

SHEET TITLE
BASEMENT ELECTRIC PLAN & SCHEDULES

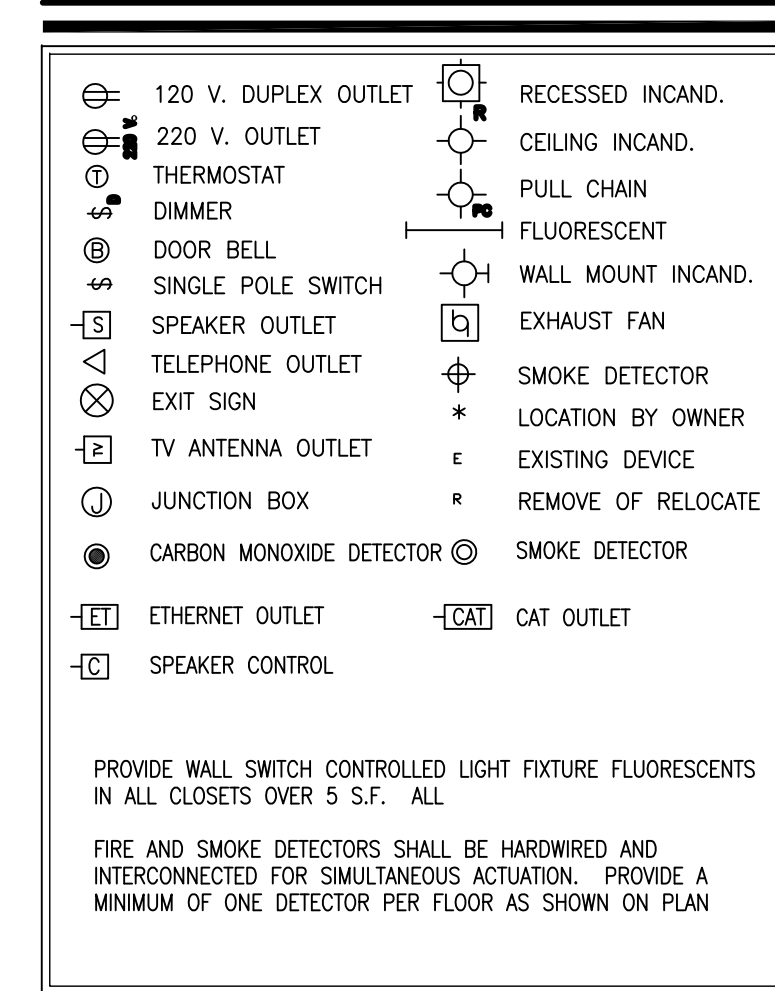
SHEET NUMBER
A6



OVERALL SECTION

SCALE: 3/16" = 1'-0"

ELECTRIC KEY



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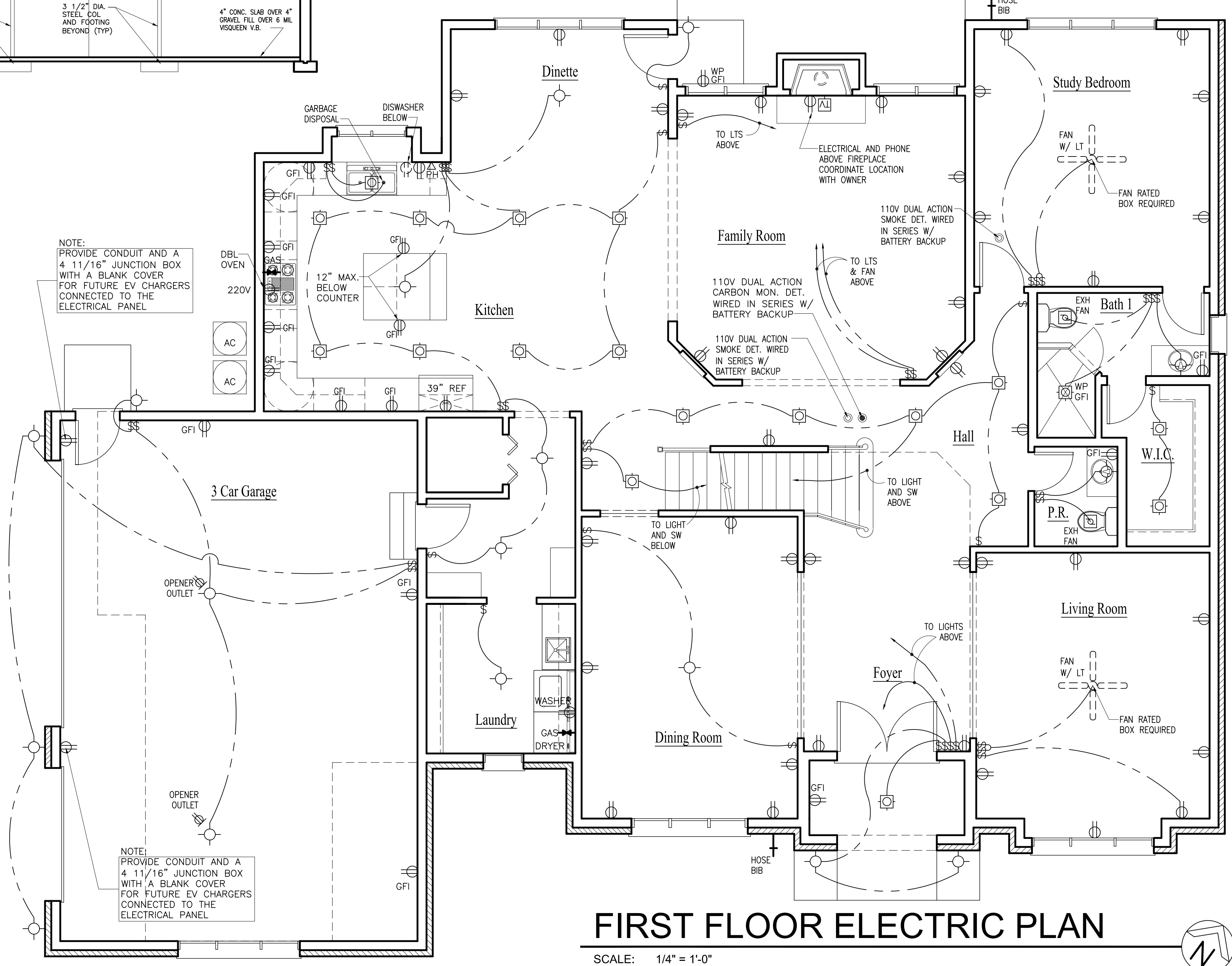
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FOR CONST.	

REVISIONS	DATE
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ELECTRICAL CODE NOTES

- A RUN OF CONDUIT MAY NOT BE BENT MORE THAN FOUR TIMES (4) AND NOT MORE 360 DEGREES.
- MINIMUM #14 WIRE MUST BE USED IN ALL LIVING AREAS AND MIN. #12 WIRE MUST BE USED IN KITCHEN AREA
- EVERY 500 SF OF LIVING SPAC MUST BE SUPPLIED WITH A SEPARATE CIRCUIT
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- PROVIDE ONE 20 AMP BRANCH CIRCUIT FOR LAUNDRY RECEPTACLE (S)
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- ALL ELECTRIC WORK TO COMPLY WITH LOCAL ELECTRIC CODE AND AMMENDMENTS
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- ARC-FAULT PROTECTION - ALL CIRCUIT SUPPLYING 120-VOLT SINGLE PHASE, 15 AND 20 AMP OUTLETS WHICH INCLUDE LIGHTING OUTLET, SWITCH OUTLET AND RECEPTACLE OUTLET PER 2015 IRC



FIRST FLOOR ELECTRIC PLAN

SCALE: 1/4" = 1'-0"

PROJECT: PROPOSED NEW RESIDENCE
7237 GREYWALL COURT (LOT 96)
LONG GROVE, IL 60047

CLIENT: GREYWALL COURT LLC
6870 ELLIS DRIVE
LONG GROVE, IL 60047

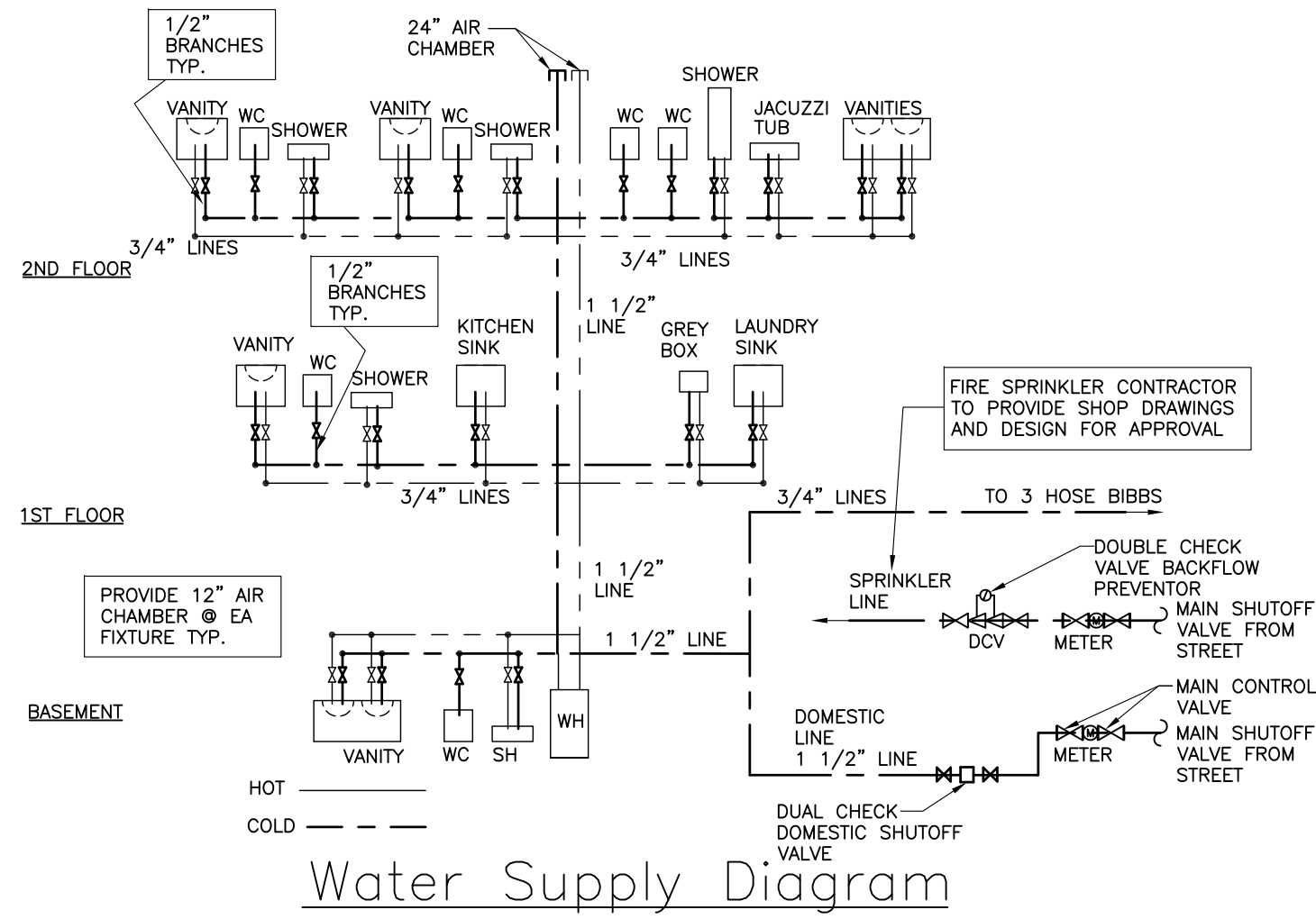
JOB NO. 21-011
DATE 06-10-21
FILE
PLOT SCALE: 1:1

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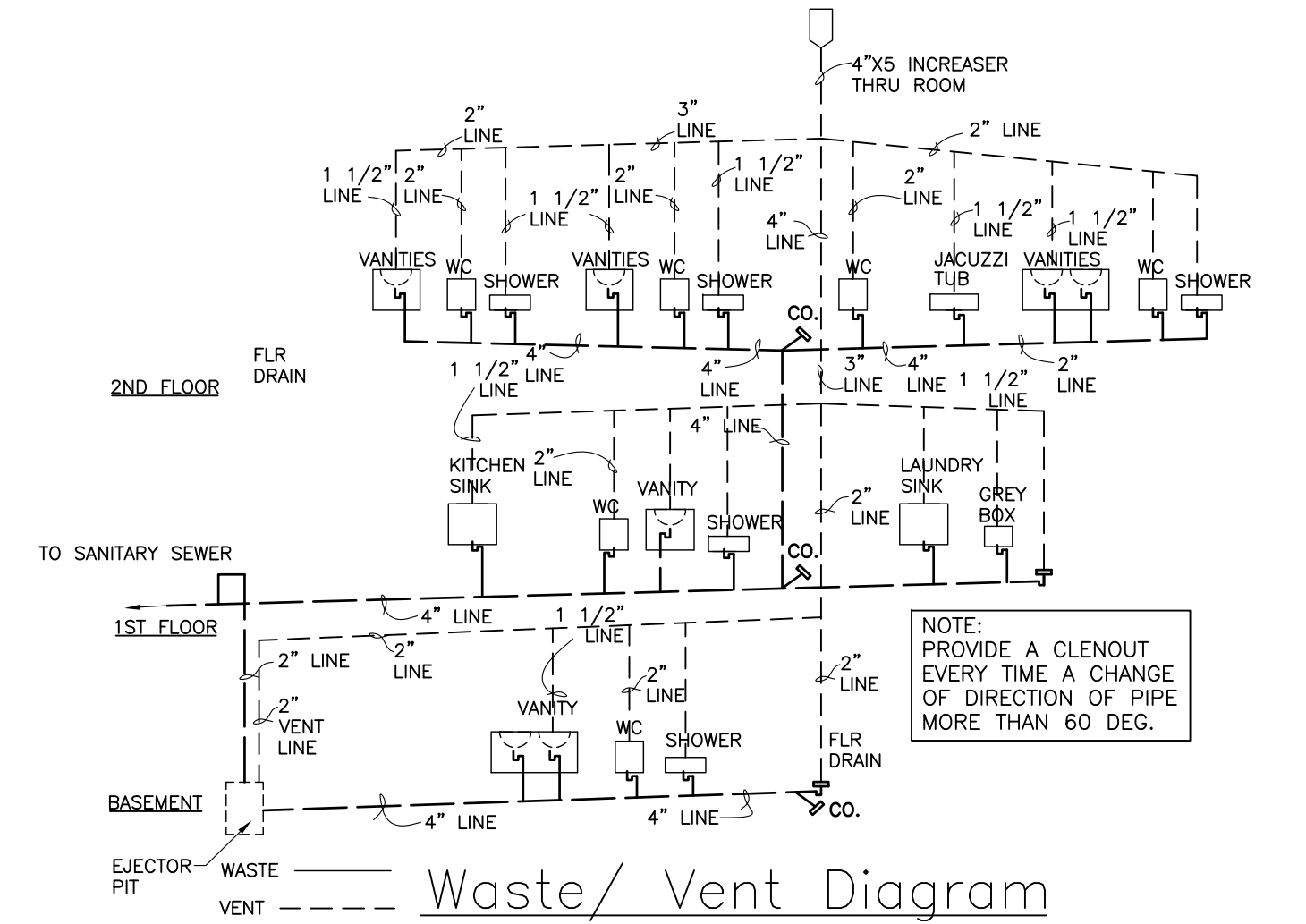
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Date _____

SHEET TITLE
FIRST FLOOR ELECTRIC PLAN

SHEET NUMBER
A7



Water Supply Diagram



Waste/Vent Diagram

WATER SUPPLY FIXTURE UNITS (WSFU)
Section 890. Table M

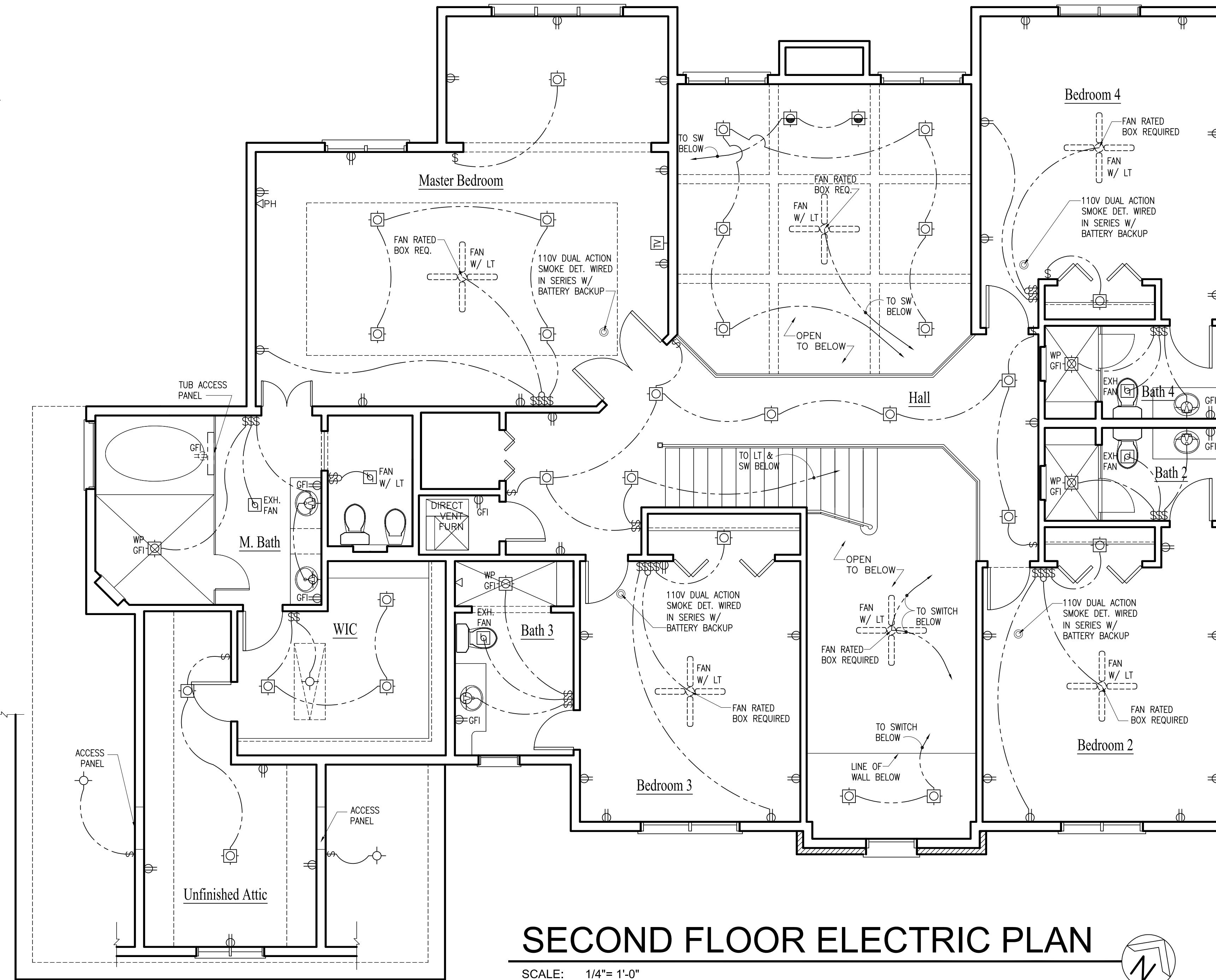
FIXTURE	LOAD VALUE	NO. OF FIXTURES	TOTAL LOAD VALUE
WATER CLOSET	3	8	24
LAVATORY (BATHROOM SINK)	1	8	8
SHOWER	2	6	12
BATHTUB	2	1	2
KITCHEN SINK	2	1	2
DISHWASHING MACHINE	1	1	1
LAUNDRY MACHINE	2	1	2
LAUNDRY TRAY	3	1	3
TOTAL WSFU			54

WATER SUPPLY FIXTURE UNITS (WSFU)
Section 890. Table N

W.S.F.U.	DEMAND (GPM)	PIPE SIZE	PRESSURE LOSS (PSI/100' PIPE)	VELOCITY	METER SIZE (INCHES)
60	32	1 1/2"	5.0	5.8	1"

PLUMBING NOTES

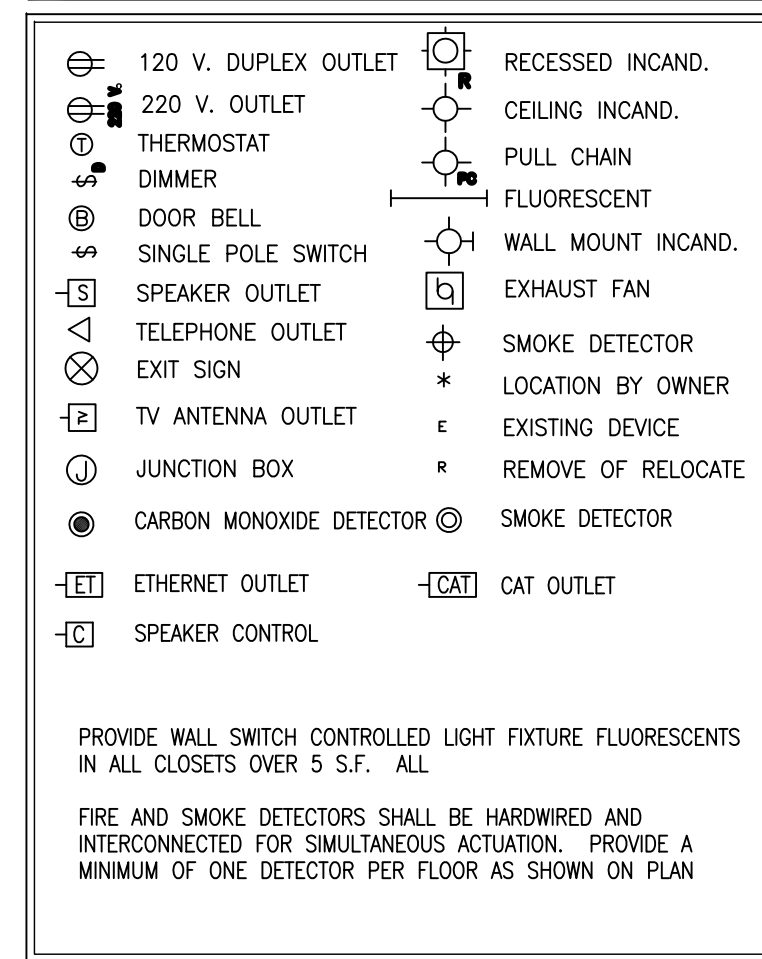
- ALL PLUMBING, PIPING, VALVES, INSULATION AND INSTALLATION METHODS AND REQUIREMENTS: CONTRACTOR TO STRICTLY ADHERE TO THE ILLINOIS PLUMBING CODE AND VILLAGE OF LONG GROVE ORDINANCE REQUIREMENTS AND INSTALLED PER APPLICABLE CODES
- ALL EXPOSED DOMESTIC WATER PIPING, HORIZONTAL STORM WATER PIPING SHALL BE INSULATED WITH AN APPROVED INSULATION PER 2018 IECC AND VILLAGE OF LONG GROVE ORDINANCE
- DOMESTIC WATER PIPING SHALL BE TYPE "L" COPPER TUBING, WITH 95-5 SOLDER TIN ANTIMONY (NO LEAD) SOLDER JOINT CONNECTIONS. ALL FITTINGS WILL BE BRASS OR CASE BRONZE. INSULATE PIPING WITH 1/2" THICK INSULATION WITH ASJ JACKET
- TYPE "K" COPPER REQUIRED ON UNDERGROUND DOMESTIC WATER
- ABOVE GROUND WASTE AND VENT PIPING TO BE COPPER TYPE L OR K, CAST IRON OR SCH. 40 PVC. NO CELL CORE PVC ALLOWED
- GATE VALVES AND CHECK VALVES SHALL BE BRONZE RATED AT 125 PSI WATER WORKING PRESSURE. INSULATION: PREMOLDED FIBERGLASS WITH VAPOR BARRIER. JACKET FOR HOT AND COLD WATER PIPING ONLY.
- UNDERGROUND SANITARY TO BE SCH. 40 PVC. MINIMUM FOUR INCHES (4"). NO CELL CORE PVC
- STACK TEST REQUIRED ON ABOVE GROUND WASTE AND VENT PIPING
- 75 LB AIR TEST OR WATER PRESSURE REQUIRED ON WATER PIPING AT TIME OF ROUGH INSPECTION
- ALL NEW PLUMBING MUST MEET ILLINOIS PLUMBING CODE AND VILLAGE OF LONG GROVE ORDINANCE
- WATER SERVICE FROM MAIN TO BUILDING TO BE INSTALLED BY A LICENSED PLUMBER
- FULL SIZE RISER CHAMBERS FOR THE DOMESTIC WATER DISTRIBUTION SYSTEM TO BE INSTALLED AND SHALL BE AT LEAST 24" IN LENGTH AND THE SAME AS RISERS
- PLUMBING CONTRACTOR SHALL OBTAIN ANY INSPECTIONS, PERMITS REQUIRED DURING THIS CONTRACT.
- PROVIDE FLOOR DRAIN ADJACENT TO WATER HEATER
- ALL FIXTURES TO HAVE 12" AIR CHAMBERS TYP
- ALL FIXTURES TO HAVE SHUT OFF VALVES
- ALL LAVS TO HAVE 1 1/2" AIR GAP, SINKS TO HAVE 2 1/2" AIR GAP, TUBS TO HAVE 3" AIR GAP, WATER CLOSETS TO HAVE ANTISIPHON - TYPE WATER CLOSET FLUSH TANK BALL COCK
- HOSE BIBS TO BE EQUIPPED WITH VACUUM BREAKER PROTECTION.
- FLOOR DRAINS TRAPS AND DRAINS, INSTALLED BELOW A CONCRETE FLOOR OR UNDERGROUND, SHALL BE NOT LESS THAN FOUR (4) INCHES IN DIAMETER.
- TRAP - A CONTINUOUS WAIST SHALL NOT BE USED ON KITCHEN SINK DRAIN LINES. TWO TRAPS ARE REQUIRED. (GARBAGE DISPOSAL, BASKET STRAINER).



SECOND FLOOR ELECTRIC PLAN

SCALE: 1/4"= 1'-0"

ELECTRIC KEY



ELECTRICAL CODE NOTES

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- ARC-FAULT INTERRUPTER DISCONNECT (AFCI) IS REQUIRED PER 2015 IRC E3902.11 OR 2014 NEC ARTICLE 210.12
- TAMPURED RESISTANT RECEPTACLE ARE REQUIRED PER NEC 406.11 IN AREAS SPECIFIED IN NEC 210.52
- PROVIDE GFCI PROTECTION IN ALL RECEPTACLES IN DAMP OR WET LOCATIONS INCLUDING UNFINISHED BASEMENT PER NEC 406.8 AND 210
- ARC-FAULT PROTECTION - ALL CIRCUIT SUPPLYING 120-VOLT SINGLE PHASE, 15 AND 20 AMP OUTLETS WHICH INCLUDE LIGHTING OUTLET, SWITCH OUTLET AND RECEPTACLE OUTLET PER 2015 IRC

129 Commercial Drive Suite 8
Yorkville, Illinois 60560
Phone: 630-381-9019
E-mail: alberto@agamadesigns.com

ISSUED	DATE
FOR APPROVAL	
FOR PERMIT	
FOR BID	
FOR CONST.	

REVISIONS	DATE
1	
2	
3	

PROJECT: PROPOSED NEW RESIDENCE
7237 GREYWALL COURT (LOT 96)
LONG GROVE, IL 60047

CLIENT: GREYWALL COURT LLC
6870 ELLIS DRIVE
LONG GROVE, IL 60047

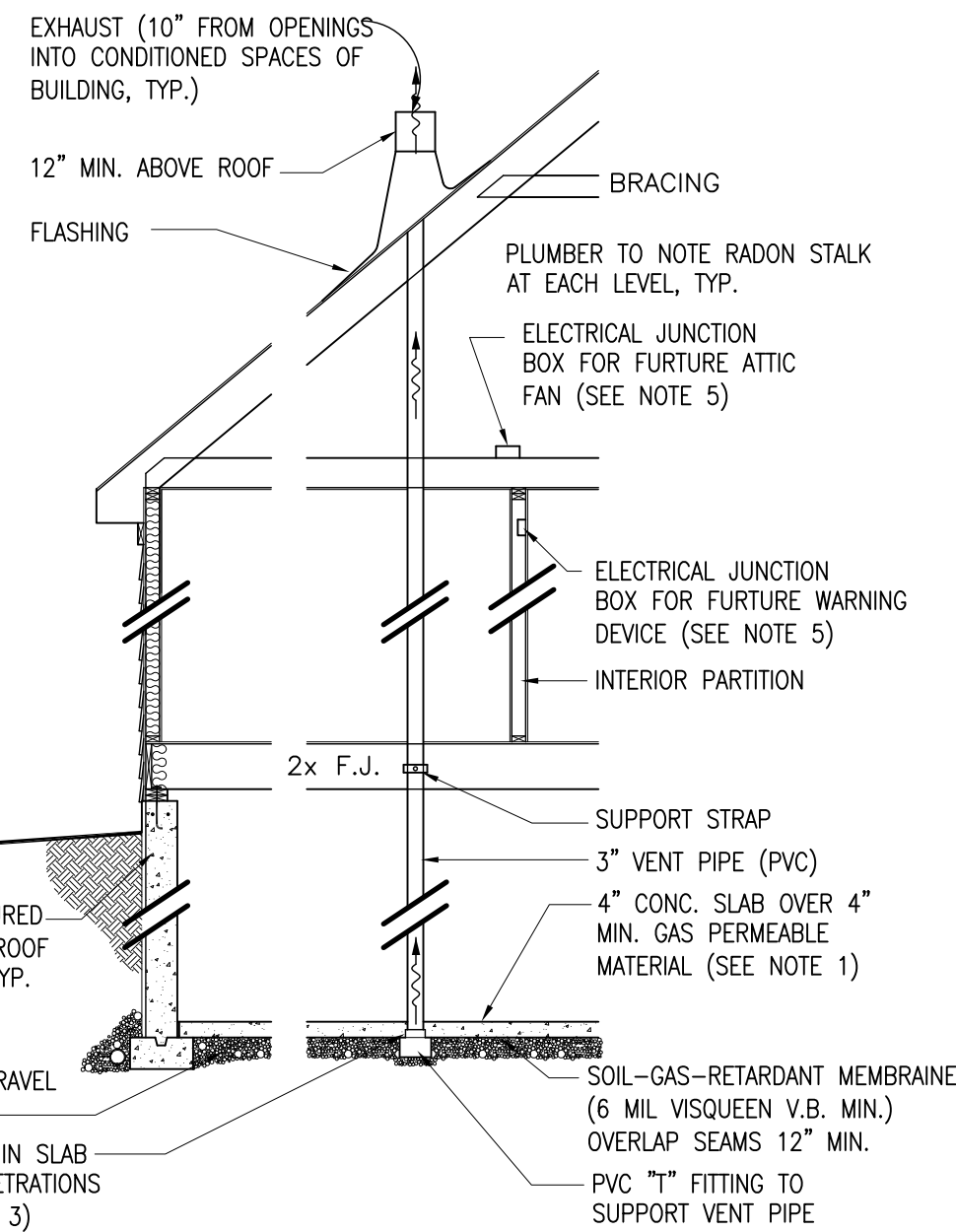
JOB NO. 21-011
DATE 06-10-21
FILE
PLOT SCALE: 1:1

OWNER APPROVAL

Signature _____
Date _____

SHEET TITLE
SECOND FLOOR
ELECTRICAL PLAN &
PLUMBING DIAGRAMS

SHEET NUMBER
A8



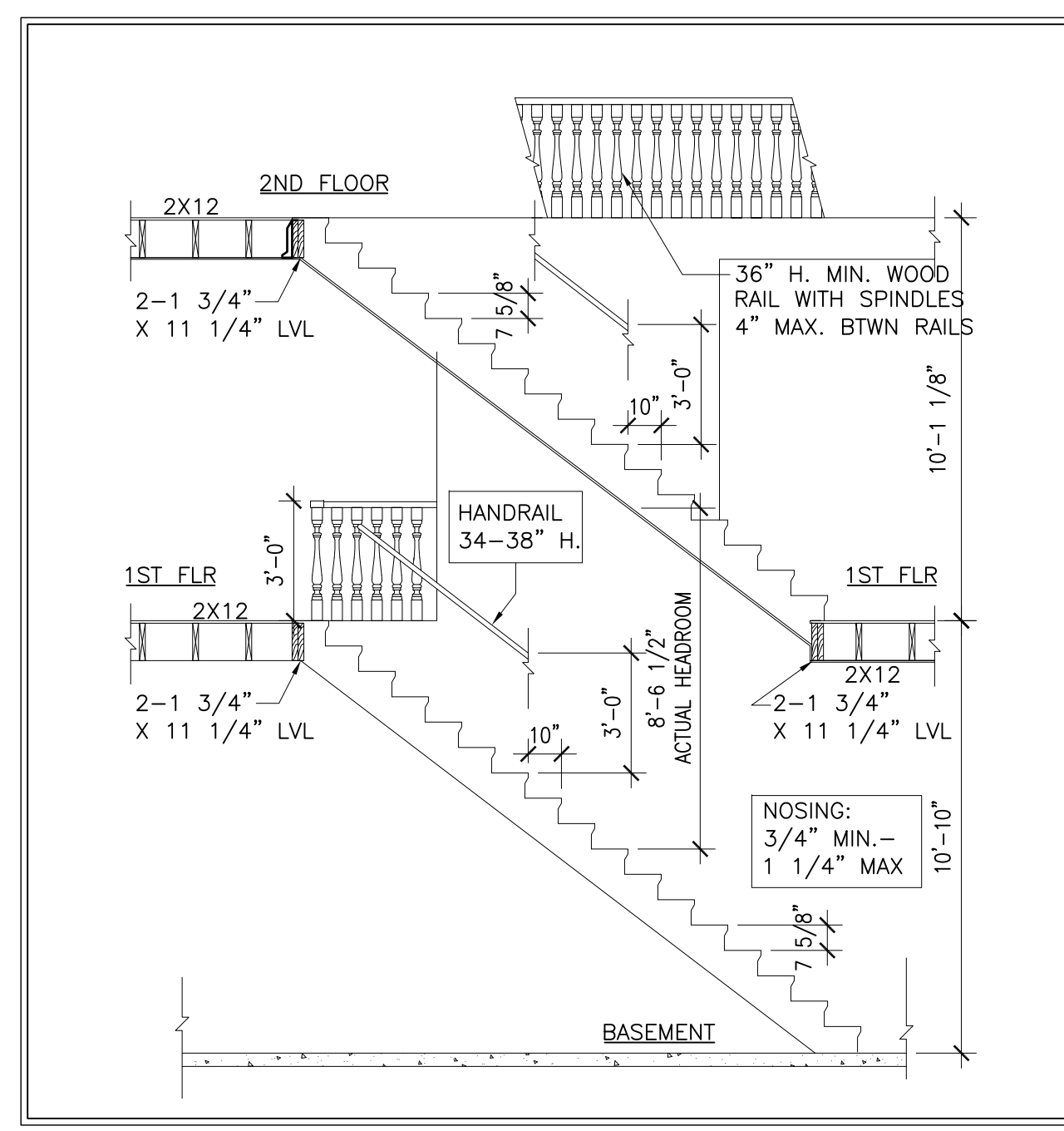
- ### Passive Sub-Slab Depression Control System
- NOTES:
- 1.) ALL CONC. SLABS THAT COME IN CONTACT WITH THE GROUND SHALL BE LAID OVER A GAS PERMIABLE MATERIAL MADE UP OF EITHER A MIN. 4" THICK UNIFORM LAYER OF CLEAN AGGREGATE, OR A 4" MIN. UNIFORM LAYER OF SAND, OVERLAIN BY A LAYER OF MANUFACTURED MATTING DESIGNED TO ALLOW THE LATERAL FLOW OF SOIL GASES.
 - 2.) ALL CONC. SLABS SHALL BE DESIGNED & CONSTRUCTED IN ACCORDANCE WITH LOCAL BUILDING CODES. ADDITIONAL REFS.: AMERICAN CONCRETE INSTITUTE PUBLICATIONS, "AC1302.1R" & "AC1332R", OR THE POST TENSIONING INSTITUTE MANUAL, "DESIGN & CONSTRUCTION OF POST-TENSIONED SLABS ON GROUND".
 - 3.) ALL OPENINGS, GAPS & JOINTS IN FLOOR & WALL ASSEMBLIES IN CONTACT WITH SOIL OR GAPS AROUND PIPES, TOILETS, BATHTUBS OR DRIANS PENETRATING THESE ASSEMBLIES SHALL BE FILLED OR CLOSED WITH MATERIALS THAT PROVIDE PERMANENT AIR-TIGHT SEAL. SEAL LARGE OPENINGS WITH NON-SHRINK MORTAR, GROUTS OR EXPANDING FOAM MATERIALS & SMALL GAPS WITH AN ELASTIC JOINT SEALANT, AS DEFINED IN ASTM C920-87.
 - 4.) VENT PIPES SHALL BE INSTALLED SO THAT ANY RAINWATER OR CONDENSATION DRAINS DOWNWARD INTO THE GROUND BENEATH THE SLAB OR SOIL-GAS-RETARDANT MEMBRANE, "AC1332R", OR THE POST TENSIONING INSTITUTE MANUAL.
 - 5.) CIRCUITS SHOULD BE A MIN. OF 15 AMPS, 115 VOLT.
 - 6.) RADON SYSTEM TO INCLUDE 5 FEET EXTENSIONS OF EACH SIDE OF "T" IN UNDERSLAB PER STATE OF ILLINOIS REQUIREMENTS.
 - 7.) MIN. 3" HEADROOM REQUIRED IN ATTIC WHERE PIPING EXTENDS THROUGH ROOF

Passive Sub-Slab Depression Control System

SECTION DETAIL

2

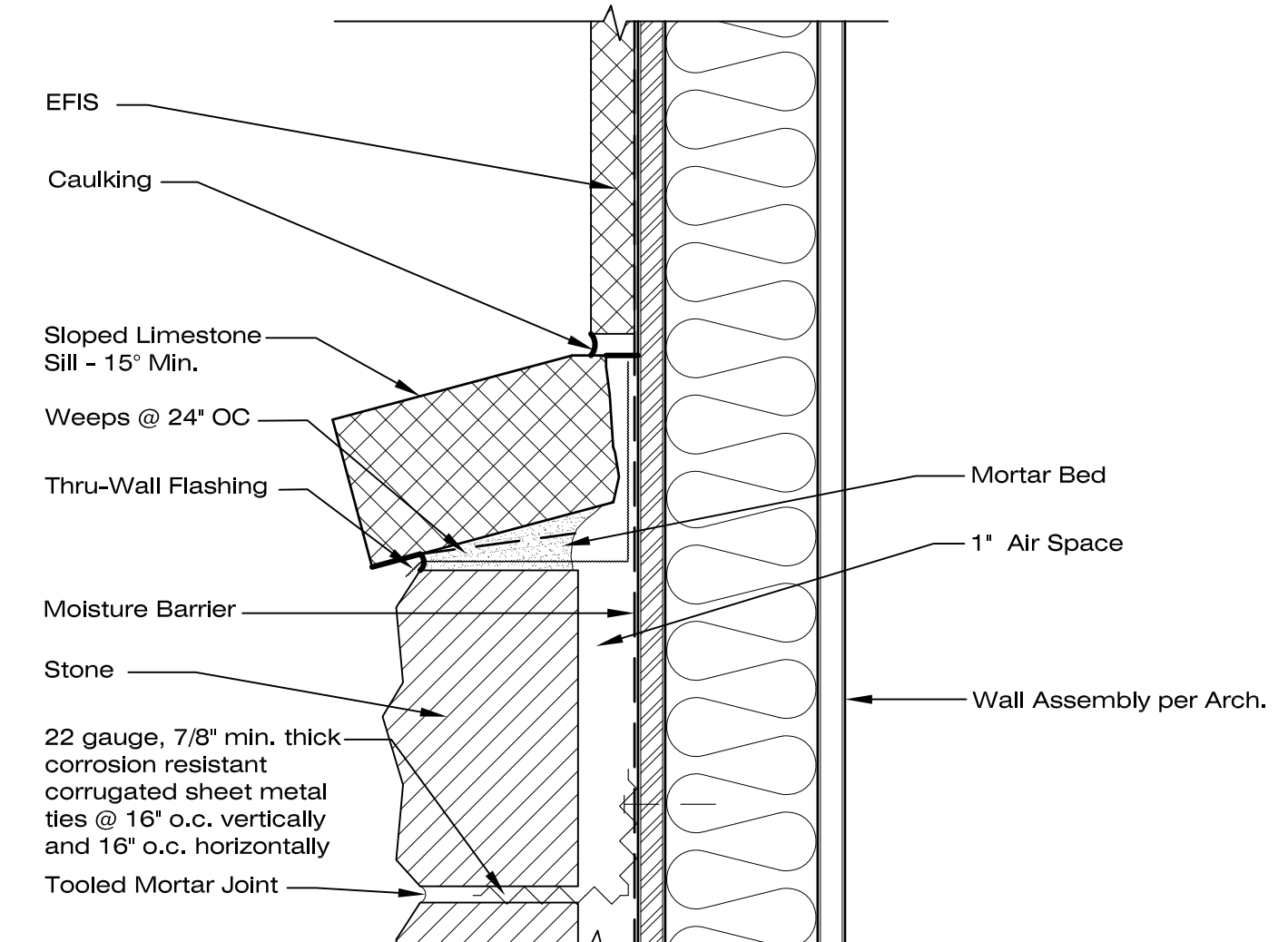
SCALE: NTS



STAIR SECTION

3

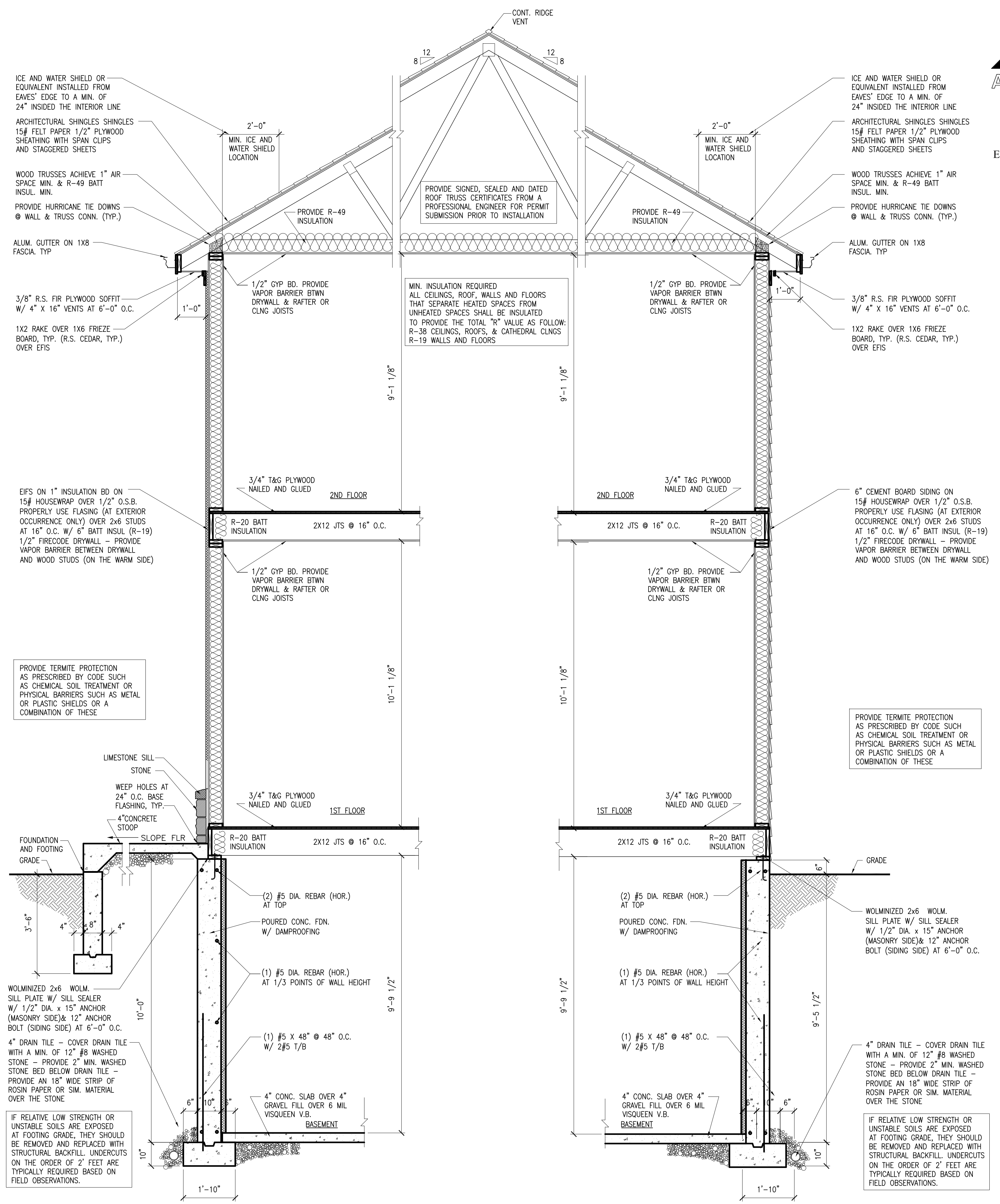
SCALE: 1/4" = 1'-0"



STONE DETAIL

4

SCALE: 3" = 1'-0"



SECTION THROUGH MAIN STRUCTURE

1

SCALE: 1/2" = 1'-0"

THESE DRAWINGS, INCLUDING ALL DESIGNS, DETAILS, SPECIFICATIONS AND INFORMATION, ARE THE SOLE PROPERTY AND COPYRIGHT OF AGAMA DESIGNS AND ARE FOR USE ON THIS SPECIFIC PROJECT AND SHALL NOT BE USED ON ANY OTHER WORK WITHOUT THE AGREEMENT AND WRITTEN PERMISSION OF AGAMA DESIGNS.

ISSUED	DATE
FOR APPROVAL	
FOR PERMIT	
FOR BID	
FOR CONST.	

REVISIONS	DATE
1	
2	
3	

PROJECT: PROPOSED NEW RESIDENCE
7237 GREYWALL COURT (LOT 96)
LONG GROVE, IL 60047

CLIENT: GREYWALL COURT LLC
6870 ELLIS DRIVE
LONG GROVE, IL 60047

JOB NO. 21-011
DATE 06-10-21
FILE
PLOT SCALE: 1:1

OWNER APPROVAL

Signature _____
Date _____

SHEET TITLE
SECTIONS
AND SCHEDULES

SHEET NUMBER
A9

MECHANICAL GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH CITY OF ELGIN CODES AND ORDINANCES.
2. ALL EQUIPMENT SHALL BE U.L., ETL, AND/OR AGA LABELED AS REQUIRED.
3. ALL DUCTWORK SHALL BE PRIME GRADE GALVANIZED SHEET METAL PER SMACNA STANDARDS.
4. DUCTWORK SHALL BE SUPPORTED WITH APPROVED HANGERS AT INTERVALS NOT EXCEEDING TEN (10) FEET OR BY OTHER APPROVED DUCT SUPPORT SYSTEMS DESIGNED IN ACCORDANCE WITH THE BUILDING CODE. FLEXIBLE AND OTHER FACTORY-MADE DUCTS SHALL BE SUPPORTED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
5. ELECTRICAL CONTRACTOR SHALL WIRE ALL EQUIPMENT AND SHALL PROVIDE DISCONNECT SWITCHES, STARTERS AND/OR RELAYS AS REQUIRED.
6. SECTION G2445.5 (621.5) ROOM OR SPACE VOLUME, SHALL BE AMENDED TO READ AS FOLLOWS: THE AGGREGATE INPUT RATING OF ALL UNVENTED APPLIANCES INSTALLED IN A ROOM OR SPACE SHALL NOT EXCEED 10 BTU/H PER CUBIC FOOT (0.105KW/M3) VOLUME OF SUCH ROOM OR SPACE, WHERE THE ROOM OR SPACE IN WHICH THE EQUIPMENT IS INSTALLED IS DIRECTLY CONNECTED TO ANOTHER ROOM OR SPACE BY A DOORWAY, ARCHWAY OR OTHER OPENING OF COMPARABLE SIZE THAT CANNOT BE CLOSED, THE VOLUME OF SUCH ADJACENT ROOM OR SPACE SHALL BE PERMITTED TO BE INCLUDED IN THE CALCULATIONS.
7. FLEXIBLE AIR DUCTS, BOTH METALLIC AND NON-METALLIC, SHALL BE LISTED AND LABELLED TO INDICATE CONFORMANCE WITH THE REQUIREMENTS OF UL 181 FOR CLASS 0 OR CLASS 1 FLEXIBLE AIR DUCTS. FLEXIBLE AIR DUCTS SHALL NOT EXCEED TEN (10) FEET IN LENGTH.
8. RANGE HOODS SHALL DISCHARGE TO THE OUTDOORS THROUGH A SINGLE-WALL DUCT. THE DUCT SERVING THE HOOD SHALL HAVE A SMOOTH INTERIOR SURFACE, SHALL BE AIR TIGHT AND SHALL BE EQUIPPED WITH A BACKDRAFT DAMPER. DUCTS SERVING RANGE HOODS SHALL NOT TERMINATE IN AN ATTIC OR CRAWL SPACE OR AREAS INSIDE THE BUILDING. CODE SECTION R1503.1
9. EXHAUST HOOD SYSTEMS CAPABLE OF EXHAUSTING IN EXCESS OF 400 CUBIC FEET PER MINUTE (0.19 M3/S) SHALL BE PROVIDED WITH MAKEUP AIR AT A RATE APPROXIMATELY EQUAL TO THE EXHAUST AIR RATE. SUCH MAKEUP AIR SYSTEMS SHALL BE EQUIPPED WITH A MEANS OF CLOSURE AND SHALL BE AUTOMATICALLY CONTROLLED TO START AND OPERATE SIMULTANEOUSLY WITH THE EXHAUST SYSTEM. CODE SECTION M1503.4
10. RANGE HOODS SHALL DISCHARGE TO THE OUTDOORS THROUGH A SINGLE-WALL DUCT. THE DUCT SERVING THE HOOD SHALL HAVE A SMOOTH INTERIOR SURFACE, SHALL BE AIR TIGHT AND SHALL BE EQUIPPED WITH A BACKDRAFT DAMPER. DUCTS SERVING RANGE HOODS SHALL NOT TERMINATE IN AN ATTIC OR CRAWL SPACE OR AREAS INSIDE THE BUILDING. CODE SECTION R1503.1
11. HEATING AND COOLING EQUIPMENT AND APPLIANCES SHALL BE SIZED IN ACCORDANCE WITH ACCA MANUAL S BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE WITH ACCA MANUAL J OR OTHER APPROVED HEATING AND COOLING CALCULATION METHODOLOGIES. HEATING AND COOLING LOADS (ACCA MANUAL S, J, AND D) SHALL BE SUBMITTED FOR REVIEW
12. ALL ROOMS CONTAINING BATHTUBS OR SHOWERS MUST BE MECHANICALLY VENTED PER AMENDMENT M1507.2
13. ALL BATHROOM EXHAUST TO BE VENTED TO EXTERIOR PER IRC R303.3 AS AMENDED
14. CLOTHES DRYER EXHAUST SHALL CONVEY MOISTURE AND PRODUCTS OF COMBUSTION TO THE OUTSIDE OF THE BUILDING AND CONFORM TO REQUIREMENTS OF SECTION M1502 OF THE 2015 INTERNATIONAL RESIDENTIAL CODE.
15. CLOTHES DRYER EXHAUST SHALL CONVEY MOISTURE AND PRODUCTS OF COMBUSTION TO THE OUTSIDE OF THE BUILDING AND CONFORM TO REQUIREMENTS OF SECTION M1502 OF THE 2015 INTERNATIONAL RESIDENTIAL CODE WITH ELGIN AMENDMENTS.
16. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF CHAPTER 12 THRU 22 AND CHAPTER 24 OF THE 2015 EDITION OF THE INTERNATIONAL RESIDENTIAL CODE WITH ELGIN AMENDMENTS.

THESE DRAWINGS, INCLUDING ALL DESIGN DETAILS, SPECIFICATIONS AND INFORMATION, ARE THE SOLE PROPERTY AND COPYRIGHT OF AGAMA DESIGNS AND ARE FOR USE ON THIS SPECIFIC PROJECT AND SHALL NOT BE USED ON ANY OTHER WORK WITHOUT THE AGREEMENT AND WRITTEN PERMISSION OF AGAMA DESIGNS.

ISSUED	DATE
FOR APPROVAL	
FOR PERMIT	
FOR BID	
FOR CONST.	

REVISIONS	DATE
▲	
▲	
▲	

PROJECT: **PROPOSED NEW RESIDENCE**
7237 GREYWALL COURT (LOT 96)
LONG GROVE, IL 60047

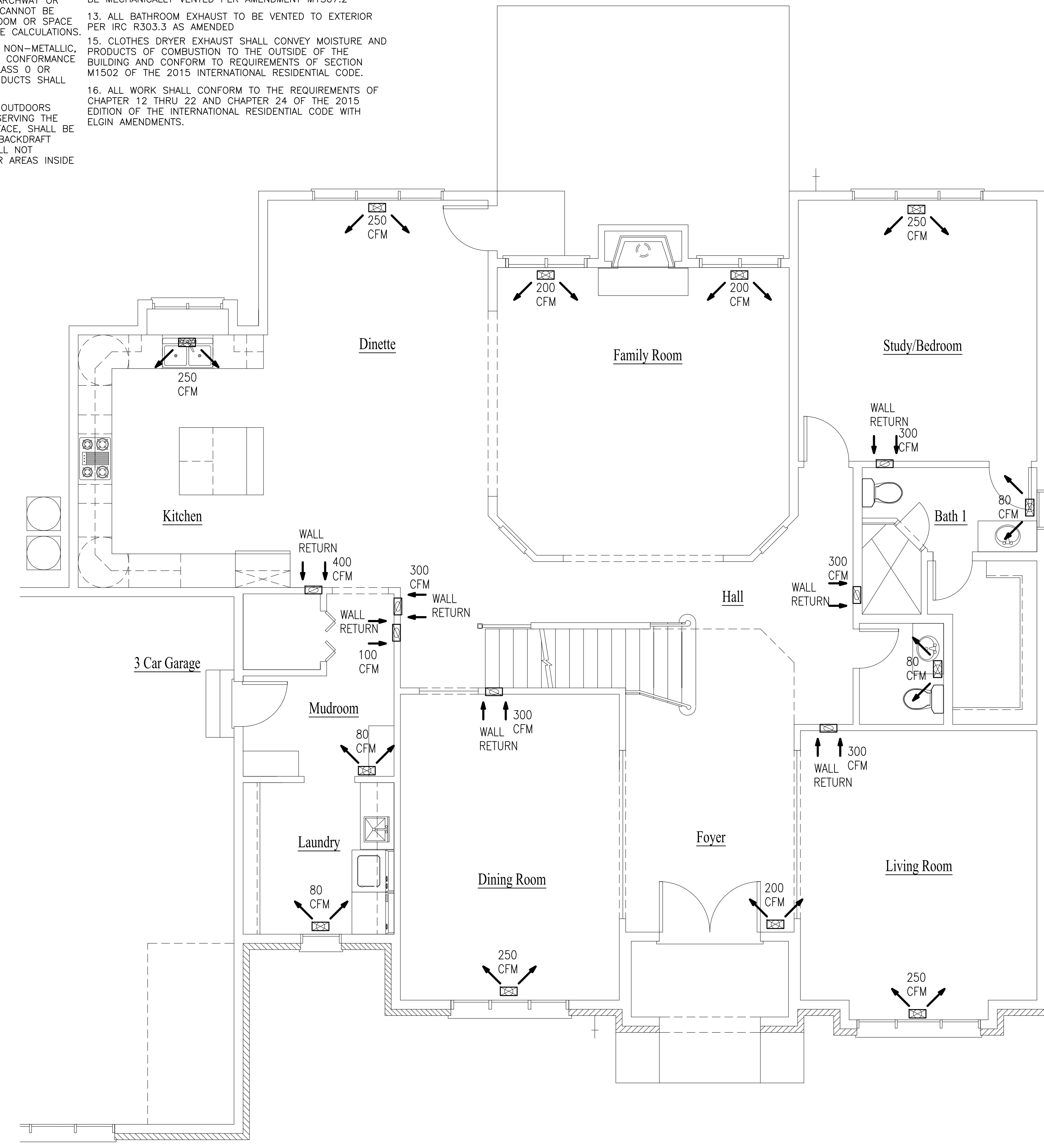
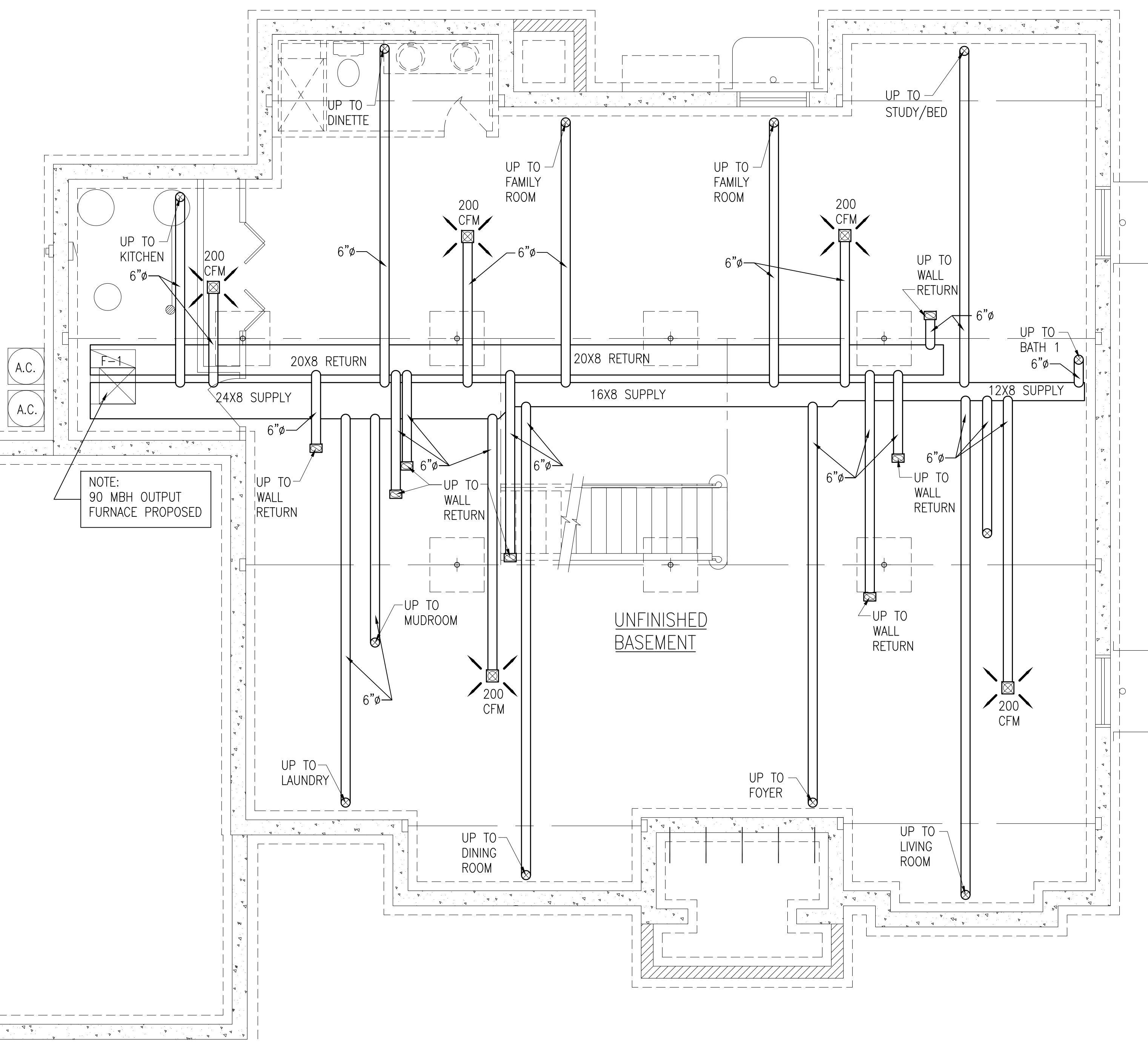
CLIENT: GREYWALL COURT LLC
6870 ELLIS DRIVE
LONG GROVE, IL 60047

JOB NO. 21-011
DATE 06-10-21
FILE
PLOT SCALE: 1:1
OWNER APPROVAL

Signature _____
Date _____

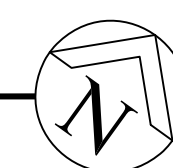
SHEET TITLE
**BASEMENT & FIRST FLOOR
MECHANICAL & SCHEDULES**

SHEET NUMBER
M1



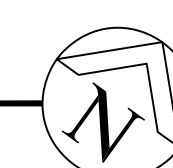
BASEMENT MECHANICAL PLAN

SCALE: 1/4" = 1'-0"



FIRST FLOOR MECHANICAL PLAN

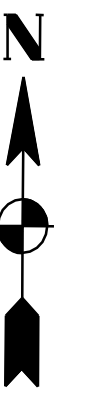
SCALE: 1/4" = 1'-0"



TOPOGRAPHIC SURVEY

LOT 96 IN PLANNED UNIT DEVELOPMENT RAVENNA EAST TWO, BEING A RESUBDIVISION OF PART OF GOVERNMENT LOTS 1 AND 2 IN THE SOUTHWEST 1/4 OF SECTION 6, TOWNSHIP 43 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, AND PART OF LOT 11 IN UNIT NO. 1 BRAEBURN-WEST, BEING A SUBDIVISION OF PART OF AFOREMENTIONED GOVERNMENT LOT 2, ACCORDING TO THE PLAT OF SAID PLANNED UNIT DEVELOPMENT RAVENNA EAST TWO RECORDED JULY 06, 2005 AS DOCUMENT 581241, IN LAKE COUNTY, ILLINOIS.

COMMONLY KNOWN AS: 7237 GREY WALL COURT, LONG GROVE, ILLINOIS 60060
P.L.N. #: 15-06-305-071



SCALE 1" = 10'
DATE: FEBRUARY 17, 2022
& MARCH 09, 2022 (TOPO - FIELD WORK)

LEGEND	EXISTING
WATER MAIN	— W —
WATER SERVICE	— W —
SANITARY SEWER	— S —
STORM SEWER	— S —
MANHOLE	⊙
CATCH BASIN	⊙
INLET	⊙
CONTOUR	XXX.XX
DIRECTION OF FLOW	→
SUMMIT	↔
TOP OF CURB ELEVATION	C XXX.XX
GUTTER FLOWLINE ELEVATION	G XXX.XX
PAVEMENT ELEVATION	P XXX.XX
TOP OF FOUNDATION ELEVATION	TF XXX.XX
FINISHED FIRST FLOOR ELEVATION	FF XXX.XX
SURFACE ELEVATION	XXX.XX
TOP OF WALK ELEVATION	W XXX.XX
TOP OF WALL ELEVATION	TW XXX.XX
TREE	⊙ 10"
EVERGREEN TREE	⊙ 15"
FENCE (Chain Link)	— X —
FENCE (Wood)	— □ —
ELECTRIC OVERHEAD LINE	— OH —
ELECTRIC	⊙
TELEPHONE	⊙
DITCH	→
WATER SERVICE B-BOX	⊙
FIRE HYDRANT	⊙
POWER POLE	⊙
DOWNSPOUT	⊙

NOTE: PROPERTY LINES SHOWN HEREON ARE BASED ON "PLAT OF SURVEY" DONE BY: TFW SURVEYING & MAPPING, INC. 888 EAST BELVIDERE ROAD, SUITE #409 GRAYSLAKE, ILLINOIS 60030
DATE: APRIL 23, 2019
TEL: (847) 548-6600 FAX: (847) 548-6699

REF. BENCHMARK SET BY LCDOT:

CHISELED SQUARE IN WEST SIDE OF CONC. GATE POST BASE. LOCATION: +/- 0.5 MILE WEST ON NORTH SIDE OF INDIAN CREEK ROAD FROM INTERSECTION OF INDIAN CREEK RD. AND DIAMOND LAKE RD.
ELEVATION = 723.54 (NGVD 29 DATUM)
ELEV. = 723.54(NGVD 29) - 0.25 = 723.29(INVD 88) (WAS USED)

SITE BENCHMARK
RIM OF EXISTING SANITARY MANHOLE LOCATED 35.0' +/- SE-Y FROM SE CORNER OF SUBJECT PROPERTY
ELEVATION = 721.55 (INVD 1988 DATUM)

REGISTERED PROFESSIONAL ENGINEER NO. 062-40870

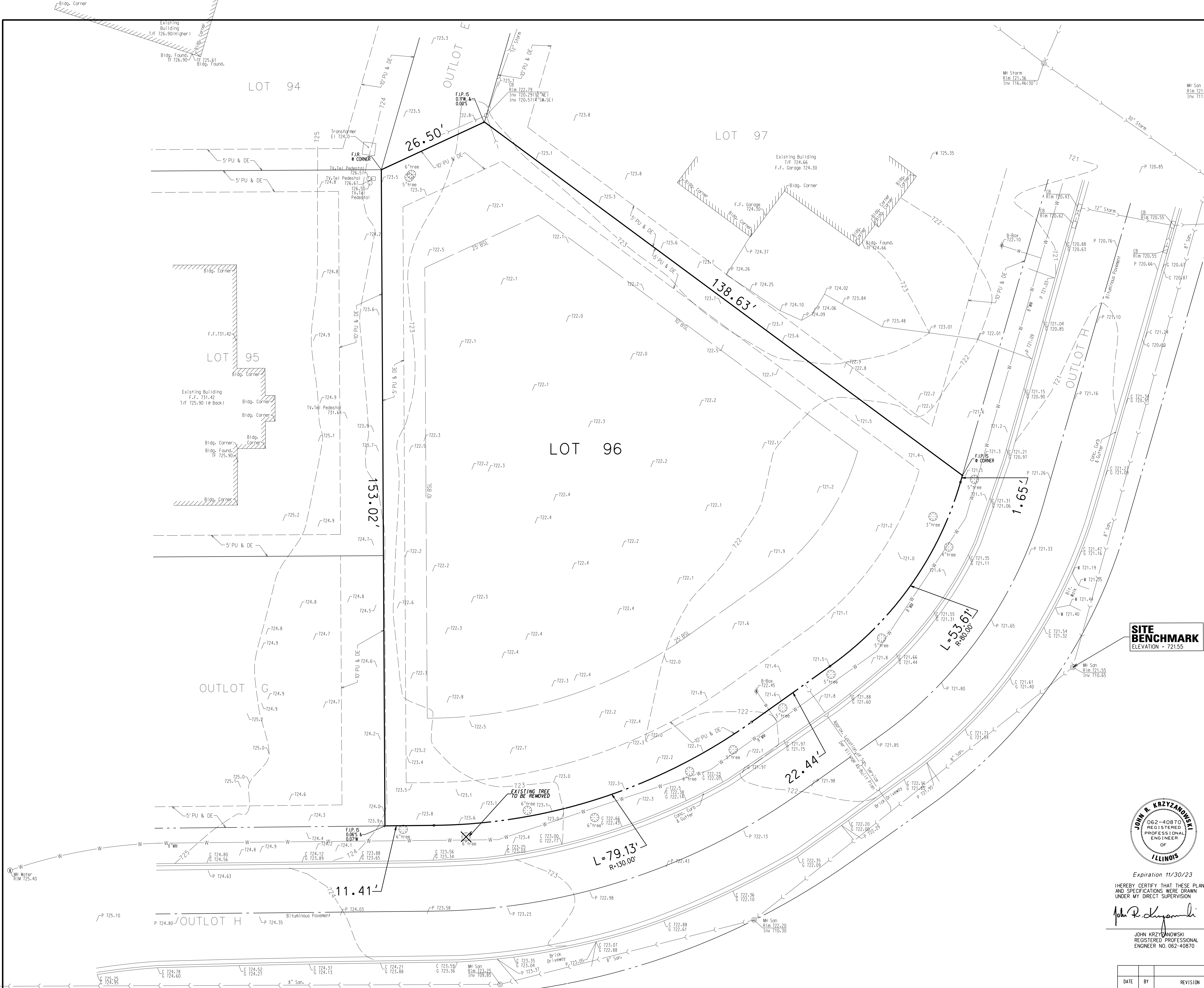
PREPARED FOR:
NEW SINGLE FAMILY RESIDENCE AT 7237 GREY WALL COURT LONG GROVE, ILLINOIS 60060
PHONE (847) 942-2943 (Raza Khan - Owner)

DOUBLE M CIVIL ENGINEERING
PHONE: 847-573-9758; E-mail: morekedoub@emcivil.com
14048 W. PETRONELLA DRIVE SUITE #102 LIBERTYVILLE, ILLINOIS 60048
ENGINEERS PLANNERS SURVEYORS

JOHN P. KRZYWANOWSKI
062-40870
REGISTERED PROFESSIONAL ENGINEER OF ILLINOIS
Expiration 11/30/23
I HEREBY CERTIFY THAT THESE PLANS AND SPECIFICATIONS WERE DRAWN UNDER MY DIRECT SUPERVISION

JOHN KRZYWANOWSKI
REGISTERED PROFESSIONAL ENGINEER NO. 062-40870

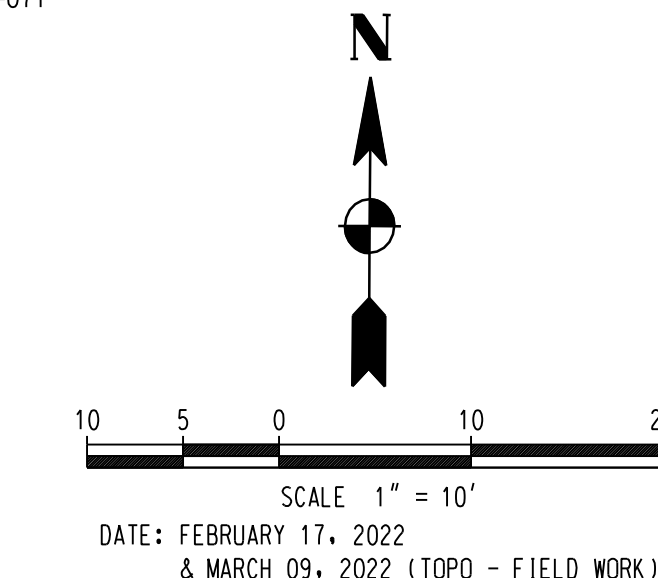
DATE	BY	REVISION	SCALE	PROJECT NO.	DRAWING NUMBER
05-06-2022	JK		1" = 10'	75122	1 OF 4



PROPOSED SITE PLAN

LOT 96 IN PLANNED UNIT DEVELOPMENT RAVENNA EAST TWO, BEING A RESUBDIVISION OF PART OF GOVERNMENT LOTS 1 AND 2 IN THE SOUTHWEST 1/4 OF SECTION 6, TOWNSHIP 43 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, AND PART OF LOT 11 IN UNIT NO. 1 BRAEBURN-WEST, BEING A SUBDIVISION OF PART OF AFOREMENTIONED GOVERNMENT LOT 2, ACCORDING TO THE PLAT OF SAID PLANNED UNIT DEVELOPMENT RAVENNA EAST TWO RECORDED JULY 06, 2005 AS DOCUMENT 581241, IN LAKE COUNTY, ILLINOIS.

COMMONLY KNOWN AS: 7237 GREYWALL COURT, LONG GROVE, ILLINOIS 60060
P.L.N. #: 15-06-305-071



LEGEND	EXISTING	PROPOSED
SIDEWALK (CONCRETE PAVEMENT)		
BRICK PAVEMENT PATIO, WALK, OR DRIVEWAY		
BITUMINOUS PAVEMENT		
GRAVEL SURFACE		
WATER		
SANITARY SEWER		
STORM SEWER		
CONTOUR		
DIRECTION OF FLOW		
SUMMIT		
TOP OF CURB ELEVATION	C XXX.XX	
TOP OF DEPRESSED CURB ELEVATION	TOC XXX.XX	
PAVEMENT ELEVATION	P XXX.XX	
TOP OF FOUNDATION ELEVATION	TF XXX.XX	
FINISHED 1ST FLOOR ELEVATION	F.F. XXX.XX	
TOP OF WALK ELEVATION	W XXX.XX	
SURFACE ELEVATION @ BACK OF CURB		
DITCH/SWALE FLOW LINE ELEVATION		
SHOULDER ELEVATION		
SURFACE ELEVATION	XXX.X	
TREE / EVERGREEN TREE		
ELECTRIC OVERHEAD LINE		
ELECTRIC		
TELEPHONE		
POWER POLE		
WATER SERVICE B-BOX		
FIRE HYDRANT		
MANHOLE		
CATCH BASIN		
INLET		
INLET PROTECTION		
DOWNSPOUT DIRECTION		
FENCES: WOOD/CHAIN LINK		

LOT AREA		14,635.1 S.F.
EXISTING IMPERVIOUS	PROPOSED IMPERVIOUS	
HOUSE & GARAGE	3,201.6 S.F.	
DRIVEWAY	1,193.0 S.F.	
FRONT ENTRANCE & WALK	313.7 S.F.	
STOOP @ GARAGE	15.3 S.F.	
PATIO @ BACK	232.5 S.F.	
WINDOW WELLS	50.6 S.F.	
TOTAL IMPERVIOUS	0 S.F.	TOTAL IMPERVIOUS 5,006.7 S.F.

SITE BENCHMARK
ELEVATION = 721.55

Joint Utility Locating Information for Excavators
Call 48 hours before you dig (Excluding Sat., Sun. & Holidays)

NOTE: PROPERTY LINES SHOWN HEREON ARE BASED ON "PLAT OF SURVEY" DONE BY: TFW SURVEYING & MAPPING, INC. 888 EAST BELVIDERE ROAD, SUITE #409 GRAYS LAKE, ILLINOIS 60030 DATE: APRIL 23, 2019 TEL: (847) 548-6600 FAX: (847) 548-6699

REF. BENCHMARK SET BY LCDOT:

CHISELED SQUARE IN WEST SIDE OF CONC. GATE POST BASE. LOCATION: +/- 0.5 MILE WEST ON NORTH SIDE OF INDIAN CREEK ROAD FROM INTERSECTION OF INDIAN CREEK RD. AND DIAMOND LAKE RD. ELEVATION = 723.54 (NGVD 29 DATUM) ELEV. = 723.54(NGVD 29) - 0.25 = 723.29(INAVD 88) (WAS USED)

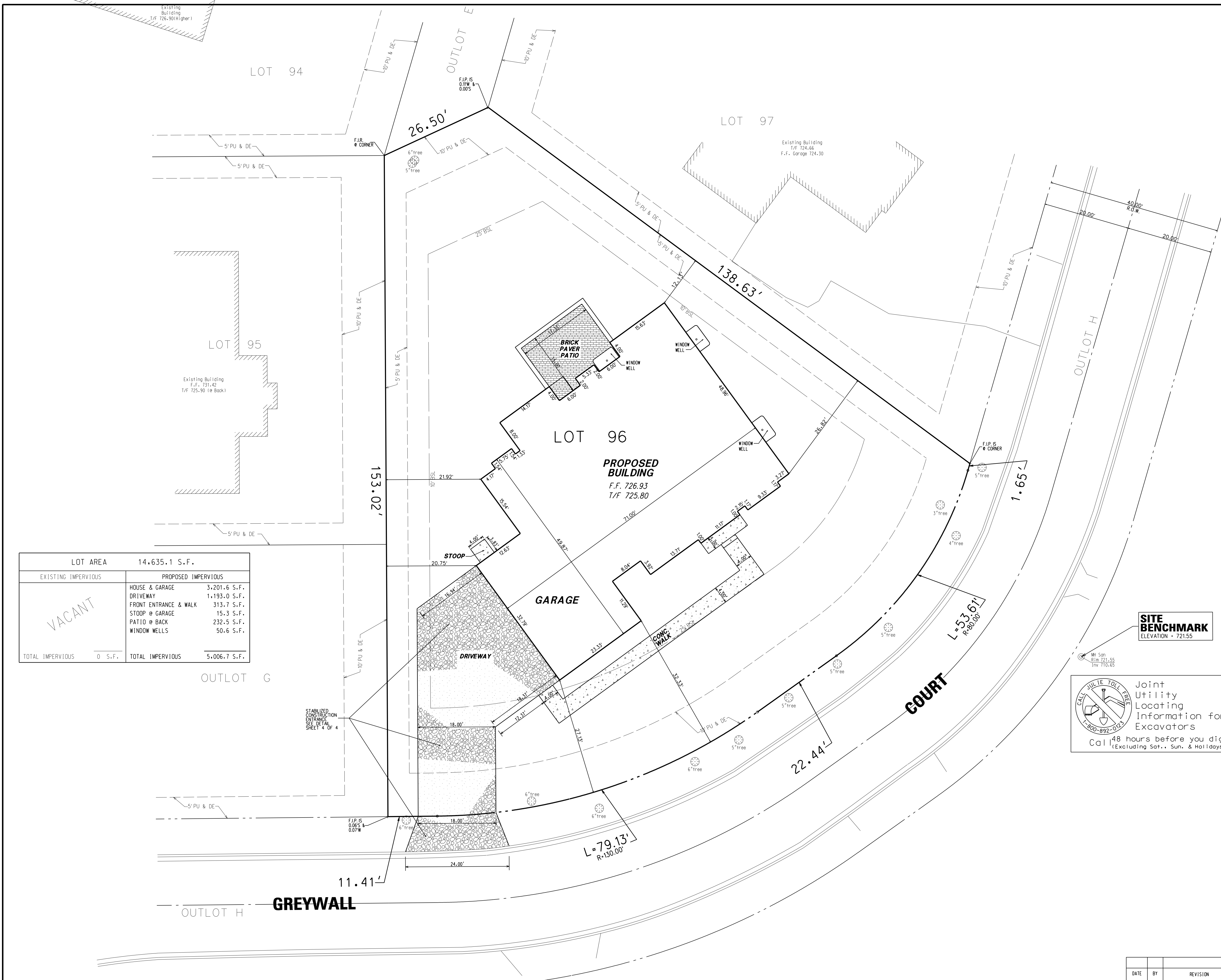
SITE BENCHMARK
RIM OF EXISTING SANITARY MANHOLE LOCATED 35.0' +/- SE-Y FROM SE CORNER OF SUBJECT PROPERTY
ELEVATION = 721.55 (NAVD 1988 DATUM)

REGISTERED PROFESSIONAL ENGINEER NO. 062-40870

PREPARED FOR:
NEW SINGLE FAMILY RESIDENCE AT 7237 GREYWALL COURT LONG GROVE, ILLINOIS 60060
PHONE (847) 942-2943 (Raza Khan - Owner)

DOUBLE M CIVIL ENGINEERING
PHONE: 847-573-9758; E-mail: more@doublemcivil.com
14048 W. PETRONELLA DRIVE SUITE # 102 LIBERTYVILLE, ILLINOIS 60048
ENGINEERS PLANNERS SURVEYORS

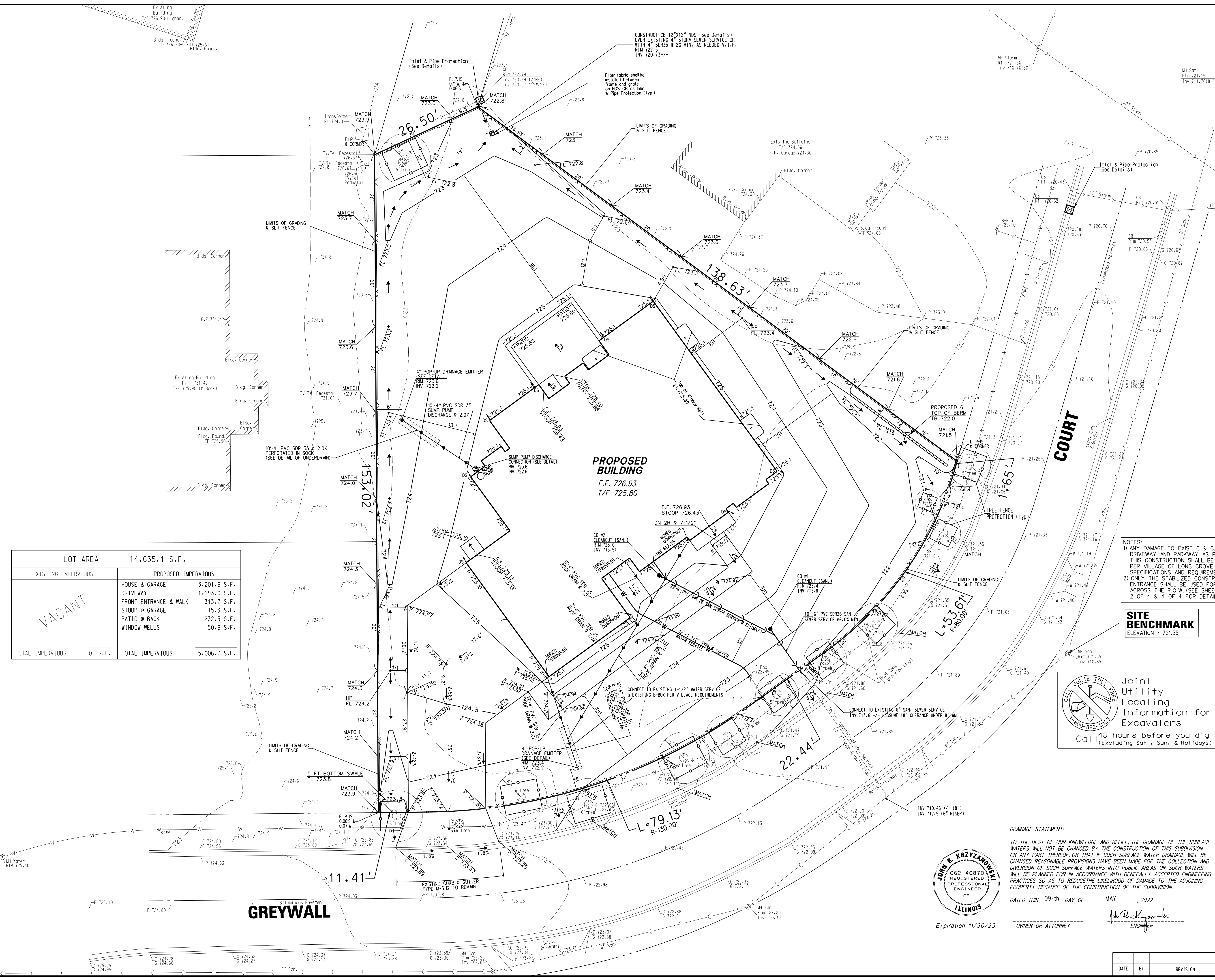
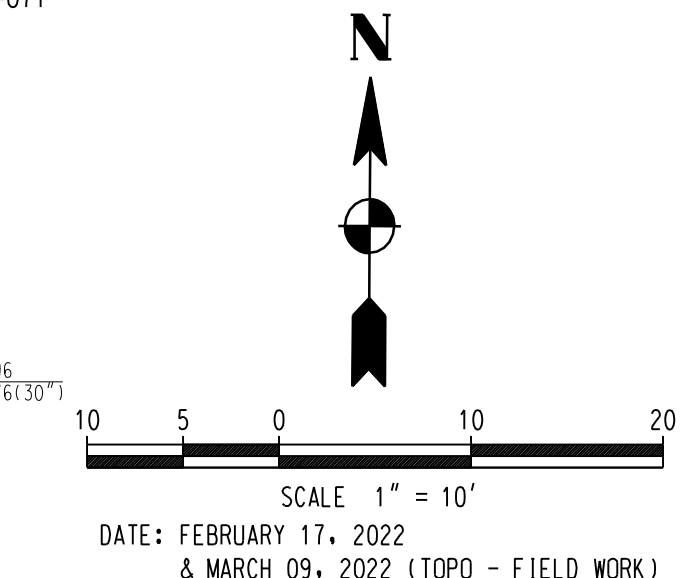
DATE	BY	REVISION	SCALE	PROJECT NO.	DRAWING NUMBER
05-06-2022	JK		1" = 10'	75122	2 OF 4



PROPOSED GRADING PLAN

LOT 96 IN PLANNED UNIT DEVELOPMENT RAVENNA EAST TWO, BEING A RESUBDIVISION OF PART OF GOVERNMENT LOTS 1 AND 2 1/4 IN THE SOUTHWEST 1/4 OF SECTION 6, TOWNSHIP 43 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, AND PART OF LOT 11 IN UNIT NO. 1 BRAEBURN-WEST, BEING A SUBDIVISION OF PART OF AFOREMENTIONED GOVERNMENT LOT 2, ACCORDING TO THE PLAT OF SAID PLANNED UNIT DEVELOPMENT RAVENNA EAST TWO RECORDED JULY 06, 2005 AS DOCUMENT 581241, IN LAKE COUNTY, ILLINOIS.

COMMONLY KNOWN AS: 7237 GREYWALL COURT, LONG GROVE, ILLINOIS 60060
P.L.N. #: 15-06-305-071



LOT AREA		14,635.1 S.F.
EXISTING IMPERVIOUS	PROPOSED IMPERVIOUS	
HOUSE & GARAGE	3,201.6 S.F.	
DRIVEWAY	1,193.0 S.F.	
FRONT ENTRANCE & WALK	313.7 S.F.	
STOOP @ GARAGE	15.3 S.F.	
PATIO @ BACK	232.5 S.F.	
WINDOW WELLS	50.6 S.F.	
TOTAL IMPERVIOUS	0 S.F.	TOTAL IMPERVIOUS 5,006.7 S.F.

LEGEND	EXISTING	PROPOSED
WATER	— W —	— W —
WATER SERVICE	— W —	— W —
SANITARY SEWER	— S —	— S —
STORM SEWER	— S —	— S —
MANHOLE	⊙	⊙
CATCH BASIN	⊙	⊙
CONTOUR	XXX.XX	XXX.XX
DIRECTION OF FLOW	→	→
SUMMIT	→	→
TOP OF CURB ELEVATION	C XXX.XX	C XXX.XX
TOP OF DEPRESSED CURB ELEVATION		TDC XXX.XX
OUTLET FLOWLINE ELEVATION	G XXX.XX	G XXX.XX
PAVEMENT ELEVATION	P XXX.XX	P XXX.XX
TOP OF FOUNDATION ELEVATION	TF XXX.XX	TF XXX.XX
FINISHED FIRST FLOOR ELEVATION	FF XXX.XX	FF XXX.XX
TOP OF WALK ELEVATION	W XXX.XX	W XXX.XX
SWALE FLOWLINE ELEVATION	XXX.XX	FL XXX.XX
SURFACE ELEVATION	XXX.XX	XXX.XX
TREE	⊙	⊙
EVERGREEN TREE	⊙	⊙
FENCE	(Chain Link) — X —	(Wood) — X —
SILT FENCE	— X —	— X —
TREE FENCE PROTECTION	— X —	— X —
ELECTRIC OVERHEAD LINE	— OH —	— OH —
ELECTRIC	⊙	⊙
TELEPHONE	⊙	⊙
WATER SERVICE B-BOX	⊙	⊙
FIRE HYDRANT	⊙	⊙
POWER POLE	⊙	⊙
DOWNSPOUT DIRECTION	DS ⊙	DS ⊙
INLET PROTECTION	⊙	⊙
OVERFLOW ROUTE	→	→

NOTES:
1) ANY DAMAGE TO EXIST. C & G, PAVEMENT, DRIVEWAY AND PARKWAY AS PART OF THIS CONSTRUCTION SHALL BE REPAIRED PER VILLAGE OF LONG GROVE SPECIFICATIONS AND REQUIREMENTS.
2) ONLY THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE USED FOR ACCESS ACROSS THE R.O.W. (SEE SHEETS 2 OF 4 & 4 OF 4 FOR DETAILS)

SITE BENCHMARK
ELEVATION = 721.55

Joint Utility Locating Information for Excavators
Call 48 hours before you dig (Excluding Sat., Sun. & Holidays)

NOTE: PROPERTY LINES SHOWN HEREON ARE BASED ON "PLAT OF SURVEY" DONE BY: TFW SURVEYING & MAPPING, INC. 888 EAST BELVIDERE ROAD, SUITE #409 GRAYSLAKE, ILLINOIS 60030
DATE: APRIL 23, 2019
TEL: (847) 548-6600 FAX: (847) 548-6699

REF. BENCHMARK SET BY LCDOT:
CHISELED SQUARE IN WEST SIDE OF CONC. GATE POST BASE. LOCATION: +/- 0.5 MILE WEST ON NORTH SIDE OF INDIAN CREEK ROAD FROM INTERSECTION OF INDIAN CREEK RD. AND DIAMOND LAKE RD.
ELEVATION = 723.54 (NGVD 29 DATUM)
ELEV. = 723.54(NGVD 29) - 0.25 = 723.29(NAVD 88) (WAS USED)

SITE BENCHMARK
RIM OF EXISTING SANITARY MANHOLE LOCATED 35.0'-/- SE-Y FROM SE CORNER OF SUBJECT PROPERTY
ELEVATION = 721.55 (NAVD 1988 DATUM)

DRAINAGE STATEMENT:
TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THE DRAINAGE OF THE SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF THIS SUBDIVISION OR ANY PART THEREOF, OR THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISIONS HAVE BEEN MADE FOR THE COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREAS OR SUCH WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE SUBDIVISION.

DATED THIS 09th DAY OF MAY, 2022



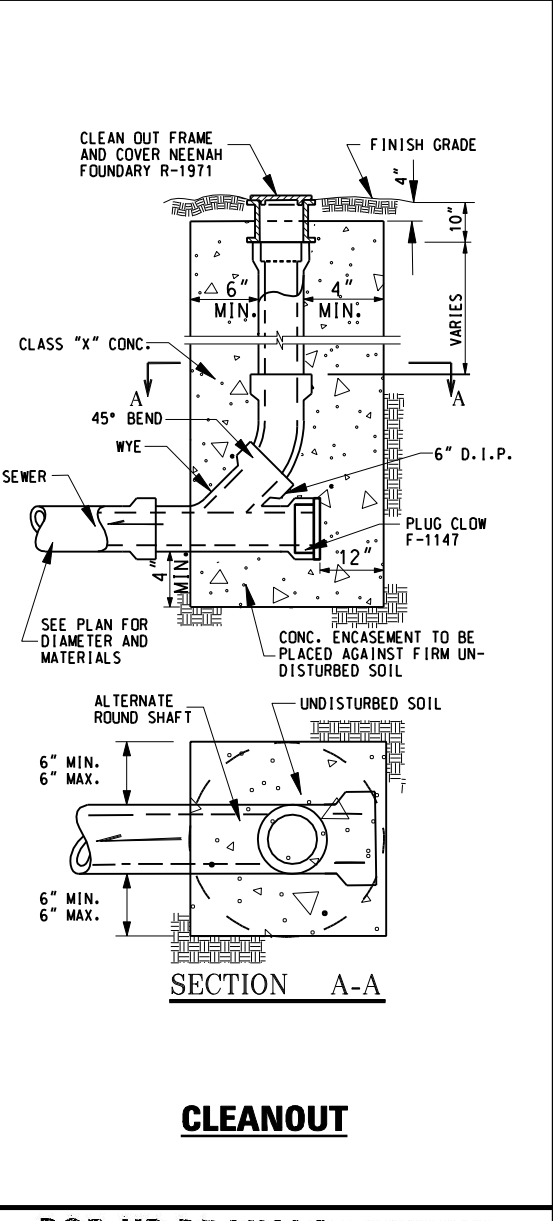
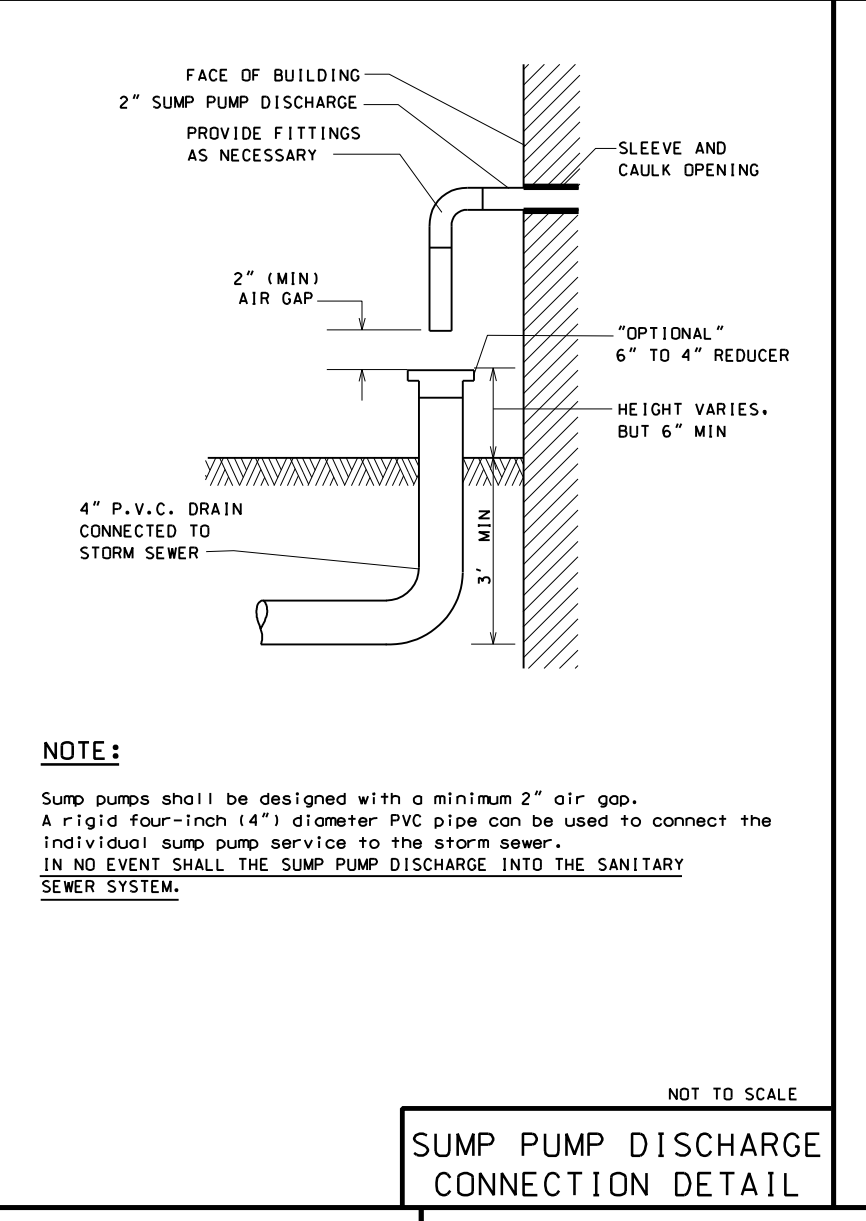
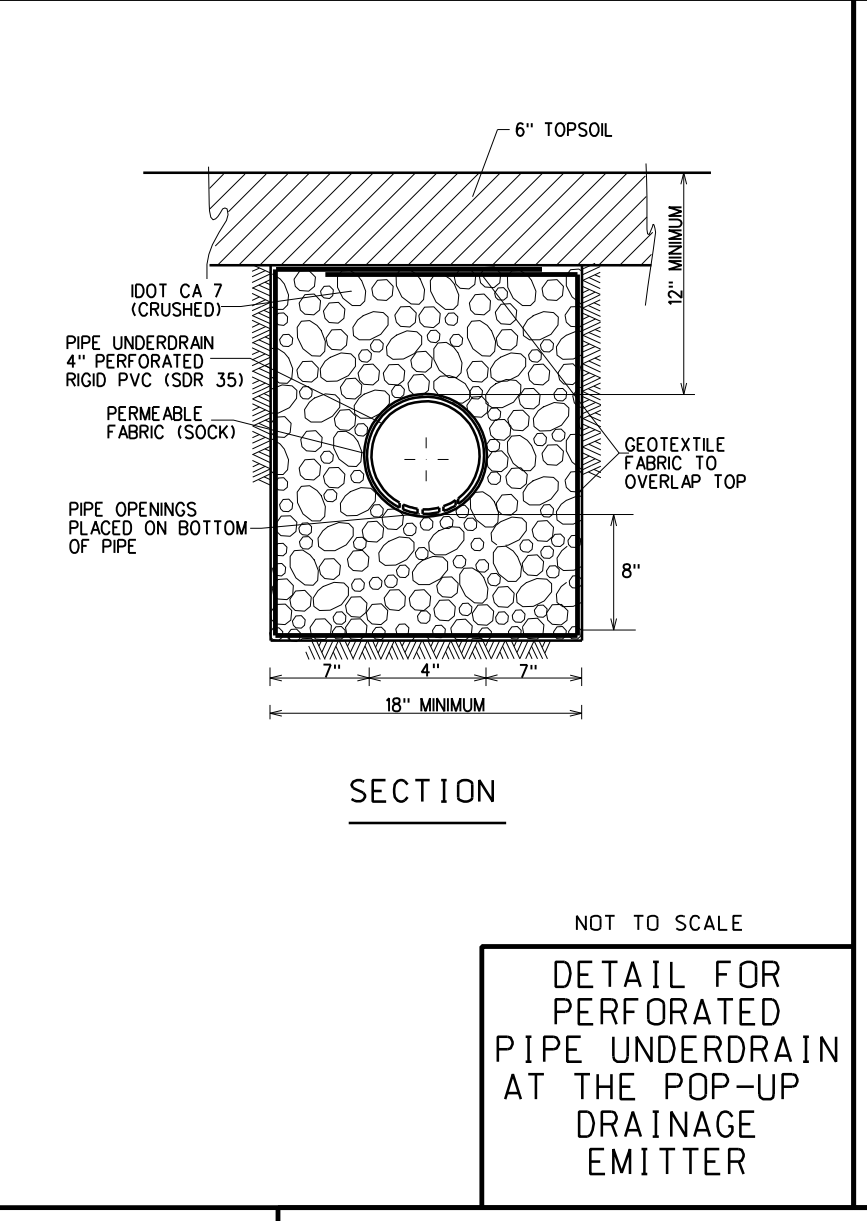
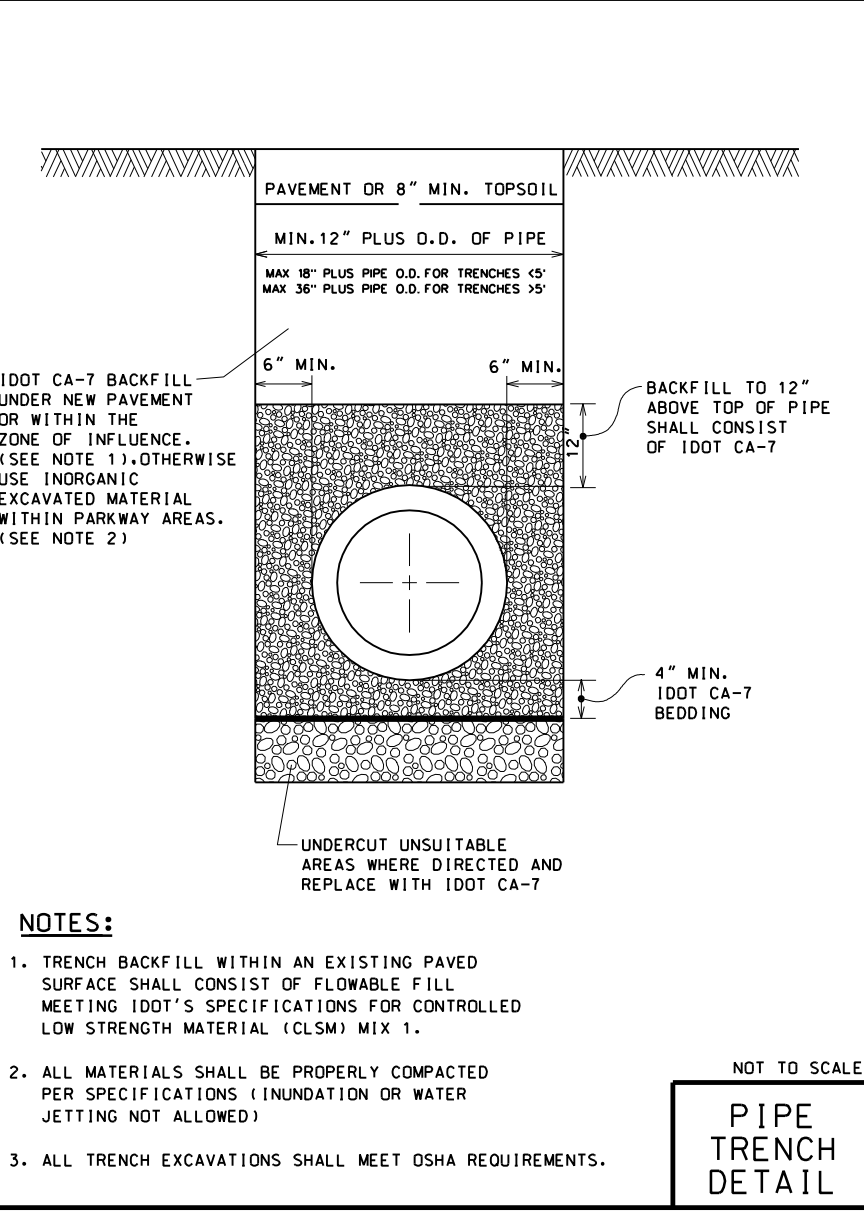
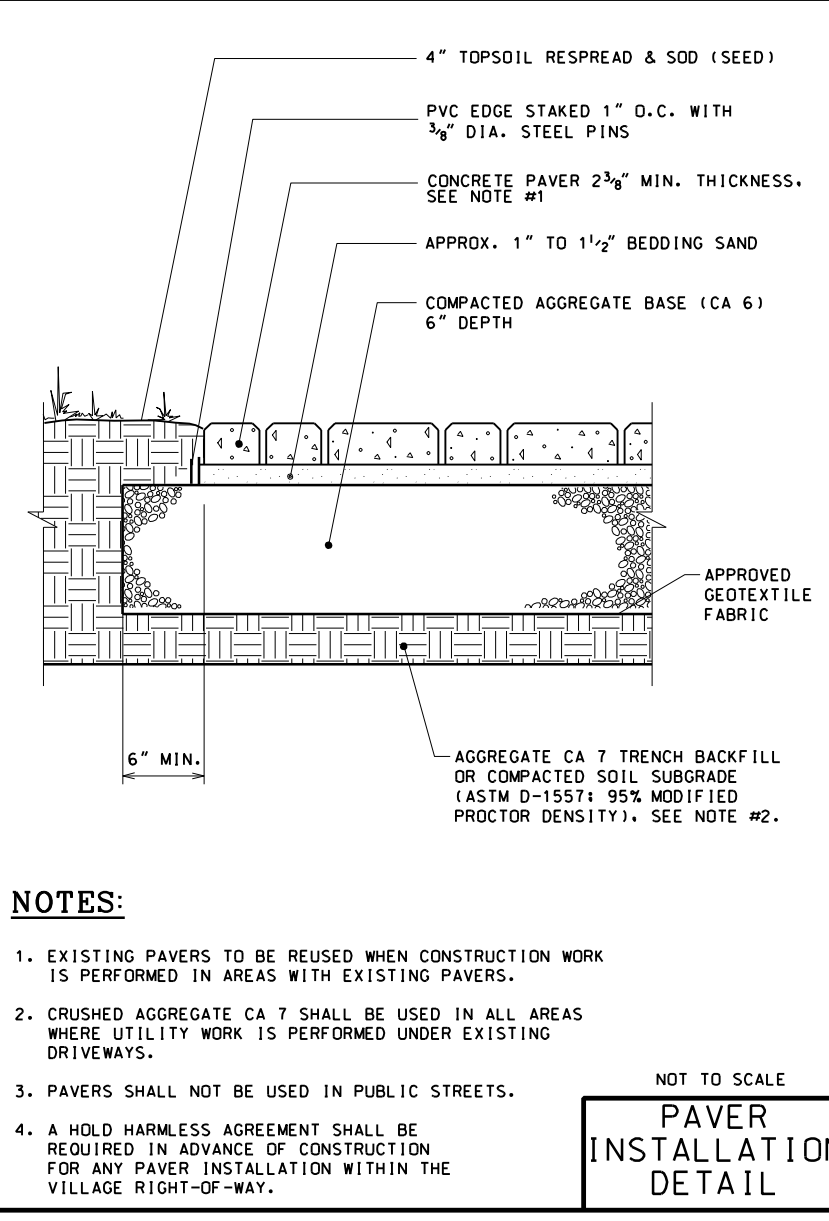
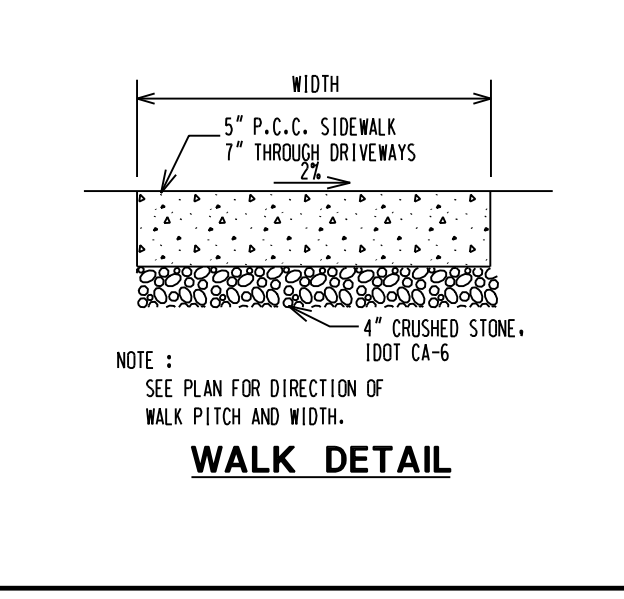
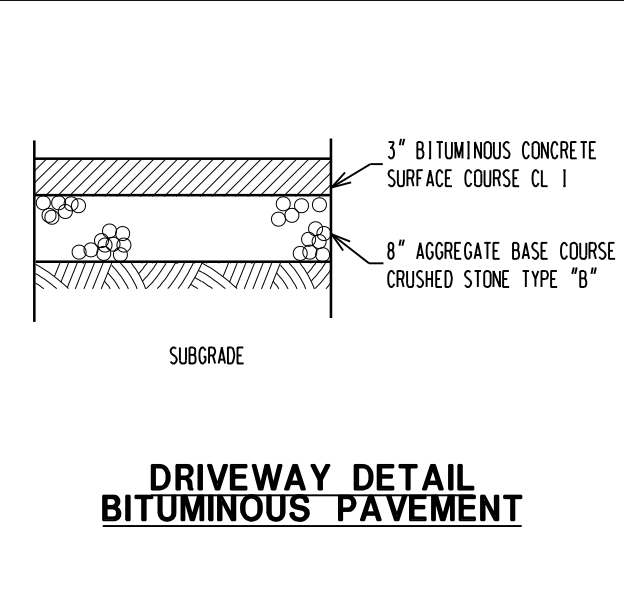
OWNER OR ATTORNEY: *John A. Krzylandowski*
ENGINEER: *John A. Krzylandowski*

DOUBLE M CIVIL ENGINEERING
PHONE: 847-573-9758 | E-mail: morek@doublemcivil.com
14048 W. PETRONELLA DRIVE SUITE # 102 LIBERTYVILLE, ILLINOIS 60048
ENGINEERS PLANNERS SURVEYORS

DATE	BY	REVISION	SCALE	PROJECT NO.	DRAWING NUMBER
05-06-2022	JK		1" = 10'	75122	3 OF 4

GENERAL NOTES AND CONSTRUCTION DETAILS

- ### GENERAL NOTES
- ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION IN ILLINOIS, LATEST EDITION ADOPTED BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION AND STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS AND THE VILLAGE OF LONG GROVE REQUIREMENTS ALL REVISIONS THERE TO, WITH THE "SPECIAL PROVISIONS" AND WITH THESE CONSTRUCTION NOTES AND IN ACCORDANCE WITH LOCAL CODE. IN CASE OF CONFLICT, LOCAL SHALL GOVERN.
 - SANITARY SERVICE SHALL BE 6" PVC SDR-26 @ 2.002 MM.
 - WATER SERVICE SHALL BE 1-1/2" TYPE "K" COPPER.
 - VILLAGE OF LONG GROVE HAS TO BE NOTIFIED AT LEAST 24 HRS IN ADVANCE OF CONNECTION TO EXISTING UTILITIES IN ORDER TO SCHEDULE AN INSPECTION.
 - ALL DOWNSPOUTS SHALL SPLASH ON THE SPLASHBLOCKS OR AS SHOWN.
 - THE CONTRACTOR IS REQUIRED TO MEET ALL SOIL EROSION AND SEDIMENTATION CONTROL REQUIREMENTS AS SET FOR IN IEPA STANDARDS & VILLAGE OF LONG GROVE ORDINANCES.
 - IN THE EASEMENTS AREA CONSTRUCTING SIDEWALK OR LANDSCAPING IS PROHIBITED.
 - DRIVEWAY SHALL BE BITUMINOUS PER DETAIL SHOWN ON THIS SHEET
 - IN ORDER TO PREVENT SOIL EROSION ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE SEED, SODDED OR PLANTED WITHIN THIRTY DAYS AFTER GRADING IS COMPLETED PER VILLAGE OF LONG GROVE REQUIREMENTS (WEATHER PERMITTING)
 - PARKWAYS AREA DISTURBED DURING CONSTRUCTION SHALL BE REPLACED WITH 6" TOPSOIL AND SODDED.
 - NOTIFY ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION FOR THE EXACT LOCATIONS OF THE UTILITIES AND FOR THEIR PROTECTION DURING CONSTRUCTION. IF EXISTING UTILITIES ARE ENCOUNTERED THAT CONFLICT IN LOCATION WITH NEW CONSTRUCTION, NOTIFY THE ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED FOR UNDERGROUND UTILITY LOCATIONS CALL J.U.L.I.E. AT 1-800-892-0123.
 - PRIOR TO COMMENCEMENT OF ANY EARTHWORK ON THIS SITE THE EROSION CONTROL FENCE SHALL BE INSTALLED
 - CONTRACTOR SHALL OBTAIN PERMITS FOR ALL WORKS.
 - TREE PROTECTION FENCE SHALL BE INSTALLED AT DRP LINE OF TREE IN ORDER TO BE EFFECTIVE.
 - ANY FIELD TILES ENCOUNTERED MUST BE REROUTED AND/OR RECONNECTED AND INSPECTED PRIOR TO BACKFILL
 - ALL CONSTRUCTION DEBRIS TO BE REMOVED FROM SITE.
 - NO OPEN CUTTING OF STREET ALLOWED IN VILLAGE OF LONG GROVE
 - CONTRACTOR SHALL BE RESPONSIBLE AT ALL TIMES FOR TRAFFIC CONTROL AND PROTECTION IN ACCORDANCE WITH THE IDOT STANDARD SPECIFICATIONS ADOPTED JANUARY 1, 2002, THE LATEST EDITION OF THE ILLINOIS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, AND THE STANDARD SPECIFICATIONS FOR TRAFFIC CONTROL ITEMS.
 - DESIGN ENGINEER HAS TO VISIT THE SITE AFTER THE COMPLETION OF CONSTRUCTION AND PREPARE AND SUBMIT TO THE VILLAGE AN AS-BUILT PLAN SHOWING THE DRAINAGE AND GRADING FEATURES AS THEY WERE ACTUALLY CONSTRUCTED.



NOTES:

- EXISTING PAVERS TO BE REUSED WHEN CONSTRUCTION WORK IS PERFORMED IN AREAS WITH EXISTING PAVERS.
- CRUSHED AGGREGATE CA 7 SHALL BE USED IN ALL AREAS WHERE UTILITY WORK IS PERFORMED UNDER EXISTING DRIVEWAYS.
- PAVERS SHALL NOT BE USED IN PUBLIC STREETS.
- A HOLD HARMLESS AGREEMENT SHALL BE REQUIRED IN ADVANCE OF CONSTRUCTION FOR ANY PAVEMENT INSTALLATION WITHIN THE VILLAGE RIGHT-OF-WAY.

NOTES:

- TRENCH BACKFILL WITHIN AN EXISTING PAVED SURFACE SHALL CONSIST OF FLOWABLE FILL MEETING IDOT'S SPECIFICATIONS FOR CONTROLLED LOW STRENGTH MATERIAL (CLSM) MIX 1.
- ALL MATERIALS SHALL BE PROPERLY COMPACTED PER SPECIFICATIONS (INUNDATION OR WATER JETTING NOT ALLOWED)
- ALL TRENCH EXCAVATIONS SHALL MEET OSHA REQUIREMENTS.

NOTES:

- BACKFILL TO 12" ABOVE TOP OF PIPE SHALL CONSIST OF IDOT CA-7.
- UNDERCUT UNSUITABLE AREAS WHERE DIRECTED AND REPLACE WITH IDOT CA-7.

NOTE:

Sump pumps shall be designed with a minimum 2" air gap. A rigid four-inch (4") diameter PVC pipe can be used to connect the individual sump pump service to the storm sewer. IN NO EVENT SHALL THE SUMP PUMP DISCHARGE INTO THE SANITARY SEWER SYSTEM.

NOTE:

SEE PLAN FOR DIRECTION OF WALK PITCH AND WIDTH.

NOTE:

USE INCREASINGLY EXCAVATED MATERIAL WITHIN PAVEMENT AREAS. (SEE NOTE #1). OTHERWISE USE INCREASINGLY EXCAVATED MATERIAL WITHIN PAVEMENT AREAS. (SEE NOTE #2).

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NOTE:

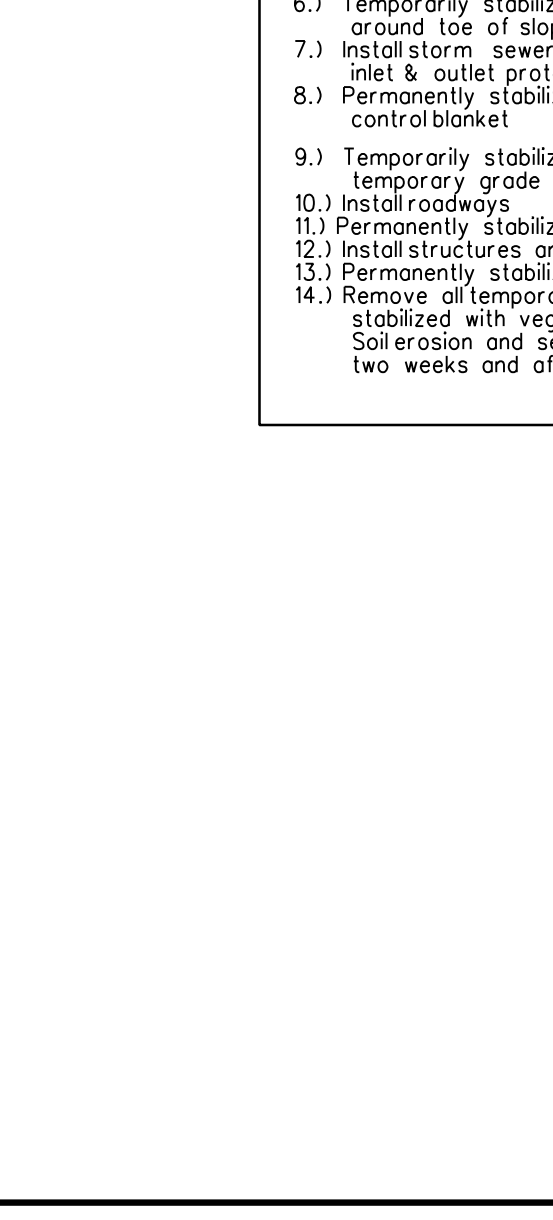
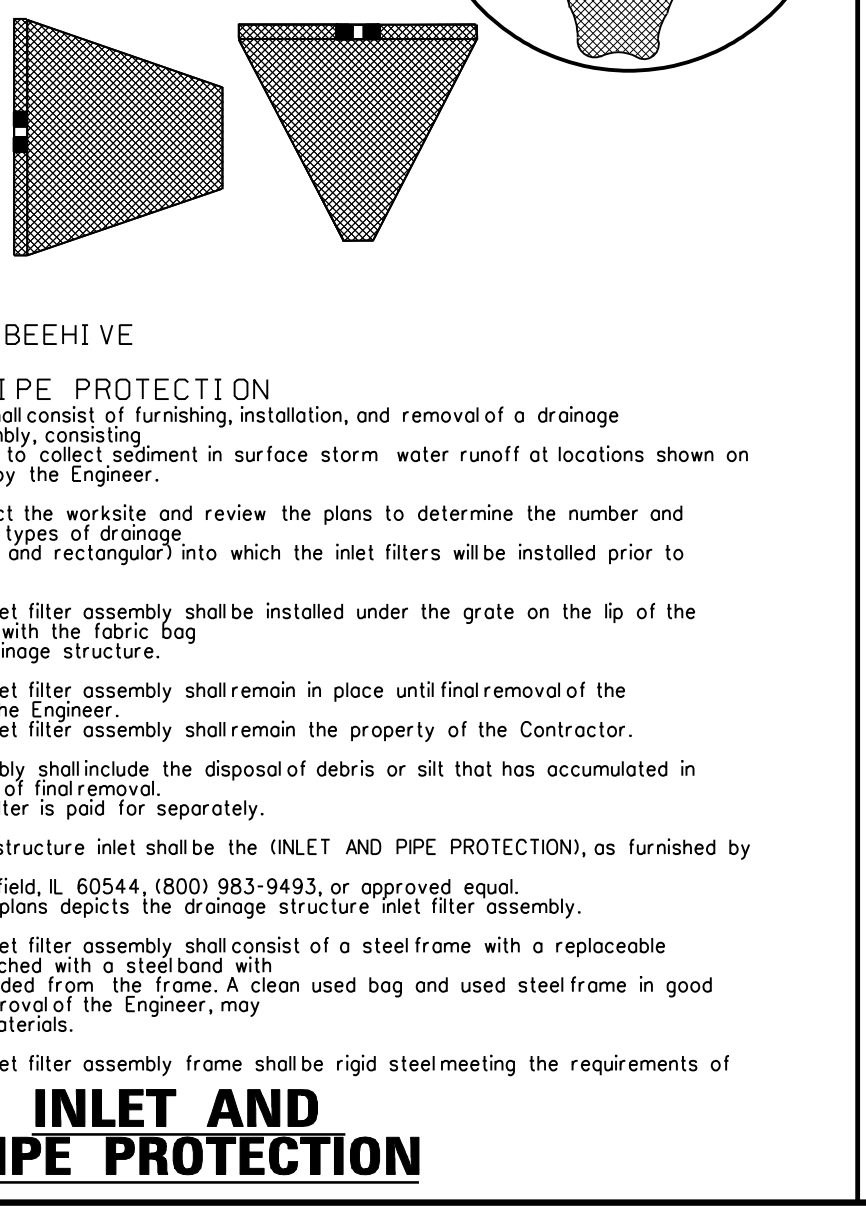
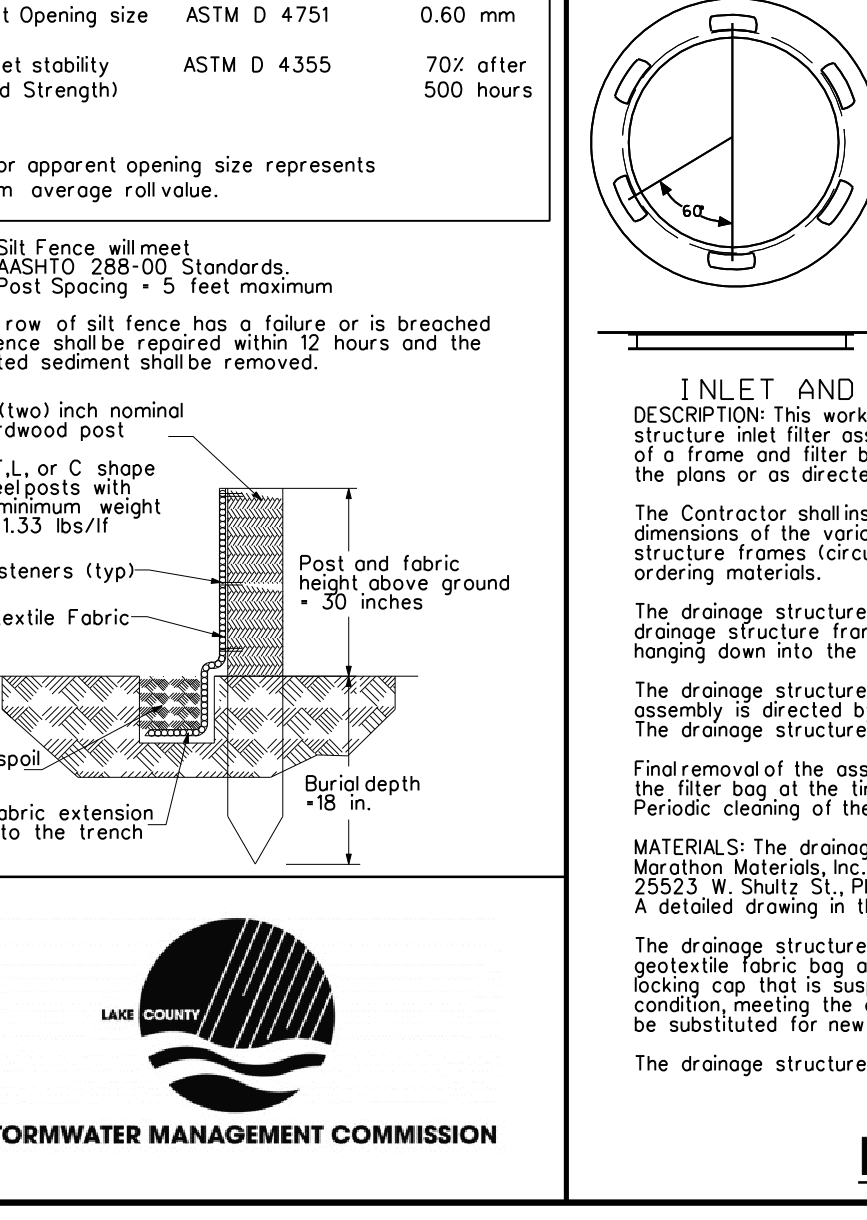
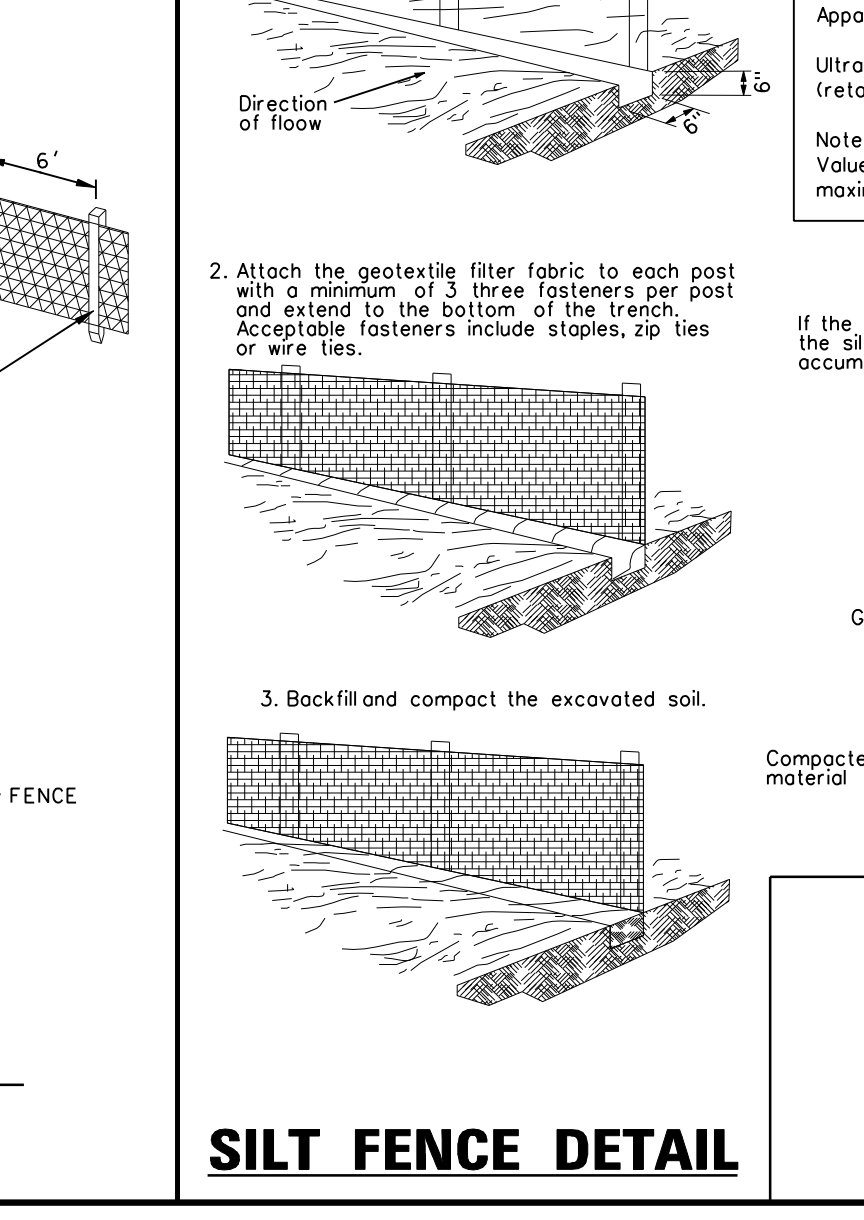
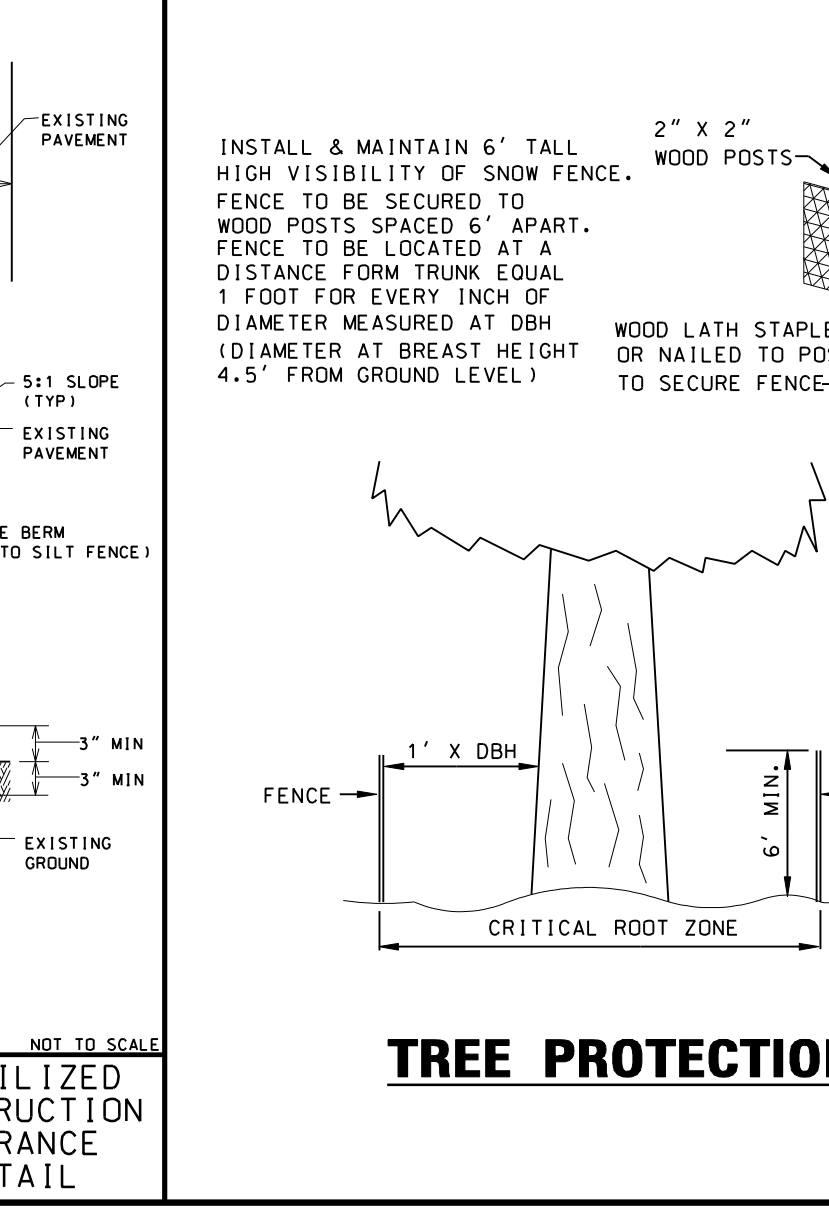
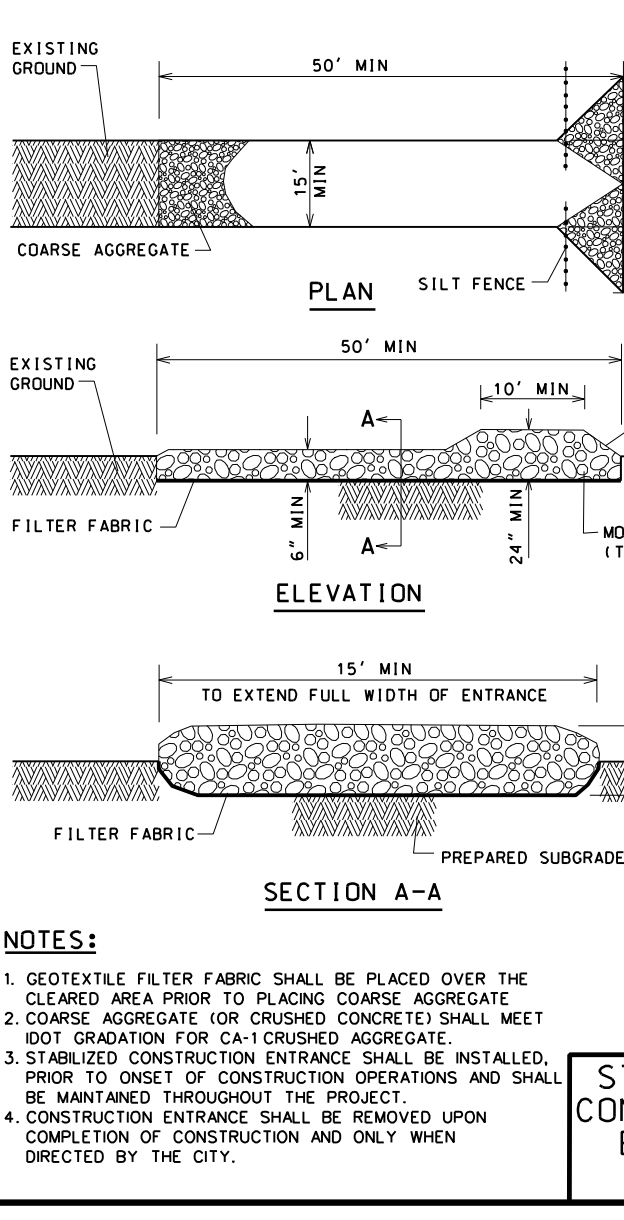
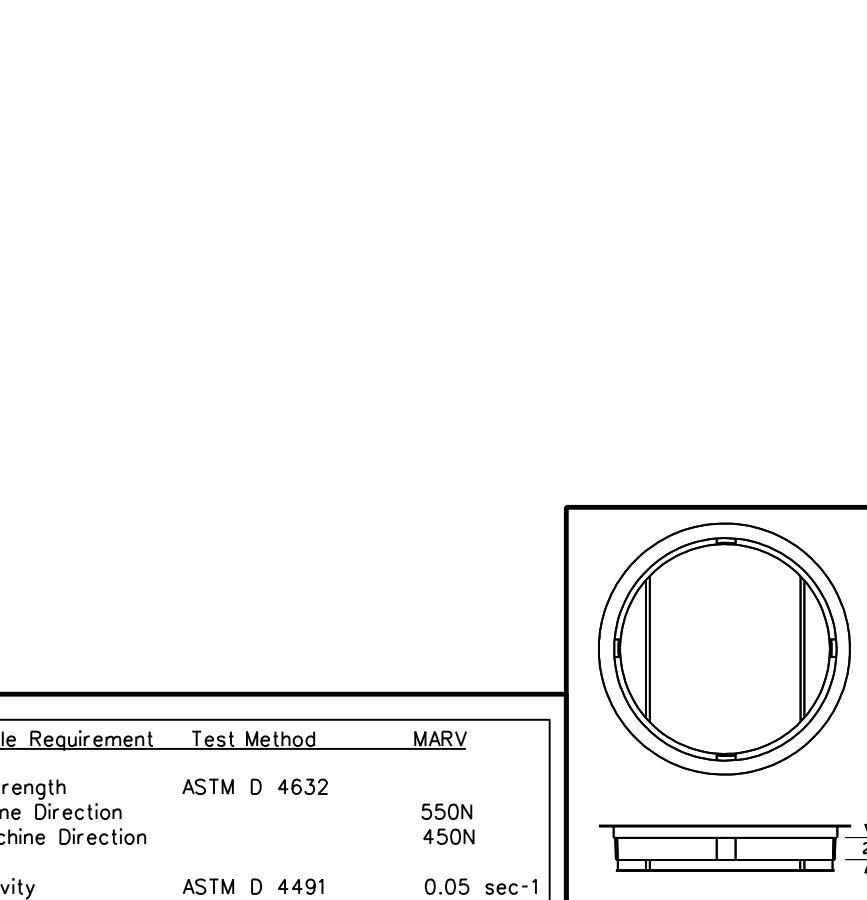
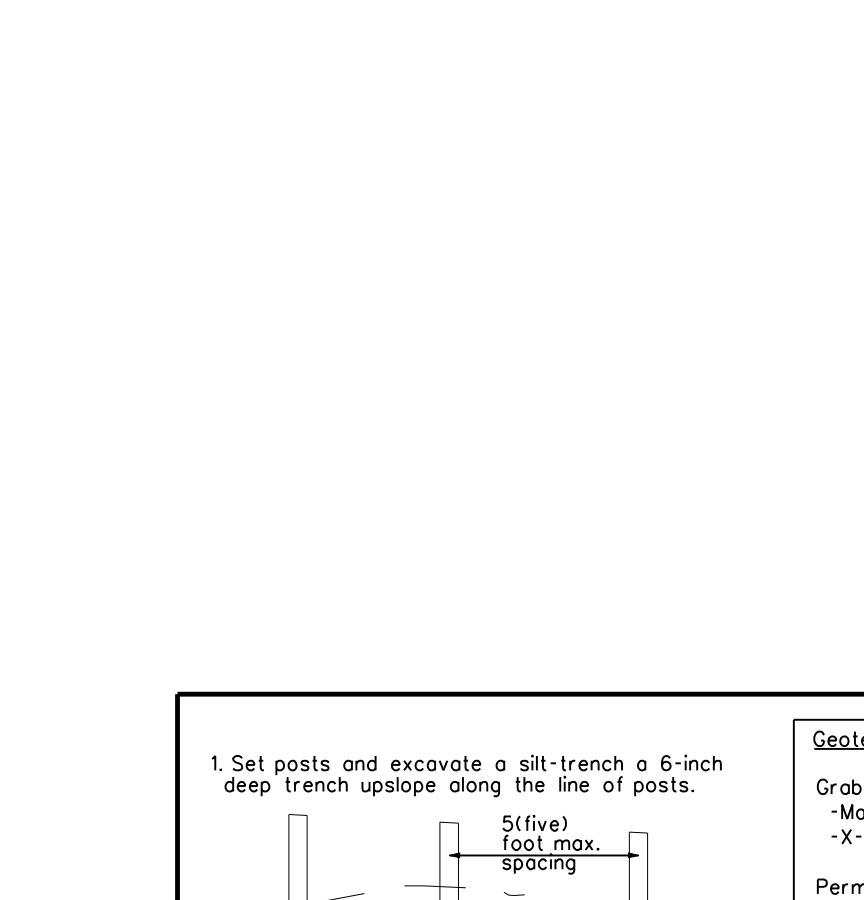
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USE INCREASINGLY EXCAVATED MATERIAL WITHIN PAVEMENT AREAS. (SEE NOTE #1). OTHERWISE USE INCREASINGLY EXCAVATED MATERIAL WITHIN PAVEMENT AREAS. (SEE NOTE #2).



REGISTERED PROFESSIONAL ENGINEER NO. 062-40870

PREPARED FOR:

NEW SINGLE FAMILY RESIDENCE AT 7237 GREYWALL COURT LONG GROVE, ILLINOIS 60060

PHONE (847) 942-2943 (Raza Khan - Owner)

DOUBLE M CIVIL ENGINEERING

PHONE: 847-573-9758 | E-mail: morek@doublemcivil.com

14048 W. PETRONELLA DRIVE SUITE # 102 LIBERTYVILLE, ILLINOIS 60048

ENGINEERS PLANNERS SURVEYORS

DATE	05-06-2022	SCALE	AS SHOWN	PROJECT NO.	75122	DRAWING NUMBER	4 OF 4
DATE	BY	REVISION	DESIGNED	APPROVED	JRK	FILE NO.	1-1-1









List of exterior material for new resident,
Please see sample attachments.

Natural stone- Found du lac.

Fiber cement board siding, soffit and fascia,
Color, Navajo beige.

Stucco, 404 Barn swallow.

Heavy Cedar shingle, natural color.

Regular concrete driveway.



413 MORNING MOON



412 BISON BEIGE



411 OAK FLATS



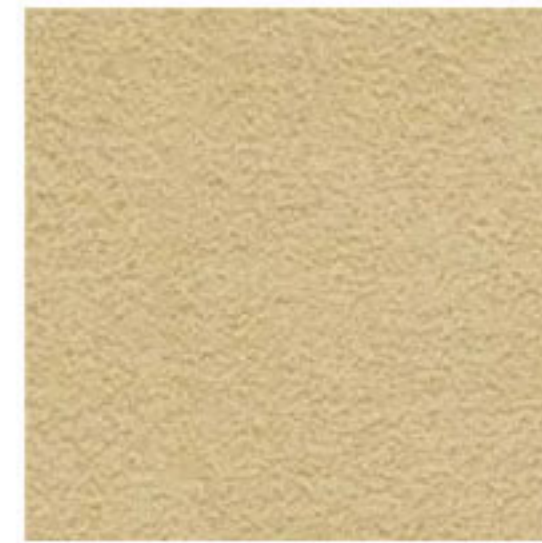
409 TOFFEE CRUNCH



408 PLANTATION BEIGE



407 CORNICO BEIGE



405 SURREY BEIGE



404 BARN SWALLOW



403 BAKED POTATO



400 TAVERN TAUPE



237 ROCK GREEN



236 ANTIQUE GREEN



233 CHIMAYO



232 SONOMA



221 HARVEST GOLD



69 TRUE GRAY





Save

Color > Exterior > Exterior House Color > Exterior Paint Color



Michelle Paul

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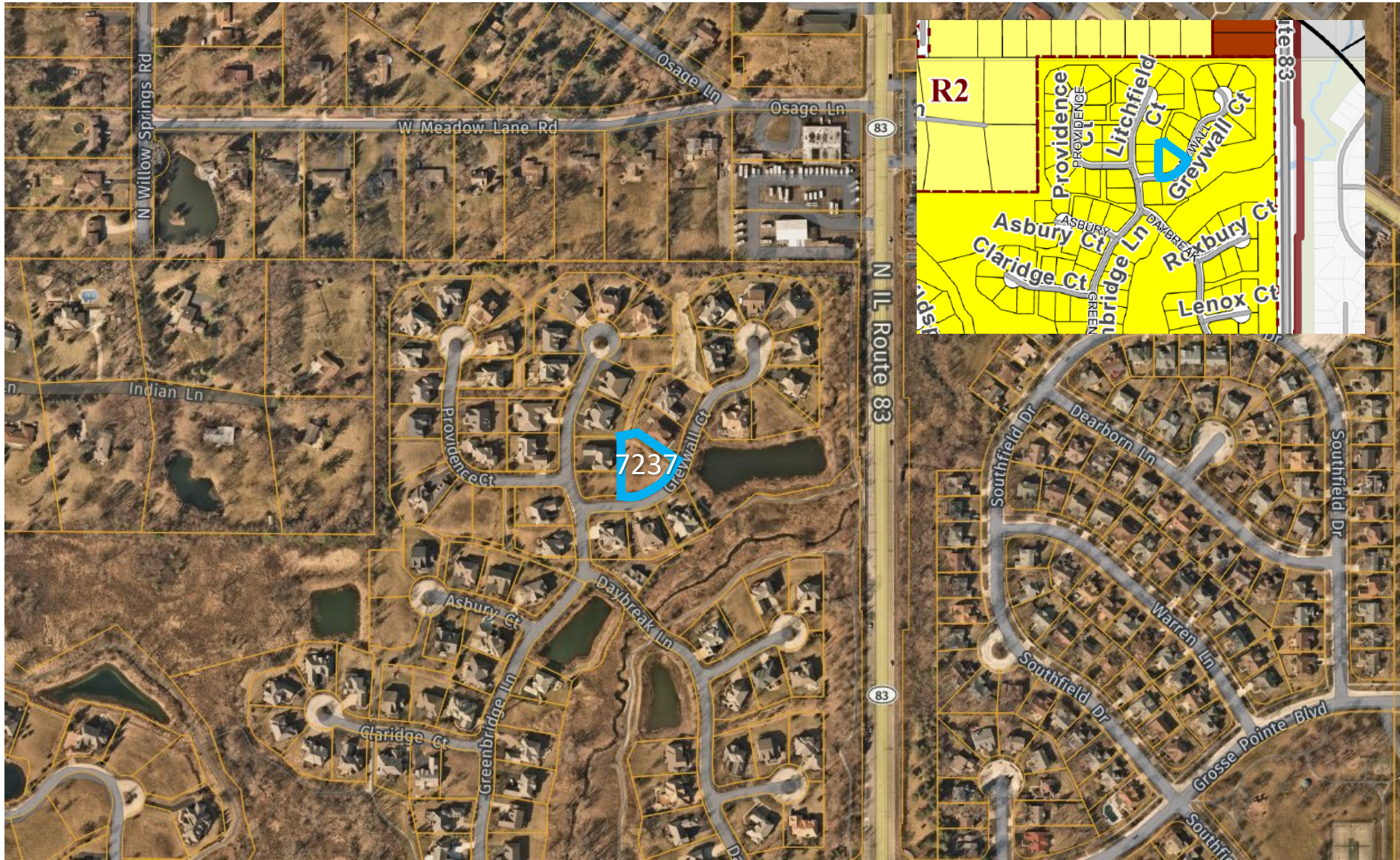


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Fond du Lac Stone Ridge - Illini B...
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 Subject Property

Location Map: 7237 Greywall Court, Long Grove, IL



RESIDENTIAL REGULATIONS (Section 5-3-11):

The following are excerpts of applicable portions of the Village Sign Ordinance.

- (A) *Purpose.* The intent of this section is to ensure sufficient variety in detached single-family dwellings to prevent monotony, and to foster the quality and character of residential construction traditionally found in the Village. At the same time, these regulations are designed to provide freedom for homeowners to design detached single-family dwellings that meet their needs and choices and to encourage creativity.
- (B) *Mandatory Criteria.* The following criteria shall apply to all new detached single-family dwelling construction:
1. *Similarity Regulated.* No detached single-family dwelling may be similar to any other detached single-family dwelling along a street or cul-de-sac, or within 1,500 feet (as measured from lot line to lot line), whichever is more restrictive.
 2. *Window, Door, and Trim.* Each detached single-family dwelling shall have similar style and quality window, door, trim, and decorative moldings on all exterior building elevations of the detached single-family dwelling.
 3. *Building Materials.* Identical or substantially similar siding materials or veneers shall be used on all exterior sides of the detached single-family dwelling. This does not prohibit the use of veneers or changes of materials on a facade where, for example, materials might change at the second floor or at a windowsill height. Where a wing or projection of the building is offset, the wing or projection may use different materials to give it emphasis, provided the materials are applied to the entire wing or projection.
 4. *Roof Overhangs.* An important element of design is the shadow lines that are created by roofs and help articulate the building. Any detached single-family dwelling having a pitched roof shall have eaves that extend a sufficient distance to create shadow lines. A variety of overhangs is desired. The following standards shall apply:
 - (a) *Variety.* Within a subdivision or planned unit development, the detached single-family dwellings shall have a variety of different roof overhang profiles.
 - (b) *Extension.* The overhang of a detached single-family dwelling, not including gutters, shall extend at least eight inches beyond the plane of the wall.
 - (c) *Exception.* The minimum overhang shall not apply to any individual detached single-family dwelling built in a historical style where overhangs were not part of the style (Cape Cod, for example) or in a unique individual design. The architectural board shall review the architectural plans for such dwellings.
 5. *Garage Placement and Orientation.* Within a particular subdivision or planned unit development, no more than 25 percent of garages may be front loads located at the front of the detached single-family dwelling. The following are preferred alternatives to front load garages, which alternatives are illustrated on appendix 1 on file in the village:
 - (a) Side load garages.
 - (b) Side loading front garages. These are garages located in wings in front of the principal facade or entrance facade.
 - (c) Recessed front loading garages. Where the two-car garage is in a wing that is recessed 20 feet or more behind the front elevation, it shall not be considered a front-loaded garage.
 - (d) Rear garages. These are either freestanding or attached garages that are located to the rear and that have the view from the street screened by a wing of the building.

- (C) *Multiple Dwellings.* An owner who builds more than one detached single-family dwelling must utilize four or more of the following techniques to avoid monotony and ensure quality:
1. *Roof Heights.* Utilize dissimilar roof heights. One or a combination of the following shall be used to achieve the desired effect:
 - (a) Vary the number of stories on adjoining lots.
 - (b) Vary the roof pitches on otherwise similar detached single-family dwellings.
 - (c) Vary the roofline height on the individual detached single-family dwelling. The number of stories can be varied on the dwelling. Where the width of the dwelling is changed, the roof can be stepped down even though the stories remain similar. Wings should be of different heights based on different stories or widths.
 2. *Roof Orientation.* Vary roof orientation so that the gable ends are oriented in a different direction than an otherwise similar detached single-family dwelling.
 3. *Floor Plans.* Utilize different floor plans with distinctive shapes, such as wings or elements that sharply contrast with adjoining dwellings or significant (at least 20 percent) changes in width of the central dwelling. Repetitive use of a similar form and floor plans having similar masses on different models is not permitted. A wing must protrude from the front of the building a minimum of eight feet to be considered a wing.
 4. *Placement on Lots.* Vary the location of the detached single-family dwellings in relation to the required front and side yard setbacks.
 5. *Rotation or Flipping.* Rotate the floor plan by 90 degrees or utilize a 180-degree flip combined with major differences in the plane of the front elevation.
 6. *Lot Frontage and Size.* Utilize significant variation in the width of detached single-family dwellings which results in clearly different modules of windows and doors.
 7. *Architectural Style.* Utilize different architectural styles for similar floor plans, which employ all the elements of a given style and are applied consistently throughout the dwelling.
 8. *Architectural Details and Features.* Utilize different details for the chimney, entrance, garage design, dormers, porches, and building materials to significantly alter the appearance of a detached single-family dwelling to make it visually very different.
- (D) *Individual Review.* The owner shall submit a separate plan for each detached single-family dwelling to the Building Superintendent for individual review and approval prior to issuance of a building permit. Applications shall include photos of the facades of the buildings or architectural elevations of existing dwellings along the same street or cul-de-sac or within 1,500 feet of the lot line of the proposed lot, whichever is more restrictive. The Building Superintendent may, when he deems it necessary to ensure compliance with this section, refer any such application to the Architectural Board for review and comments.
- (E) *Appeals.*
1. If the Building Superintendent denies an application, the owner can appeal that decision to the Architectural Board within ten days of the denial by filing a written notice of appeal with the Village Clerk. The Architectural Board may affirm, modify, or reverse the decision of the Building Superintendent.
 2. The owner can appeal a decision of the Architectural Board to the Village Board within ten days of the denial by filing a written notice of appeal with the Village Clerk. The Village Board may affirm, modify, or reverse the decision of the Architectural Board.

3. Any appeal under this subsection (E) shall be reviewed in light of the criteria in subsections (B) and (C) of this section and the purposes in subsection (A) of this section.
- (F) *Responsibility.* It is the responsibility of the owner to establish to the satisfaction of the Village that the application fully complies with the provisions of this section.
- (G) *Deviations.* for good cause shown, the Village Board may approve deviations from strict conformity with this section when the owner establishes to the satisfaction of the Village Board that any such deviations are reasonably necessary and are not contrary to the purpose and intent of this section.

CHAPTER 20
ARCHITECTURAL CONTROL

SECTION:

5-20-1: Prohibition, Criteria

5-20-1: **PROHIBITION, CRITERIA:** No building permits shall be issued for any new building or for remodeling or alteration of an existing building which if erected, remodeled or altered would produce one or more of the harmful effects set forth in section 2-3-1 of this code. In considering whether the erection, remodeling or alteration of a building, awning, sign, fence or other structure will produce one or more of the harmful effects set forth in section 2-3-1 of this code, the architectural board shall consider whether there exists one or more of the following:

- (A) Excessive similarity or dissimilarity in design in relation to any other structure existing or for which a permit has been issued within a distance of one thousand feet (1,000') of the proposed site or in design generally prevailing in the area in respect to one or more of the following features:
1. Apparently identical facade;
 2. Substantially identical size and arrangement of either doors, windows, porticoes or other openings or breaks in the facade facing the street, including a reverse arrangement thereof;
 3. Cubical contents;
 4. Gross floor area;
 5. Other significant design features, such as, but not limited to, roofline, height of building, construction or quality of architectural design; or

5-20-1

5-20-1

6. Location and elevation of building upon the site in relation to contiguous properties.

- (B) Inappropriateness in relation to any other property in same or any adjoining district of design, landscaping, building materials, and use thereof, orientation to site, or placement of parking, storage or refuse areas. (Ord. 98-O-14, 5-26-1998)

CHAPTER 22

ANTIMONOTONY STANDARDS

SECTION:

- 5-22-1: Purpose
- 5-22-2: Mandatory Criteria
- 5-22-3: Multiple Homes
- 5-22-4: Individual Review
- 5-22-5: Appeals
- 5-22-6: Responsibility
- 5-22-7: Deviations

5-22-1: **PURPOSE:** The intent of this chapter is to ensure sufficient variety in residential homes to prevent monotony and to foster the quality and character of residential construction traditionally found in the village. At the same time, these regulations are designed to provide freedom for homeowners to design homes that meet their needs and choices and to encourage creativity. (Ord. 2002-O-6, 2-12-2002)

5-22-2: **MANDATORY CRITERIA:** The following criteria shall apply to all new single-family residence construction:

- (A) **Similarity Regulated:** No home may be similar to any other home along a street or cul-de-sac, or within one thousand five hundred feet (1,500') (as measured from property line to property line), whichever is more restrictive.
- (B) **Window, Door, And Trim:** The home shall have similar style and quality window, door, trim, and decorative moldings on all exterior building elevations of the home.
- (C) **Building Materials:** Identical or substantially similar siding materials or veneers shall be used on all exterior sides of the home. This does not prohibit the use of veneers or changes of materials on a facade where, for example, materials might change at the second floor or at

a windowsill height. Where a wing or projection of the building is offset, the wing or projection may use different materials to give it emphasis, provided the materials are applied to the entire wing or projection.

(D) **Roof Overhangs:** An important element of design is the shadow lines which are created by roofs and help articulate the building. All homes having pitched roofs shall have eaves that extend a sufficient distance to create shadow lines. A variety of overhangs is desired. The following standards shall apply:

1. **Variety:** The subdivision or planned unit development as a whole shall have a variety of different roof overhang profiles.

2. **Extension:** The overhang, not including gutters, shall extend at least eight inches (8") beyond the plane of the wall.

3. **Exception:** The minimum overhang shall not apply for individual homes built in an historical style where overhangs were not part of the style (Cape Cod, for example) or in a unique individual design. The architectural board shall review the architectural plans for such buildings.

(E) **Garage Placement And Orientation:** Within a particular subdivision or planned unit development, no more than twenty five percent (25%) of garages may be front loads located at the front of the house. The following are preferred alternatives to front load garages:

1. Side load garages.

2. Side loading front garages. These are garages located in wings in front of the principal facade or entrance facade.

3. Recessed front loading garages. Where the two (2) car garage is in a wing that is recessed twenty feet (20') or more behind the front elevation, it shall not be considered a front loaded garage.

4. Rear garages. These are either freestanding or attached garages that are located to the rear and that have the view from the street screened by a wing of the building. (Ord. 2002-O-6, 2-12-2002)

5-22-3: **MULTIPLE HOMES:** Applicants who build more than one home within a subdivision or planned unit development must

utilize four (4) or more of the following techniques to avoid monotony and ensure quality:

- (A) **Roof Heights:** Utilize dissimilar roof heights. One or a combination of the following shall be used to achieve the desired effect:
1. Vary the number of stories on adjoining lots.
 2. Vary the roof pitches on otherwise similar homes.
 3. Vary the roofline height on the individual house. The number of stories can be varied on the dwelling. Where the width of the home is changed, the roof can be stepped down even though the stories remain similar. Wings should be of different heights based on different stories or widths.
- (B) **Roof Orientation:** Vary roof orientation so that the gable ends are oriented in a different direction than an otherwise similar home.
- (C) **Floor Plans:** Utilize different floor plans with distinctive shapes, such as wings or elements that sharply contrast with adjoining units or significant (at least 20 percent) changes in width of the central building. Repetitive use of a similar form and floor plans having similar masses on different models is not permitted. A wing must protrude a minimum of eight feet (8') to be considered a wing.
- (D) **Placement On Lots:** Vary the location of the homes in relation to the required front and side yard setbacks.
- (E) **Rotation Or Flipping:** Rotate the floor plan by ninety degrees (90°) or utilize a one hundred eighty degree (180°) flip combined with major differences in the plane of the front elevation.
- (F) **Lot Frontage And Size:** Utilize significant variation in the width of homes which results in clearly different modules of windows and doors.
- (G) **Architectural Style:** Utilize different architectural styles for similar floor plans, which employ all the elements of a given style and are applied consistently throughout the home.
- (H) **Architectural Details And Features:** Utilize different details for the chimney, entrance, garage design, dormers, porches, and building materials to significantly alter the appearance of a home to make it visually very different. (Ord. 2002-O-6, 2-12-2002)

5-22-4: INDIVIDUAL REVIEW: The applicant shall submit a separate plan for each home to the village superintendent for individual review and approval prior to issuance of a building permit. Applications shall include photos of the facades of the buildings or architectural elevations of existing homes along the same street or cul-de-sac or within one thousand five hundred feet (1,500') of the property line of the proposed homesite, whichever is more restrictive. The village superintendent may, when he deems it necessary to ensure compliance with this chapter, refer any such application to the architectural board for review and comments. (Ord. 2002-O-6, 2-12-2002)

5-22-5: APPEALS:

- (A) If the village superintendent denies an application, the applicant can appeal that decision to the architectural board within ten (10) days of the denial by filing a written notice of appeal with the village clerk. The architectural board may affirm, modify, or reverse the decision of the village superintendent.
- (B) The applicant can appeal a decision of the architectural board to the village board within ten (10) days of the denial by filing a written notice of appeal with the village clerk. The village board may affirm, modify, or reverse the decision of the architectural board. (Ord. 2002-O-6, 2-12-2002)

5-22-6: RESPONSIBILITY: It is the responsibility of the applicant to establish to the satisfaction of the village that the application fully complies with the provisions of this chapter. (Ord. 2002-O-6, 2-12-2002)

5-22-7: DEVIATIONS: For good cause shown, the village board may approve deviations from strict conformity with this chapter when the applicant establishes to the satisfaction of the village board that any such deviations are reasonably necessary and are not contrary to the purpose and intent of this chapter. (Ord. 2002-O-6, 2-12-2002)

ITEM #2


New Perspective - Sign

2300 IL Route 53



ARCHITECTURAL COMMISSION STAFF REPORT

To: Jeanne Sylvester, Chair
Architectural Commission Members

From: Jessica Marvin, Community Development Services 

Subject: New Perspective – 2300 IL Route 53

Requests: Install a New Sign Face on an Existing Ground Monument Sign

Public Meeting Date: July 18, 2022

Attachments: 1. Location Map
2. Petitioner's Application
3. Site Plan

PETITIONER Shannon Jones (Executive Director)
2300 IL Route 53
Long Grove, 60047

REQUEST

Review of design of a new sign face on an existing ground monument sign wall located at 2300 IL Route 53.

HISTORY

New Perspective Long Grove, assisted living facility, is located at 2300 IL Route 53. They are requesting to install a new sign face on an existing ground monument sign for this location, which was formerly occupied by "Arboria of Long Grove". This property is located within the R-2 Residential Zoning District. The past tenant of the tenant space, "Arboria of Long Grove," had installed a ground mounted sign that was externally illuminated with a ground light fixture along IL Route 53 at the same location of the new proposed sign face. This sign face has already been installed without the applicant apply for a building permit nor going through AC process.

PROPOSED PROJECT

The petitioner is requesting an internally illuminated, channel letter sign to be affixed to the front façade along IL Route 83.

- Sign Details:
 - Size: 83" x 43 ½"
 - Total square footage: 25.1 SF
 - Materials: Full color digital print on aluminum composite substrate (MaxMetal)

- Illuminated: Yes, with one exterior ground light fixture
- Number of Signs: 1

The square footage of the tenant space is approximately 71,621 square feet. For retail spaces containing 5,001 sq. ft. or greater of floor area, up to 50 square feet of signage is permitted pursuant to the Village Zoning Code. At 25.1 square feet, the proposed sign is compliant with this requirement.

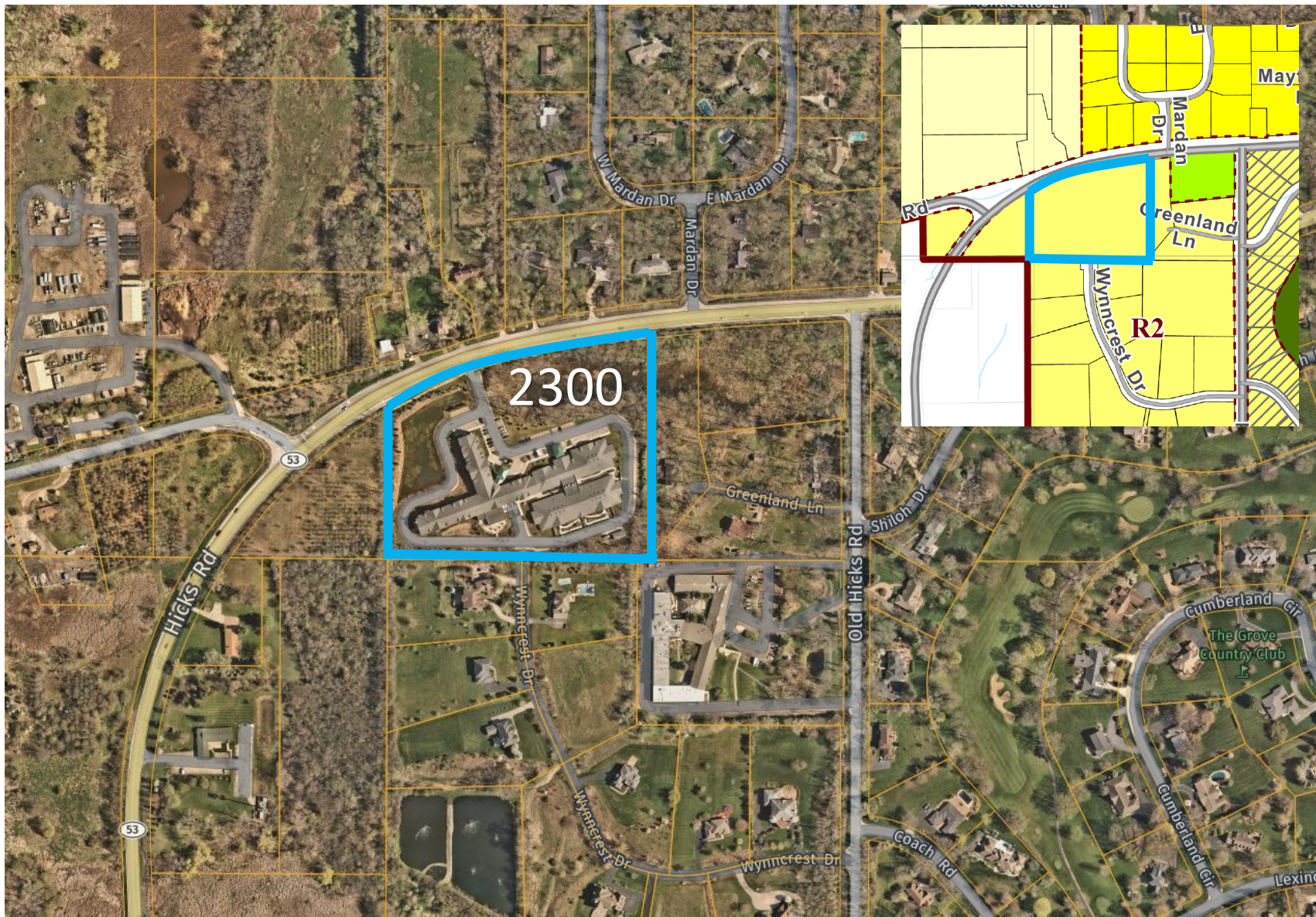
ARCHITECTURAL COMMISSION DECISION

The AC should review the request for signage against the aforementioned regulations and render a determination based upon those criteria as well as the appropriateness of the signage at this location in relation to other signage in the area in general.

STAFF RECOMMENDATION

The property is located at 2300 IL Route 53 and within the R-2 Residential Zoning District. The proposed new sign face is simple and to be professionally constructed by Surely Signs in Mundelein, Illinois. The design is clean with a modern font and fits well within this zoning district. Based upon the total square footage of the leasable space, the request is within the square footage limitation for signage at this location.

JNM/JLM/AO



 Subject Property

Location Map:
2300 IL Route 53, Long Grove, IL



VILLAGE OF LONG GROVE BUILDING PERMIT APPLICATION
CONTRACTOR INFORMATION

Project address: _____

Provide full and complete information for all contractors; indicate if contractor is To-Be-Determined.
Please print clearly.

T.B.D. **GENERAL CONTRACTOR Company Name:** To be determined

Address: _____ City, State, Zip: _____

Office Phone #: _____ Cell Phone #: _____

Contact Person's Name: _____

Email Address: _____

Check here if no architect on this project
ARCHITECT Name: To be determined

Address: _____ City, State, Zip: _____

Office Phone #: _____ Cell Phone #: _____

Email Address: _____

T.B.D. Check here if no electrical included in this project
ELECTRICAL CONTRACTOR Company Name: To be determined

Address: _____ City, State, Zip: _____

Office Phone #: _____ Cell Phone #: _____

Contact Person's Name: _____

Email Address: _____ *Please include photocopy of elec license.*

T.B.D. Check here if no HVAC included in this project
MECHANICAL /HVAC CONTRACTOR Company Name: Bredan Mechanical Systems INC

Address: 525 Progress Ave City, State, Zip: Waukesha, WI, 53186

Office Phone #: (262) 521-9919 Cell Phone #: _____

Contact Person's Name: Larry Pierce

Email Address: N/A

T.B.D. Check here if no plumbing included in this project
PLUMBING CONTRACTOR Company Name: To be determined

Address: _____ City, State, Zip: _____

Office Phone #: _____ Cell Phone #: _____

Contact Person's Name: _____

Email Address: _____ *Please include photocopies of #055 and #055 licenses, and Letter of Intent.*

T.B.D. Check here if no roofing included in this project
ROOFING CONTRACTOR Company Name: To be determined

Address: _____ City, State, Zip: _____

Office Phone #: _____ Cell Phone #: _____

Contact Person's Name: _____

Email Address: _____ *Please include photocopies of Illinois license and photo I.D.*

N/A *i.e. excavator, mason, separate sewer/water plumber*
OTHER CONTRACTOR Company Name: _____

This contractor is responsible for: _____

Address: _____ City, State, Zip: _____

Office Phone #: _____ Cell Phone #: _____

Contact Person's Name: _____

Email Address: _____

VILLAGE OF LONG GROVE BUILDING PERMIT APPLICATION APPLICANT'S SIGNATURE PAGE

No one shall work on a project until after a permit has been issued. Starting work without a permit will result in a fine and will cause the cost of the permit to be double the normal permit amount. After your permit has been issued, please post the permit card in a prominent place on the premises, visible from the road or driveway. The Village-approved permit plans need to be on the job site and available to the inspectors at every inspection.

VILLAGE CODES

(Effective 6/1/2015) Code amendments and local ordinances are available online at www.longgroveil.gov or at the Village office.

- 2015 International Building Code
- 2015 Int'l Residential Code
- 2015 Int'l Mechanical Code
- 2014 National Electrical Code
- 2014 Illinois State Plumbing Code
- 2015 Int'l Fire Code
- 2015 Int'l Fuel Gas Code
- 2015 Int'l Existing Building Code
- Illinois Accessibility Code (New, 10/23/18)
- 2015 Int'l Property Maintenance Code
- 2015 Int'l Wildland - Urban Interface Code
- 2015 Int'l Swimming Pool and Spa Code
- 2018 Int'l Energy Conservation Code (per IL, 7/1/19)

Please refer to your Village-approved permit plans for a list of required building inspections.

**SCHEDULE
BUILDING INSPECTIONS
ONLINE**

at www.longgroveil.gov/building
Click on "Schedule a Building Inspection"

Inspections are performed Monday-Friday mornings only (8:00a.m.-12:00p.m.)

Next-day inspection requests must be submitted before 12:00p.m. on the preceding business day.

Questions? Call (847) 634-9440.

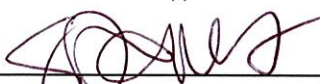
YOUR COOPERATION WILL HELP TO PREVENT DELAYS OR STOPPAGE OF CONSTRUCTION

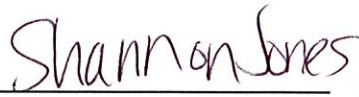
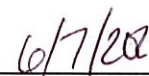
In consideration of this application and attached forms being made a part thereof, and the issuance of permits, I/we will conform to the regulations set forth in the Long Grove Village Code and any other applicable regulations. I/we also agree that all work performed under said permit will be accordance with the plans and plot diagram which accompanies this application, except for such changes as may be authorized by the building official, and that I/we will use the building only for the purpose as stated in this application.

I/we further state that I/we make this application in order to induce the Department of Building and Zoning of the Village of Long Grove, Illinois to issue its official permit for the uses stated herein.

I/we being duly sworn my/our oath have reviewed the permit application and state that all items completed are accurate and correct. I/ we hereby acknowledge that it is unlawful to occupy a residence without a Certificate of Occupancy. One will not be issued until the structure conforms to all applicable ordinances and unless and until the project is serviced by an approved septic or sanitary sewer where applicable and required, I/we further acknowledge that this permit application will become null and void if the proper inspection schedule is not followed by our contractors and subcontractors. I/we understand that extra inspections, re-inspections, reviews of revisions, red tags, and any violations of the building code may result in additional fees for which I/we will be responsible.

I have read this application and fully understand the intent:

X 
Signature of Property Owner Authorized Agent for the Owner

 
Printed Name Date

Permit shall be granted upon the expressed condition that only such construction or improvements as located on the application with plot plan forming a part hereof and described in the application, that no error or omission in either plans or application, whether said plans and application have been approved by the Village of Long Grove or not, shall permit the applicant to construct the work in any manner other than provided for in the ordinances of Long Grove, Illinois.

Permit Term: This permit is valid for a term of eighteen (18) months from the date of issuance. This term may be extended for one additional six-month period, for a total of twenty-four (24) months, by means of written request to the Building Department and a payment of a \$100.00 permit renewal fee. Beyond twenty-four months, the security deposit, if any, is subject to reduction and/or forfeiture in accordance with the Village of Long Grove Code and Building Regulations.

CONSTRUCTION HOURS:

Monday through Friday 7:00 a.m. to 7:00 p.m.

Saturday 8:00 a.m. to 5:00 p.m.

Sunday by an owner or occupant only, performing work on his or her own residence or property,

10:00 a.m. to 5:00 p.m. (Ord. no. 2003-O-26)

New Commercial Building	Commercial Addition	Comm. Build-out, Interior Alterations, Remodel, or Restoration	Sign	<p>Project address: <u>2300 IL RTE 53</u></p> <p>Applicant's Checklist for Building Permit Application</p> <p>The following items are required at the time of application submittal.</p> <p>Check (✓) or indicate N/A for all items listed below and initial here: <u>SM</u></p> <p>Incomplete application packets will not be accepted.</p> <p>Additional items may be requested at time of plan review.</p> <p>Please pay deposits/fees online at www.longgroveil.gov</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Building permit application, completed and signed by property owner. FOR SIGNS - also complete an <i>Architectural Commission Application</i> .
\$200	\$200	\$50	\$50	Application fee, non-refundable. Complete permit fees (including plan review, inspections, etc.) will be calculated at the time of plan review and are due upon completion of final review. For a schedule of fees, refer to Village Building and Zoning Code, Title 12: Fees and Costs. N/A
\$275	\$275			Engineering/stormwater detention/drainage permit review: Application filing fee, non-refundable. Complete engineering review fees will be calculated at time of review in accordance with the Village Code and the Watershed Development Ordinance and will be due at the time of final review completion; a professional escrow deposit may be required. N/A
\$10,000	<input type="checkbox"/> <500sq.ft. <input type="checkbox"/> \$1500 <input type="checkbox"/> >500sq.ft. <input type="checkbox"/> \$3000	\$1500	\$500	Security deposit, refundable, as per Village Code Title 12-1-2(U). N/A
<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	Current plat of survey showing proposed new construction; show top of foundation elevation, topography based on USGS datum, setback lines, easements, conservancy districts, floodplain elevations, and wetland limits, if applicable. Also include the following: <input type="checkbox"/> Lot area calculations, including total impervious area, existing and proposed, professionally certified. <input type="checkbox"/> Disturbed area calculations (include area for all excavation, fill, and construction staging). If the disturbed area total exceeds 5,000 sq. ft., submit a completed Stormwater Permit Application , per Village of Long Grove Watershed Development Ordinance. <input checked="" type="checkbox"/> FOR SIGNS - Show proposed sign locations and any electrical connections and/or nearby utilities.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Detailed construction drawings, signed and sealed by an Illinois licensed architect, which include all framing, electrical, location of HVAC ductwork, plumbing piping isometric for water, and sanitary sewer waste and vent. <input type="checkbox"/> Statement on the plans clearly indicating compliance with the International Building Code (2015) all current Village of Long Grove codes, amendments, and ordinances. <input type="checkbox"/> For interior alterations or build-out, include copies of existing floor plan/conditions. <input type="checkbox"/> Floor area AND volume calculations, existing and proposed. Calculations for new buildings, additions, and interior alterations 500 sq.ft. or greater must be certified by an Illinois licensed architect. <input type="checkbox"/> Energy Conservation Code compliance: provide a copy of energy compliance documentation, such as COM Check or Similar. <input checked="" type="checkbox"/> FOR SIGNS - Detailed sign drawings with color; include electrical connection drawing where applicable and footing details.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		Properties with septic and/or private well: Copy of Lake County Health Dept. review and approved permit. N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		Properties with county sewer and/or water: Copy of Lake County Public Works review and approved permit. N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		Plumbing: Photocopies of State of Illinois <input type="checkbox"/> #055 plumbing contractor's license, <input type="checkbox"/> #058 plumber's license, and <input type="checkbox"/> Letter of Intent on plumber's business stationary, with license-holder's signature and corporate seal if incorporated, or notarized if not incorporated. N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Electrical: <input type="checkbox"/> Photocopy of electrical contractor's license. N/A
<input type="checkbox"/>	<input type="checkbox"/>			Roofing: <input type="checkbox"/> Photocopy of State of Illinois roofer's license and <input type="checkbox"/> photocopy of photo I.D. N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Copy of written work proposal with detailed project description, including project value. N/A



Contact the fire department directly regarding fire sprinkler plan review requirements: Long Grove FPD (847) 634-3143, Countryside FPD (847) 367-5511.



US EPA Lead RRP Rule: Beginning April 2010, any firm performing renovation, repair and painting projects that disturb lead-based paint in homes, child care facilities, and kindergartens **built before 1978** must be EPA- or state-certified and follow specific work practices to prevent lead contamination.



A separate Tree Removal Permit is required if any tree removal is proposed in conjunction with this project.



Call J.U.L.I.E. to locate underground utilities before you dig. Call 811 or 1-800-892-0123 or visit illinois1call.com to place an E-Request online.



Please contact your H.O.A. (if applicable) for compliance with subdivision covenants and restrictions.



FOR OFFICE USE ONLY:	
AC Received:	05/31/2022
AC Reviewed:	
AC Approved:	
Village Bd. Approved:	

FOR OFFICE USE ONLY:		
Date Received:		
Permit No.:		
Date Issued:		
Township:		
Sec:	T:	R:
PIN No.:		
Zoning:		

**ARCHITECTURAL COMMISSION
SIGN PERMIT APPLICATION**

BUSINESS NAME:	New Perspective	BUS. PHONE #:	847-383-6737
BUSINESS ADDRESS:	2300 IL Rte 53 Long Grove		
BUSINESS OWNER'S NAME:	Shannon Jones Executive Director	E-MAIL:	SJones@npSeniorLiving.com
TYPE OF SIGN(S) FOR WHICH YOU ARE APPLYING:	Monument Sign		

The Architectural Commission regularly meets every third (3rd) Monday of the month at 7:00pm in the Village Hall or as otherwise posted. The applicant (or representative) must be present. Please prepare and submit seven (7) sets of all of the following information ten (10) days prior to the meeting:

1. THIS FULLY COMPLETED APPLICATION SIGNED BY BOTH THE PETITIONER AND THE PROPERTY OWNER
2. REGARDING THE POSITION OR LOCATION OF PROPOSED SIGN ON THE BUILDING OR PROPERTY:
 - (a) PROVIDE SITE PLAN
 - (b) PROVIDE PHOTOGRAPH OF THE LOCATION ON THE PROPERTY OR BUILDING WHERE THE SIGN WOULD BE INSTALLED
 - (c) SQUARE FOOTAGE OF COMMERCIAL SPACE FOR WHICH SIGN IS BEING INSTALLED:

25.1 sq. ft.

3. PROVIDE A DETAILED DRAWING (TO SCALE) OF THE PROPOSED SIGN, INCLUDING:
 - (a) DIMENSIONS
 - (b) SAMPLE OF COLORS ON SIGN
 - (c) LETTER STYLE TO BE USED
 - (d) SAMPLE OF ANY UNUSUAL MATERIAL TO BE USED ON THE SIGN
 - (e) **FOR REQUESTS IN THE B-1 HISTORIC DISTRICT SEE SUGGESTED DESIGN GUIDELINES FOR SIGNAGE**

Should the sign be completed prior to the Architectural Commission's approval (this is not encouraged), the sign itself, or a photograph of the sign, shall be presented at the Architectural Commission meeting.

SIGN CONTRACTOR:

NAME:	PHONE #:
ADDRESS:	E-MAIL:

The property owner's signature is required below before any sign application may be processed. The property owner's signature is confirmation that he/she has read and understands the regulations governing the erection of signs in the Village of Long Grove and further approves the erection of the above-described sign on his/her property.

 Executive Dir

 PROPERTY OWNER(S)' SIGNATURE(S)
 Shannon Jones

 PROPERTY OWNER(S)' PRINTED NAME(S)
 Executive Dir.

 BUSINESS OWNER(S)' SIGNATURE(S)

(See the reverse side for maximum sign dimensions and fee schedule.)

**SIGN PERMIT
ARCHITECTURAL COMMISSION APPLICATION
MAXIMUM SIGN SIZES AND FEES**

The following dimension regulations and fee information are provided as a guideline and are excerpted from the Village Zoning Code, 5-9-5, "Sign Regulations." It is recommended that applicants read the entire section, available online at www.longgrove.net, to better understand the basis for sign permit approval.

RETAIL BUSINESSES:

MAXIMUM SIGN AREA (SQ. FT.) PERMITTED IN BUSINESS DISTRICTS			
TOTAL FLOOR AREA OF BUSINESS	B1*	B2	
		NO INDIVIDUAL ARTERIAL ACCESS	INDIVIDUAL ARTERIAL ACCESS
1 – 500 sq. ft.	12	12	75
501 – 1,000 sq. ft.	12	12	75
1,001 – 3,000 sq. ft.	20	20	100
3,001 – 5,000 sq. ft.	30	30	125
5,001 or greater	30	30 ¹	125 ²
¹ For each additional 2,000 sq. ft., an additional 10 sq. ft. of signage is permitted. The maximum total signage area shall not exceed 50 sq. ft.			
² For each additional 2,000 sq. ft., an additional 10 sq. ft. of signage is permitted. The maximum total signage area shall not exceed 145 sq. ft.			

FEE: Fees are calculated based on square footage of the sign and are as follows:

B – 1 DISTRICT*		B – 2 DISTRICT	
10 sq. ft. or less	\$50.00	75 sq. ft. or less	\$100.00
10.1 – 12 sq. ft.	\$60.00	75.1 sq. ft. – 100 sq. ft.	\$125.00
12.1 – 20 sq. ft.	\$70.00	100.1 sq. ft. – 125 sq. ft.	\$150.00
20.1 – 30 sq. ft.	\$80.00	125.1 sq. ft. or greater	\$200.00
30.1 sq. ft. or greater	\$100.00		

SUBDIVISION IDENTIFICATION SIGNS:

Not more than one (2) signs per entrance to subdivision; total signage not to exceed 40 sq. ft.

FEE: \$50.00 per sign

SUBDIVISION DEVELOPMENT SIGN:

FEE: \$100.00 per sign

OFFICE & OFFICE RESEARCH DISTRICT:

Maximum two (2) signs, not to exceed 100 sq. ft. total combined dimension; 50 sq. ft. maximum per sign.

Number of signs must be approved by Architectural Commission.

FEE: \$200.00 per sign

***SEE DESIGN GUIDELINES FOR THE B-1 HISTORIC DISTRICT (ATTACHED)**

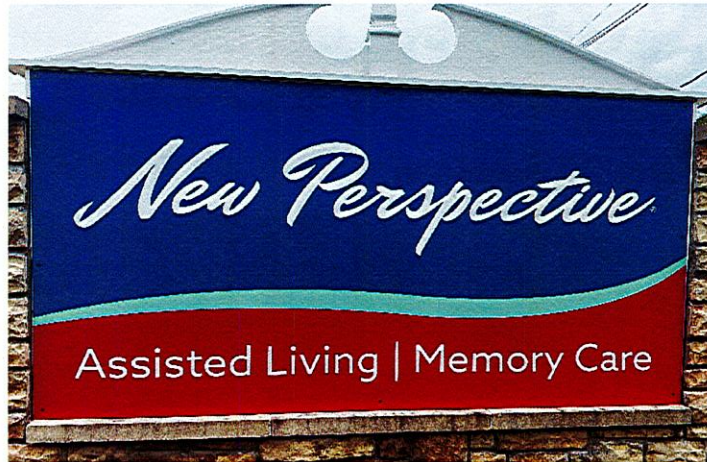
<i>FOR OFFICE USE ONLY</i>					
<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 50%; text-align: center;">TYPE OF SIGN(S)</th> <th style="width: 50%; text-align: center;">FEE(S)</th> </tr> </thead> <tbody> <tr> <td style="height: 100px;"></td> <td></td> </tr> </tbody> </table>	TYPE OF SIGN(S)	FEE(S)			<p>Amount Paid: _____</p> <p>Date Paid: _____</p> <p>Permit #: _____</p>
TYPE OF SIGN(S)	FEE(S)				
<p>Village Official: _____</p>	<p>Date of Issuance: _____</p>				



#1

83 inches

43 ½ inches



#2



2a: No Site Plan Available

2b: Community Lot Entrance reference picture #2

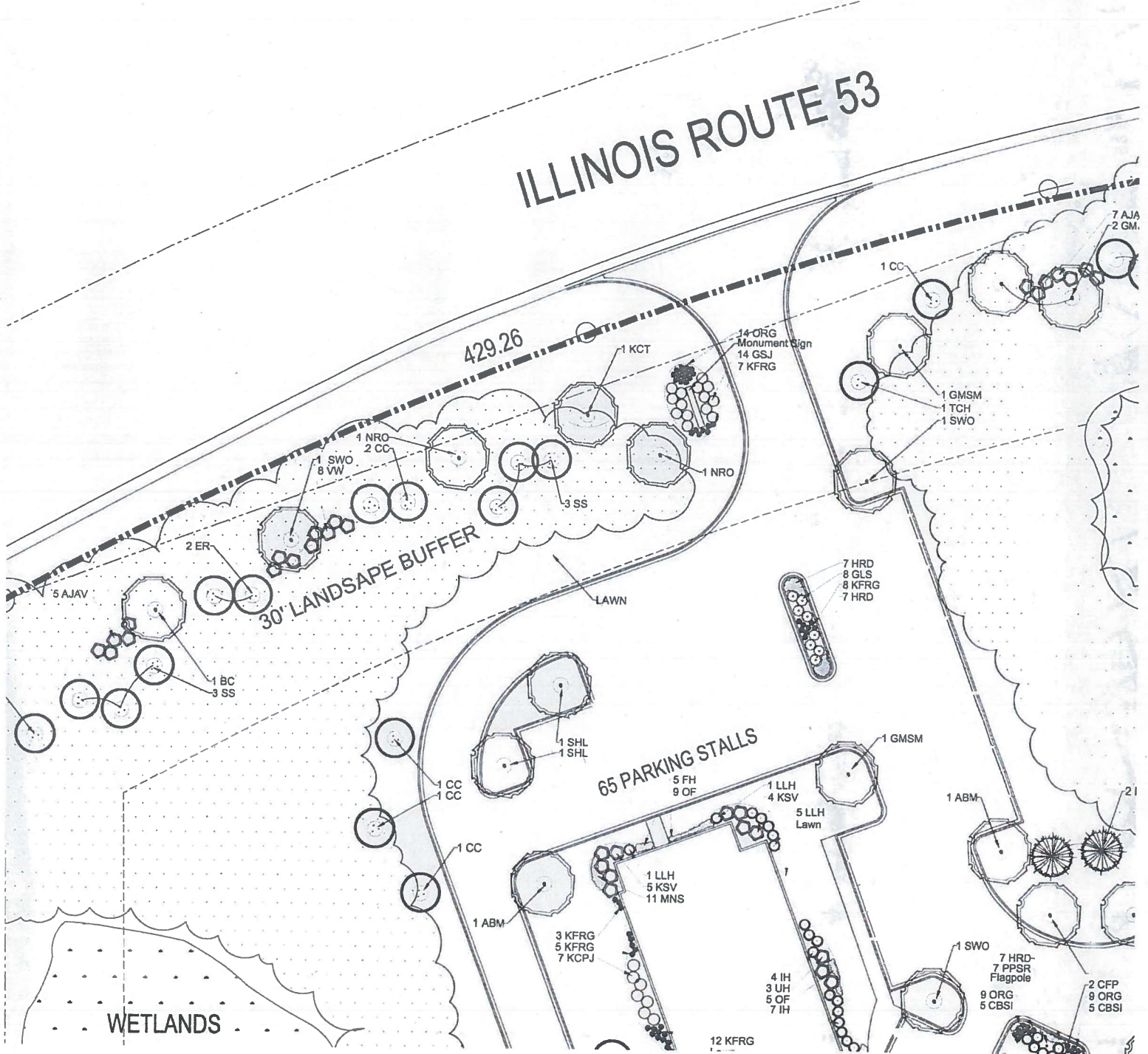
3a: 83 inches X 43 ½ inches

3b, 3c: reference picture #1

3d: no unusual material

LONG GROVE SENIOR CA

ILLINOIS ROUTE 53, LONG GROVE, IL



ECTS, P.C.



ARCHITECTS, P.C.

Unit A Sugar Grove, Illinois
40 Fax: 630-466-8760