



AGENDA
REGULAR MEETING OF THE
PLAN COMMISSION & ZONING BOARD OF APPEALS

Tuesday, May 2, 2023 at 7:00 P.M

Location: Long Grove Village Hall
3110 Old McHenry Road, Long Grove, Illinois 60047

- 1. CALL TO ORDER**
- 2. ATTENDANCE**
- 3. VISITORS BUSINESS/PUBLIC COMMENTARY**
- 4. APPROVAL OF MINUTES**
 - a. Approval of the April 4, 2023 Meeting Minutes
- 5. OLD BUSINESS**
- 6. NEW BUSINESS**
 - a. PCZBA-02-2023 – Public Hearing – Side Yard Setback Variation – 3305 Old McHenry Road
 - b. PCZBA-04-2023 – Public Hearing – Special Use Permit Outdoor Dining – 215-235 Robert Parker Coffin Road
- 7. QUESTIONS AND COMMENTS**
- 8. ADJOURNMENT**

UPCOMING MEETING: Next regular meeting: May 16, 2023 @ 7:00 PM

The Village of Long Grove is subject to the requirements of the Americans with Disabilities Act of 1990. Individuals with disabilities who plan to attend this meeting and who require certain accommodations in order to allow them to observe and/or participate in this meeting, or who have questions regarding the accessibility of the meeting or the facilities, are requested to phone the Long Grove Village Manager at 847-634-9440 or TDD 847-634- 9650 promptly to allow the Village of Long Grove to make reasonable accommodations for those persons.

Meeting Minutes

Long Grove Plan Commission & Zoning Board of Appeals (PCZBA)

Regular Meeting Minutes – April 4, 2023

Long Grove Village Hall

3110 Old McHenry Road, Long Grove, Illinois 60047

Present:

PCZBA Commissioners Helen Wilson, Chair; Magdalena Dworak-Mathews; Jeff Kazmer; and Richard Terrett.

Also Present: Interim Planner Taylor Wegrzyn, planner for Mundelein; Robert Pickrell, Village Attorney

Absent: Brooke Bauer, Charles Cohn, and Sheldon Rubin; Brett Smith, PCZBA Secretary

Visitors/Applicants: Dan Cunningham, Chris Stewart, Josh Terpstra, and Steve Skinner representing the applicant; and members of the public.

Call to Order:

The meeting was called to order by Chairwoman Wilson at 7:00 pm.

Visitor Business:

There was no visitor business.

Approval of Minutes:

The minutes of the August 2, 2022 meeting were postponed until the next meeting of the PCZBA.

New Business:

PUBLIC HEARING – PCZBA-01-2023 – Public Hearing – Royal Melbourne LTD P/S – 4700 Royal Melbourne Drive – PUD Major Change

The Applicants and Visitors were sworn in.

Interim Planner Taylor Wegrzyn, planner for Mundelein, prepared a report. The applicant is asking for a Major Change to the Royal Melbourne Planned Unit Development to accommodate the installation of four platform tennis courts, a tennis lodge building, and two pickleball courts. A small kiddie pool and some patio would be demolished to make way for the new facilities. The lodge is approximately 1,300 square feet in size, would match the design and colors of the existing bath house, and would have a kitchen, seating area, restroom, and lockers.

The public hearing was opened by the Commissioners and all who desired to testify were sworn in.

Dan Cunningham and Josh Terpstra provided an explanation of the project. They explained the differences between the different sports and the courts used for each. The platform tennis courts are heated, fenced, and lit. Platform tennis will be played through the winter months, opposite of pool season. The lodge

structure will also support the pool functions and is built 24" above the pool deck to give a panoramic view.

Village Attorney Robert Pickrell asked the applicant to confirm whether the request was for preliminary and final plat. Dan Cunningham confirmed that their request was for both preliminary and final approvals.

Commissioner Kazmer asked whether there had been a survey of the members of the club to determine whether they wanted the proposed facilities. Steve Skinner, CEO of KemperSports, replied that they regularly receive feedback from club members and platform tennis has been one of the most frequent requests. Pickleball is a more recent phenomenon but has garnered similar, repeated interest from club members. It did not require a vote of club members and the subdivision is independent from the club.

Debbie, a neighboring property owner, expressed concerns about the amount of light generated from the platform tennis courts. Dan Cunningham noted that the lights are on timers which are only on when the courts are actively in use. Commissioner Terrett asked whether the timers ever go past 9:00 P.M. Chris Stewart, KemperSports, noted that the club complies with all the ordinances and will continue to do so whether that is 9:00 P.M. or 10:00 P.M. or some other time. Dan Cunningham confirmed that the lights are only on when the courts are being played on and will otherwise time out and turn off.

Chairwoman Wilson inquired how they will prevent more than eight people from being on a court at once. Dan Cunningham noted that the courts are designed to withstand much more weight than eight people and are engineered for wind loads as well. Chris Stewart also added that the tennis manager position will be modified to a new position for all paddle sports. This will give their staff better management capabilities with the expanded offerings. Chairwoman Wilson also asked whether the proposed improvements would exceed the maximum stormwater discharge standards of the existing PUD. Dan Cunningham confirmed that it would comply with the standards.

Christ Stewart noted that they have paid their deposit for a tree removal permit and the Village is working with them to reevaluate the landscaping conditions or payments in-lieu of landscaping required once the building project is completed. Chairwoman Wilson inquired whether residents of the subdivision had a say in the proposal. The applicants confirmed that they did not. It was reviewed with the Village.

There was a discussion about the sound generated by pickleball courts. Allen, a resident nearby, noted that this was his greatest concern. Steve Skinner said that they have managed several other sites and the sound complaint most often occurs near properties with twenty or more pickleball courts. This site only has two. Marietta, a neighbor, asked whether trees can be replanted to make up for those lost. She suggested that the area along golf course hole number 10 was perhaps the most important location. Josh Terpstra noted that the site plan shows a new landscaping area along Royal Melbourne Drive. It is to be determined what goes in there but they can work to maximize its impact on noise and light pollution. There is no lighting at the pickleball courts. Wendy, a member of the public, noted that pickleball had been played in the parking lot within the last two years and wondered if the noise from those games had been heard by the residents.

Allen, member of the public, also noted his concern about parking outside of the designated spaces. Chris Stewart noted that four to five spaces will be removed to accommodate the pickleball courts. There are only two pickleball courts which will not generate a lot of additional parking needs and the platform tennis will be used only when the other facilities are not in high demand.

The public hearing was closed.

The Commissioners agreed that a buffering plan to mitigate any sound or light pollution needs to be submitted to staff. Commissioner Kazmar made a motion to recommend approval of the PUD Major Change to the Royal Melbourne Planned Unit Development with the condition that a buffering plan to address sound and light pollution be submitted to staff. Commissioner Terrett seconded the motion. The recommendation and findings will be passed on to the Village Board at a future meeting.

Other Business:

None.

Adjournment:

The next meeting will be scheduled for April 18, 2023. Commissioner Kazmer moved to adjourn and seconded by Commissioner Dworak. On a vote, the motion passed 4-0.

The meeting was adjourned at 7:58 pm.

Respectfully Submitted,

Taylor Wegrzyn

Taylor Wegrzyn, Interim Planner

PCZBA-02-2023
3305 Old McHenry Road



PLAN COMMISSION/ZONING BOARD OF APPEALS STAFF REPORT

To: Chairperson Wilson
PCZBA Commissioners

From: Taylor Wegrzyn, Planner

Meeting Date: May 2, 2023

Property: 3305 Old McHenry Road

Re: PCZBA-02-2023
Side Yard Setback Variation

Attachments: 1. Location Map
2. Petitioner's Packet
3. Certificate of Publication

Status: Complete petition submitted 03/16/2023
Referral by Village Board: Not required
Publication: Daily Herald on March 20, 2023

Applicant: Kevin Rose
3305 Old McHenry Road
Long Grove, IL 60047

Subject Property

- 3305 Old McHenry Road
- PINs: 14-24-401-026
- Zoning: R1

History

The subject property was first improved with a single-family dwelling in 1958 according to records from the Elia Township Assessor. The home is two-stories tall with a two-car, attached garage. The home is setback from the front property line by approximately 400 feet, from the southern (side) property line by 66 feet, and the western (rear) property line by 47 feet. A mixture of naturalized forest and lawn areas occupy the space between the home and the street.

The home on the property to the south is located 200 feet from the properties' shared boundary. A second house to the south, one parcel east of that one previously mentioned, is located 150 feet from its shared property line

with the subject property. To the west, are three residential properties which share a common driveway towards the east of these lots.

Request

The applicant is seeking a reduction of the side yard setback (southern) to allow for the construction of a detached garage which is to be five feet from the property line. The proposed garage is 40 feet wide by 26 feet deep (1,040 square feet), has two 16-foot wide overhead doors, asphalt shingles, and wood siding.

Land Use, Zoning, and Locational Data

1. Existing Zoning: R1 Single Family Residential
2. Proposed Zoning: Same
3. Surrounding Land Uses:

Direction	Existing Use	Land Use Plan/Zoning
North	Residential	R1
South	Residential	R1
East	Golf Course	R1 Unincorporated
West	Residential	R1 PUD

4. Location of Improvements: 3305 Old McHenry Road, generally south/southeast of the principal structure.
5. Flood/Wetlands: According to LC Mapping, there are no wetlands or floodplains/floodways on the subject property.
6. Bulk and Yard Regulations:

R1 District Standards:

- a). Front Yard: 100 foot
- b). Side Yard: 50 foot
- c). Rear Yard 50 foot
- d). 40% impervious coverage maximum

Variation – Side Yard Setback

Section 5-11-15 of the Long Grove Municipal Code provides a list of variations which may be granted by the Long Grove Village Board. This section authorizes the Board to grant variations from the required yards (setbacks).

The Applicant is seeking approval of a reduction of their side yard (setback) along the southern property line to accommodate a proposed detached garage. The applicant is requesting a reduction of the side yard setback from 50 feet to 5 feet. Section 5-9-1(F) of the Municipal Code requires that all accessory structures comply with the zoning district's required yards.

Analysis

Additional comments made by Staff during its review of the application are as follows:

Engineering:

Due to the proximity to the property line, the applicant would need to provide a detailed grading plan to accommodate drainage, if approved.

Building:

- A five-foot setback from the property line can cause some issues.
 - If the building is less than five feet, it needs to be one hour rated.
 - There can be no non-fire rated projections (overhangs) closer than five feet to the property line.
 - This can cause some constructability issues (primarily overhangs) if the building is at exactly five feet.

The applicant received these comments on April 11, 2023. In response, the applicant indicated that they would have no problem satisfying these items when they submit for a building permit and did not submit further exhibits.

Comprehensive Plan and Planning Documents

The Village of Long Grove's *Comprehensive Plan* indicates a residential use for this property on the Future Land Use Plan. Most other areas of applicability from the Plan are related to the topic of Community Character: seeking to preserve the open spaces and semi-rural charm that has characterized the Village throughout its existence. Maintaining this character and masking views, especially from the roadway, is a strong emphasis of the Plan.

The subject property is not located within any subarea of the Comprehensive Plan.

Variation Standards

In making its determination, the PCZBA should utilize the standards for granting a Variation. The applicable standards are listed below.

1. General Standards. No variation shall be recommended or granted pursuant to this section unless the owner shall establish that carrying out the strict letter of the provisions of this code would create a particular hardship or a practical difficulty. Such a showing shall require proof that the variation being sought satisfies each of the standards set forth in this subsection (F):

(a) That the lot in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations governing the district in which it is located;

(b) That the plight of the owner is due to unique circumstances; or

(c) That the variation, if granted, will not alter the essential character of the locality.

2. Supplemental Standards. For the purpose of supplementing the above standards, the Board of appeals shall also, in making this determination whether there are practical difficulties or particular hardships, take into consideration the extent to which the following facts favorable to the owner have been established by the evidence:

(a) That the particular physical surroundings, shape or topographical conditions of the specific lot involved would bring a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulation were to be carried out;

(b) That the conditions upon which the petition for variation is based would not be applicable generally to other lots within the same zoning classification;

(c) That the purpose of the variation is not based exclusively upon a desire to make more money out of the lot;

(d) That the alleged difficulty or hardship has not been created by any person presently having an interest in the lot;

(e) That the granting of the variation will not be detrimental to the public welfare or injurious to other lots or improvements in the neighborhood in which the lot is located; or

(f) That the proposed variation will not impair an adequate supply of light and air to adjacent lots or substantially increase the danger of fire or otherwise endanger the public safety, or substantially diminish or impair property values within the neighborhood.

3. Specific Standards. When the regulations authorizing a particular variation impose special standards to be met for such variation, a variation shall not be recommended or granted unless the owner shall establish compliance with such special standards.

(a) Variation Less Than Requested. A variation less than or different from that requested may be granted when the record supports the owner's right to some relief but not to the relief requested.

(b) Conditions on Variations. The zoning board of appeals may recommend and the board of trustees may impose such specific conditions and limitations concerning use, construction, character, location, landscaping, screening, and other matters relating to the purposes and objectives of this code upon the

premises benefited by a variation as may be necessary or appropriate to prevent or minimize adverse effects upon other lots and improvements in the vicinity of the subject lot or upon public facilities and services. Such conditions shall be expressly set forth in the Ordinance granting the variation. Violation of any such condition or limitation shall be a violation of this code and shall constitute grounds for revocation of the variation.

(c) Effect of Grant of Variation. The grant of a variation shall not authorize the establishment or extension of any use nor the development, construction, reconstruction, alteration, or moving of any building or structure, but shall merely authorize the preparation, filing, and processing of applications for any permits and approval that may be required by the codes and ordinances of the village including, but not limited to, a certificate of zoning compliance, a building permit, a certificate of occupancy, and subdivision approval.

(d) Limitations on Variations. Subject to an extension of time granted by the building superintendent pursuant to section 5-11-1 of this code, no variation from the provisions of this code shall be valid for a period longer than one year unless a building permit is issued and construction is actually begun within that period and is thereafter diligently pursued to completion or unless a certificate of occupancy is issued and a use is commenced within that period.

(e) A variation shall be deemed to authorize only the particular construction or development for which it was issued and shall automatically expire and cease to be of any force or effect if such construction or development shall be removed and not replaced within six months following such removal.

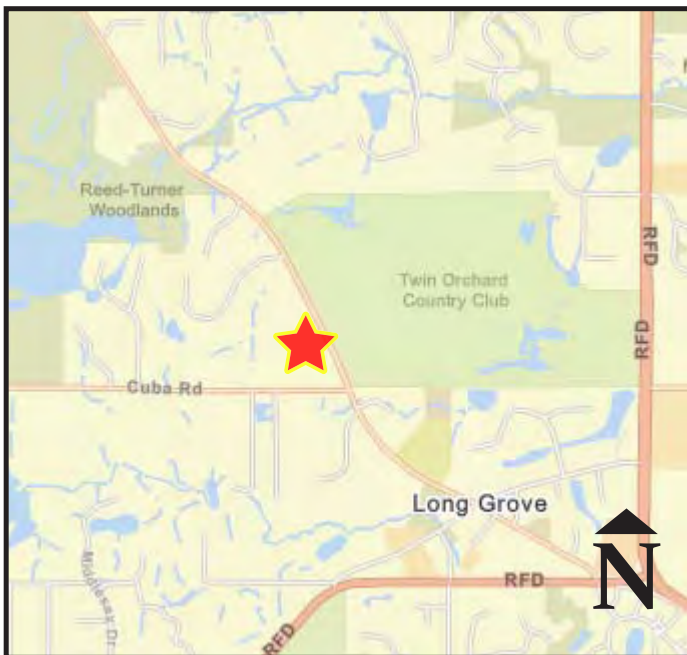
Conclusions

The PCZBA should review this petition in accordance with the standards for granting a variation noted above.

The Village Board has the authority to place conditions (and the PCZBA may recommend such conditions) on its approval and make its determination based on the specific findings and factors related to this petition. The Plan Commission and Zoning Board of Appeals is a recommending body and only the Village Board has the authority to grant or deny a variation application.

TW

Location Map: 3305 Old McHenry Road



Legend

 Project Area





3110 Old McHenry Road • Long Grove, IL 60047-9635
Phone: 847-634-9440 • Fax: 847-634-9408
www.longgroveil.gov

PLAN COMMISSION ZONING BOARD OF APPEALS GENERAL ZONING APPLICATION

1.0 General Information (See Subsection 5-11-8(E) of the Long Grove Zoning Code).

1.1 Applicant Name: KEVIN ROSE
Address: 3305 OLD MCHENRY RD.
Telephone Number: 847-404-3700 Fax number: _____
E-mail Address: KRCARS14@GMAIL.COM
Applicant's Interest in Property: OWNER

1.2 Owner (if different from Applicant).

Name: _____
Address: _____
Telephone Number: _____ Fax number: _____
E-mail Address: _____

1.3 Property.

Address of Property: 3305 OLD MCHENRY
Legal Description: Please attach Parcel Index Number(s): 14-24-401-026
Present Zoning Classification: R1 Size of Property (in acres): 3.8
Has any zoning reclassification, variation, or special use permit/PUD been granted for the Property?
Yes: _____ No: X

If yes, please identify the ordinance or other document granting such zoning relief: _____

Describe the nature of the zoning relief granted: 4-CAR GARAGE 5FT FROM SOUTH PROPERTY LINE.

Present use of Property:

Residential Commercial _____ Office _____ Open Space _____ Vacant _____

Other (explain) _____

Present zoning and land use of surrounding properties within 250' of Property:

	Zoning Classification	Land Use
North:	<u>R 1</u>	<u>RESIDENTIAL</u>
South:	<u>R 1</u>	<u>RESIDENTIAL</u>
East:	<u>COUNTRY CLUB</u>	_____
West:	<u>R 1</u>	<u>RES</u>

1.4 Trustees Disclosure.

Is title to the Property in a land trust? Yes _____ No

If yes, full disclosure of all trustees, beneficiaries and their legal and equitable interests is required. Attach a copy of all documents showing ownership of the Property and the Applicant's and/ or Owner's control of or interest in the Property.

1.5 Requested Action (Check as many as are applicable).

- Appeal
- Variation
- Zoning Map Amendment (rezoning)
- Preliminary PUD Plat
- Code Interpretation
- Special Use Permit (non-PUD)
- Zoning Code Text Amendment
- Final PUD Plat

1.6 Supplemental Information (General):**

Every Application filed shall, in addition to the data and information required above, provide the following general information when applicable to the use or development for which approval is being sought:

- (a) A description or graphic representation of any development or construction that will occur or any use that will be established or maintained if the requested relief is granted.
- (b) A table showing the following, as applicable:
 - the total lot area of the lot, in acres and in square feet; and
 - the total existing and proposed lot area, expressed in acres, in square feet and as a percent of the total development area, devoted to: residential uses, business uses; office uses; college uses; institutional uses; open space; rights-of-way; streets; and off-street parking and loading areas; and
 - the existing and proposed number of dwelling units; and gross and net floor area devoted to residential uses, business uses, office uses, college uses, and institutional uses.
- (c) A table listing all bulk, space, and yard requirements; all parking requirements; and all loading requirements applicable to any proposed development or construction and showing the compliance of such proposed development or construction with each such requirement. When any lack of compliance is shown, the reason therefore shall be stated and an explanation of the village's authority, if any, to approve the Application despite such lack of compliance shall be set forth.
- (d) The certificate of a registered architect or civil engineer licensed by the State of Illinois, or of an owner-designer, that any proposed use, construction, or development complies with all provisions of this code and other village ordinances or complies with such provisions except in the manner and to the extent specifically set forth in said certificate.
- (e) A landscape development plan, including the location, size and species of plant materials.

1.7 Supplemental Information (per specific request):

- _____ Appeals, Code Interpretations, and Variations: See 5-11-8(E)3, 4, & 5 of the Zoning Code and Form "A"
- _____ Special Use Permit (non-PUD): See 5-11-8(E)7 of the Zoning Code and Form "B"
- _____ Zoning Map Amendment (rezoning): See 5-11-8(E) 8 of the Zoning Code and Form "C"
- _____ Zoning Code Text Amendment: See Form "D"
- _____ Preliminary PUD Plat: See 5-11-18(D)(2) of the Zoning Code and Form "E"
- _____ Final PUD Plat: See 5-11-18(D)(3) of the Zoning Code and Form "F"

** The scope and detail of information shall be appropriate to the subject matter of the Application, with special emphasis on those matters likely to be affected or impacted by the approval being sought in the Application. Information required in the application shall be considered the minimum information required for filing an application. Additional information including but not limited to graphic depictions, environmental impacts, plans for sewer and water service and storm water

management, photometric plans, traffic studies and effects on property values, among others, should also be considered and may be helpful in detailing the Application.

Special Data Requests. In addition to the data and information required pursuant to this Application, every Applicant/Owner shall submit such other additional data, information, or documentation as the building superintendent or any board or commission before which the Application is pending may deem necessary or appropriate to a full and proper consideration and disposition of the particular Application.

1.8 Consultants.

Please provide the name, address, and telephone number of each professional or consultant advising Applicant with respect to this Application, including architects, contractors, engineers or attorneys:

Name: <u>RICHARD GROSSMAN</u>	Name: <u>STEVE MELNICK</u>
Professional: <u>ATTY.</u>	Professional: <u>BUILDER</u>
Address: <u>211 W. WACKER #710</u>	Address: <u>3239 VICTORIAN LN.</u>
Telephone: <u>312-750-9308</u>	Telephone: <u>847-951-1100</u>
E-mail: <u>RGATI35@GMAIL.COM</u>	E-mail: _____

Name: _____	Name: _____
Professional: _____	Professional: _____
Address: _____	Address: _____
Telephone: _____	Telephone: _____
E-mail: _____	E-mail: _____

1.9 Village Officials or Employees.

Does any official or employee of the ~~Village~~ have an interest, either directly or indirectly, in the Property? Yes: _____ No: X

If yes, please identify the name of such official or employee and the nature and extent of that interest. (Use a separate sheet of paper if necessary.)

1.10 Successive Applications (5-11-9).

Second Applications Without New Grounds Barred. Whenever any Application filed pursuant to this code has been finally denied on its merits, a second Application seeking essentially the same relief, whether or not in the same form or on the same theory, shall not be brought unless in the opinion of the officer, board, or commission before which it is brought there is substantial new evidence available, or a mistake of law or fact significantly affected the prior denial.

New Grounds to Be Stated. Any such second Application shall include a detailed statement of the grounds justifying consideration of such Application.

Summary Denial with or Without Hearing. Any such second Application may be denied by the building superintendent summarily, and without hearing, on a finding that no grounds appear that warrant a new hearing. In any case where such Application is set for hearing, the owner shall be required to establish grounds warranting reconsideration of the merits of its Application prior to being allowed to offer any evidence on the merits. Unless such grounds are established, the Application may be summarily dismissed for such failure.

Exception. Whether or not new grounds are stated, any such second Application filed more than two years after the final denial of a prior Application shall be heard on the merits as though no prior Application had been filed. The Applicant or Owner shall, however, be required to place in the record all evidence available concerning changes of conditions or new facts that have developed since the denial of the first Application. In the absence of such evidence, it shall be presumed that no new facts exist to support the new petition that did not exist at the time of the denial of the first Application.

2.0 Required Submittals (See Specific Supplemental Information Form for Filing Fees).

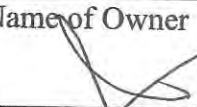
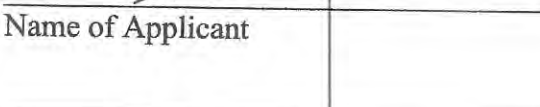
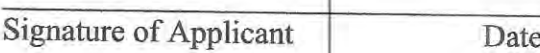
<input checked="" type="checkbox"/>	Fully completed Application with applicable supplementary information	
<input checked="" type="checkbox"/>	Non-refundable Filing Fee.	Amount: \$ <u>200.00</u>
<input checked="" type="checkbox"/>	Planning Filing Fees.	Amount: \$ <u>150.00</u>
<input checked="" type="checkbox"/>	Minimum Professional Fee/deposit Escrow.	Amount: \$ <u>500.00</u>

3.0 Certifications. The Applicant and Owner certify that this Application is filed with the permission and consent of the Owner of the Property and that the person signing this Application is fully authorized to do so.

3.1 The Applicant certifies that all information contained in this Application is true and correct to the best of Applicant's knowledge.

3.2 The Applicant acknowledges that the Village may seek additional information relating to this Application and agrees to provide the Village with such information in a timely manner. Failure to provide such information may be grounds for denying an Application.

- 3.3 The Applicant and Owner agree to reimburse the Village for any and all costs relating to the processing of this Application, including any consultants' fees. By signing this Application, Applicant and Owner agree to be jointly and severally liable for such costs, and Owner further agrees to the filing and foreclosure of a lien against the Property for all such costs plus all expenses relating to collection, if such costs are not paid within 30 days after mailing of a demand for payment.
- 3.4 The Applicant agrees that the Village and its representatives have the right, and are hereby granted permission and a license, to enter upon the Property, and into any structures located there on, for purposes of conducting any inspections that may be necessary in connection with this Application.
- 3.5 The Owner, Applicant, and/or designated representative is required to be present during the meeting.

<p>KEVIN ROSE</p> <hr/> <p>Name of Owner</p>	<p>SAME</p> <hr/> <p>Name of Applicant</p>
<p></p> <hr/> <p>Signature of Owner</p>	<p>12-6-22</p> <hr/> <p>Date</p>
<p></p> <hr/> <p>Signature of Applicant</p>	<p></p> <hr/> <p>Date</p>

Estimate From **MENARDS**[®]

Estimate # 63224
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ESTIMATE FOR:	
Rose, Kevin 3305 Old McHenry Rd Lake Zurich, IL	60047-5092
Ph: (847) 404-3700	
PROJECT DESCRIPTION: Kevin Rose	

STORE # 3254 LONG
2700 Lake Cook Rd
Long Grove, IL 60047

FAX: (847) 963-1060
EMAIL: LONGBuildingMaterials@menards.com

ESTIMATE BY ESTIMATE DATE	
LEE A.	03/13/23

SKU NUMBER	DESCRIPTION	QTY TO ORDER	ADDITIONAL ITEM INFORMATION
100-4547	MM TRUSS CUSTOM End Truss ItemNum=TEC3241158	2 EACH	** Special Order **
102-1127	2X4-12' #2&BTR SPF Lateral Brace	4 EACH	
102-1143	2X4-16' #2&BTR SPF Lateral Brace	4 EACH	
102-1143	2X4-16' #2&BTR SPF Gable Overhang Framing	12 EACH	
102-1334	2X6-104 5/8" SPF Wall Stud	131 EACH	
102-1758	2X6-8' STUD/#2&BTR SPF Top Plate	2 EACH	
102-1758	2X6-8' STUD/#2&BTR SPF Service Door Eave Header	3 EACH	
102-1758	2X6-8' STUD/#2&BTR SPF Door Track Framing	1 EACH	
102-1761	2X6-10' STUD/#2&BTR SPF Door Track Framing	4 EACH	
102-1774	2X6-12' #2&BTR SPF Fascia Framing	1 EACH	
102-1790	2X6-16' #2&BTR SPF Door Track Framing	2 EACH	
102-1790	2X6-16' #2&BTR SPF Fascia Framing	9 EACH	
102-1790	2X6-16' #2&BTR SPF Top Plate	16 EACH	
106-1572	1-3/4"X11-7/8"- 17' LVL 1.9E Overhead Door Gable Header	4 EACH	
107-1148	1X2-8' CEDAR S1S2E 3+BTR7/8" NOMINAL	4 EACH	

This is an estimate. It is given only for general price information. This is not an offer and there can be no legally binding contract between the parties based upon this estimate. The prices stated herein are subject to change depending upon the market conditions. The prices stated on this estimate are not firm for any time period unless specifically written otherwise on this form and are not inclusive of taxes, delivery, packaging or any other charges which may or may not need to be added when ultimately purchasing products from this estimate. The availability of materials is subject to inventory conditions. **MENARDS IS NOT RESPONSIBLE FOR ANY LOSS INCURRED BY THE GUEST WHO RELIES ON PRICES SET FORTH HEREIN OR ON THE AVAILABILITY OF ANY OF THE MATERIALS STATED HEREIN.** All information on this form, other than price, has been provided by guest and Menards is not responsible for any errors in the information on this estimate, including but not limited to quantity, dimension and quality. Please examine this estimate carefully. **MENARDS MAKES NO REPRESENTATIONS, ORAL, WRITTEN OR OTHERWISE THAT THE MATERIALS LISTED ARE SUITABLE FOR ANY PURPOSE BEING CONSIDERED BY THE GUEST. BECAUSE OF WIDE VARIATIONS IN CODES, THERE ARE NO REPRESENTATIONS THAT THE MATERIALS LISTED HEREIN MEET YOUR CODE REQUIREMENTS.**

GUEST COPY
PAGE 1 OF 6

Estimate From **MENARDS®**

Estimate # **63224**
Page **2 of 6**

STORE # 3254 LONG
2700 Lake Cook Rd
Long Grove, IL 60047

FAX: (847) 963-1060
EMAIL: LONGBuildingMaterials@menards.com

ESTIMATE FOR:	
Rose, Kevin 3305 Old McHenry Rd Lake Zurich, IL Ph: (847) 404-3700 PROJECT DESCRIPTION: Kevin Rose	60047-5092

ESTIMATE BY ESTIMATE DATE	
LEE A.	03/13/23

SKU NUMBER	DESCRIPTION	QTY TO ORDER	EACH	ADDITIONAL ITEM INFORMATION
	Door Stop Horizontal			
107-1148	1X2-8' CEDAR S1S2E 3+BTR7/8" NOMINAL Door Stop Vertical	4	EACH	
107-1342	1X4-8' CEDAR S1S2E 3+BTR 7/8" NOMINAL Overhead Door Trim	6	EACH	
107-1355	1X4-10' CEDAR S1S2E 3+BTR7/8" NOMINAL Overhead Door Trim	2	EACH	
107-1562	1X8-8' CEDAR S1S2E 3+BTR 7/8" NOMINAL Overhead Door Jamb	4	EACH	
107-1601	1X8-16' CEDAR S1S2E 3+BTR7/8" NOMINAL Overhead Door Jamb	2	EACH	
111-1024	2X6-8' AC2 GREEN TREATED GROUND CONTACT Bottom Plate	1	EACH	
111-1066	2X6-16' AC2 GREEN TREATEDGROUND CONTACT Bottom Plate	8	EACH	
124-2728	7/16 (7/16CAT) 4X8 OSB 3-WHITE STRIPES Wall Sheathing	43	EACH	
124-2809	1/2 (1/2CAT) 4X8 OSB 2WH 1BK STRIPE Roof Sheathing	48	EACH	
140-0113	8-1/4" JOINTMLD WDGR-25PCB BLUE H Molding	4	EACH	** Special Order **
140-0280	1"X10' ALUMINUM DRIPCAP B BLUE Drip Cap	4	EACH	** Special Order **
140-6609	TOUCH UP QT W/APPLICATORSB BLUE Touch-up Paint COLORTAG:74-Biscayne Blue Color: Biscayne Blue	1	EACH	** Special Order **
142-0104	1-1/4X4X16' SMARTTRIM OSCB. BLUE-15YR Outside Corner	3	EACH	** Special Order **
142-3280	3/8X8X16' SMARTSIDE LAP B. BLUE-15YR	144	EACH	** Special Order **

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PAGE 2 OF 6

Estimate From **MENARDS®**

Estimate # **63224**
Page **3 of 6**

STORE # 3254 LONG
2700 Lake Cook Rd
Long Grove, IL 60047

FAX: (847) 963-1060
EMAIL: LONGBuildingMaterials@menards.com

ESTIMATE FOR:	
Rose, Kevin 3305 Old McHenry Rd Lake Zurich, IL	60047-5092
Ph: (847) 404-3700	
PROJECT DESCRIPTION: Kevin Rose	

ESTIMATE BY ESTIMATE DATE	
LEE A.	03/13/23

SKU NUMBER	DESCRIPTION	QTY TO ORDER	ADDITIONAL ITEM INFORMATION
	Siding		
142-3884	1-1/4X4X16' TXT SMRT TRIMB. BLUE-15YR Door And Window Trim	5 EACH	** Special Order **
146-1020	STEEL STARTER STRIP 10' HEAVY PROFILES Engineered Wood Starter	10 EACH	
147-2023	12"X12" GABLE VENT WHITE/SNOW Gable Vent	2 EACH	
151-1808	PROARMOR ROOF UNDERLAYMEN42"X286' (10SQ) Roof Felt	2 EACH	
151-1827	2SQ ICE&WAT WEATHERLOCK GOC GRANULAR Ice & Water Barrier	2 EACH	
151-1910	OC STARTER STRIP 105 LF/BUNDLE Shingle Starter	1 BNDL	
151-2367	H&R PROEDGE OC 33 LF DRIFTWOOD Hip and Ridge Shingles	1 BNDL	
151-3175	DURATION DRIFTWOOD Shingles	45 BNDL	
153-8801	10 OZ PRO ALL WEATHER ROOF CEMENT Roofing Cement	1 EACH	
155-9968	12' PACKAGE/HANDLING CHARGE Steel Trim Packaging Charge	1 EACH	** Special Order **
155-9970	12' TRIM CRATE SPEC ORDER4-2X6X12 Steel Trim Crate	1 EACH	** Special Order **
157-1398	12' STYLE D ALM ROOF EDGEWHITE Roof Edge COLORTAG:01-White Color: White	13 EACH	
157-1403	12' PRO FRIEZE ALUMINUM WHITE Soffit F-Channel COLORTAG:01-White Color: White	13 EACH	

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PROJECT DESCRIPTION:	
Kevin Rose	

STORE # 3254 LONG
2700 Lake Cook Rd
Long Grove, IL 60047

FAX: (847) 963-1060
EMAIL: LONGBuildingMaterials@menards.com

ESTIMATE BY ESTIMATE DATE	
LEE A.	03/13/23

SKU NUMBER	DESCRIPTION	QTY	TO ORDER	ADDITIONAL ITEM INFORMATION
157-1487	16"X12' PRO VENTED SOFFITWHITE Soffit COLORTAG:01-White Color: White	20	EACH	
157-1567	6"X12' R/S FASCIA .019 WHITE Fascia COLORTAG:01-White Color: White	13	EACH	
161-2995	9' X 100' TYPAR HOUSE WRAP House Wrap	2	EACH	
161-3033	1/4"X 5.5"X 50' FOAMSEALRSILL SEALER Sill Seal	2	EACH	
161-3222	1.88"X54.6 YARD RED SHEATHING TAPE House Wrap Tape	1	EACH	
188-7646	40' STD 4/12 62# 2'OC2'OHPICKUP/JOBSITE Truss	12	EACH	** Special Order **
191-1220	HOW TO BUILD GARAGES BOOK Building Plan	1	EACH	
208-2165	1-1/4" COIL ROOFING NAIL 7200PC Roofing Nails	1	BOX	
227-1303	1/2"PLYWD CLIP STEEL 25/BPC12-BMC 10BGS/ Roof Sheathing Clips	8	EACH	
227-1617	TRUSS SPACER 24"O.C. 10' TSX24 20/ Truss Spacer	11	EACH	
229-2957	8D SS SIDING NAIL 1LB BOX Door Stop Fasteners	1	BOX	
229-3896	2-1/2" TRIM NAIL BISC BLU5LB M-340 CEM-8 Siding Fasteners	4	EACH	** Special Order **
229-5347	8D V.C. SINKER NAIL 5LB BOX Sheathing Fasteners	7	BOX	
229-5363	16D V.C. SINKER NAIL 5LB BOX	7	BOX	

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Ph: (847) 404-3700	
PROJECT DESCRIPTION: Kevin Rose	

STORE # 3254 LONG
2700 Lake Cook Rd
Long Grove, IL 60047

FAX: (847) 963-1060
EMAIL: LONGBuildingMaterials@menards.com

ESTIMATE BY ESTIMATE DATE	
LEE A.	03/13/23

SKU NUMBER	DESCRIPTION	QTY TO ORDER	ADDITIONAL ITEM INFORMATION
	Framing Nails		
229-8478	1-1/4" WH SS TRIM NAIL 1LB BOX Fascia Fasteners COLORTAG:00-Stainless Steel Color: Stainless Steel	1 EACH	
230-0042	6" TIMBERLOK 50PK FMTLOK06-50 Truss Fastener	1 EACH	
230-0104	FLATLOK 3-1/2" 50PK FMFL312-50 Header Fastener	2 EACH	
231-2194	5/16" STAPLES 5010-C 5M House Wrap Staples	1 EACH	
232-9028	1/2" X 10"HG ANCH BOLT NW25PC 1210HGAB25 Anchor Bolts	2 EACH	
414-0347	E-1 6-PANEL 6-9/16 JAMB 36X80 LH SN Service Door	1 EACH	** Special Order **
425-1049	WI-FI AC BELT DRIVE GOOD BELT .5HP Overhead Door Opener	2 EACH	
425-1088	REAR TRACK HANGING KIT IDEAL Overhead Door Hardware	2 EACH	
425-1091	SUPPORT STRUT 2'X16' #1007106 24G Overhead Door Struts	2 EACH	
425-1602	GARAGE DOOR OPEN HANG KIT24999 Overhead Door Hanging Kit	2 EACH	
425-1618	16X7WHITE INSUL RAISEDPNLEZSETTORSN M4SV Overhead Door	2 EACH	
433-4222	PINE TAPERED SHIMS 12 CT 3/8X1-1/4X8'' Opening Shim	1 EACH	
436-4500	4"X33' ASPHALT TAPE TS433 Opening Flashing	1 EACH	
436-4550	THRESHOLD TAPE - 42" TSFM42	1 EACH	

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Estimate From
MENARDS®

Estimate # 63224
Page 6 of 6

ESTIMATE FOR:	
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Ph: (847) 404-3700 PROJECT DESCRIPTION: Kevin Rose	

STORE # 3254 LONG
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Long Grove, IL 60047

FAX: (847) 963-1060
EMAIL: LONGBuildingMaterials@menards.com

ESTIMATE BY ESTIMATE DATE	
LEE A.	03/13/23

SKU NUMBER	DESCRIPTION	QTY TO ORDER	ADDITIONAL ITEM INFORMATION
	Service Door Sealer		
440-0207	SC COMBO MADISON /DB SNG TRUBOLT 1734365 Service Door Lock	1 EACH	
563-9854	QUAD BLUE Siding Caulk QUAD 100Z #804	3 EACH	

*** If purchased today, you save \$6.00 ***

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PAGE 6 OF 6**

Date: 3/13/2023 - 12:18 PM

Design ID: 325455964082

Estimate ID: 63224

MENARDS®

Design & Buy™ GARAGE

How to recall and purchase your design at home:



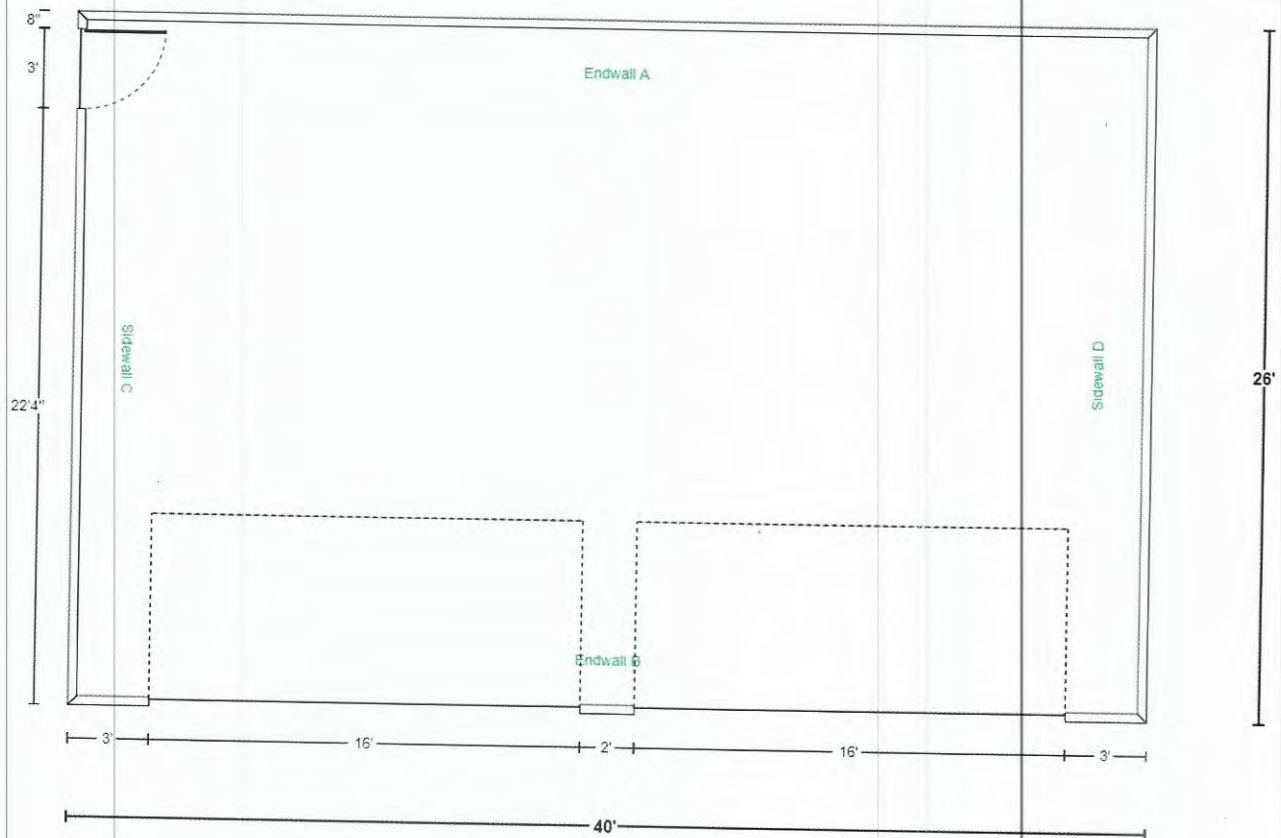
OR

1. On Menards.com, enter "Design & Buy" in the search bar
2. Select the Garage Designer
3. Recall your design by entering Design ID: 325455964082
4. Follow the on-screen purchasing instructions

How to purchase your design at the store:

1. Enter Design ID: 325455964082 at the Design-It Center Kiosk in the Building Materials Department
2. Follow the on-screen purchasing instructions

Garage Image



For other design systems search "Design & Buy" on Menards.com

Date: 3/13/2023 - 12:18 PM

Design ID: 325455964082

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GARAGE

Floor type (concrete, dirt, gravel) is NOT included in estimated price. The floor type is used in the calculation of materials needed. Labor, foundation, steel beams, paint, electrical, heating, plumbing, and delivery are also NOT included in estimated price. This is an estimate. It is only for general price information. This is not an offer and there can be no legally binding contract between the parties based on this estimate. The prices stated herein are subject to change depending upon the market conditions. The prices stated on this estimate are not firm for any time period unless specifically written otherwise on this form. The availability of materials is subject to inventory conditions.

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Dimensions

Wall Configurations

*Some items like wainscot, gutter, gable accents, are not displayed if selected.



ENDWALL B

Ideal Door®; 4-Star 16' x 7' White Select Value Insulated

Ideal Door®; 4-Star 16' x 7' White Select Value Insulated



SIDEWALL D



SIDEWALL C

Mastercraft®; 36W x 80H Primed Steel 6-Panel



ENDWALL A

Date: 3/13/2023 - 12:18 PM
Design ID: 325455964082
Estimate ID: 63224

Materials

Building Info

Building Location Zip Code:	60047
Building Width:	40'
Building Length:	26'
Building Height:	9'
Curb:	Poured Curb
Curb Height:	4"
Foundation Type:	Thickened Slab
Wall Framing Stud:	2 x 6
Roof Framing:	Truss Construction
Truss Type:	Common
Roof Pitch:	4/12 Pitch
Eave Overhang:	24"
Gable Overhang:	24"
Custom Garage Plan:	No I do not need a custom building plan

Wall Info

Siding Material Types:	LP Engineered Wood
LP Engineered Wood Siding:	Sherwin-Williams Prefinished 3/8 x 8 x 16' Textured Lap Siding(15 Yr Paint Warranty), Color: Biscayne Blue
Engineered Wood Corner Trim Color:	Biscayne Blue
Accent Material Type:	None
Wainscot Material Type:	None
Wall Sheathing:	7/16 x 4 x 8 OSB(Oriented Strand Board)
House Wrap:	Tygar House Wrap 9' x 100'
Gable Vents:	Novik® 12" x 12" Square Gable Vent, QTY: 2

Date: 3/13/2023 - 12:18 PM
Design ID: 325455964082
Estimate ID: 63224

Roof Info

Roof Sheathing:	1/2 x 4 x 8 OSB(Oriented Strand Board)
Roofing Material Type:	Architectural Shingle
Architectural Roofing:	Owens Corning® TruDefinition® Duration® Limited Lifetime Warranty Architectural Shingles (32.8 sq. ft.), Color: Driftwood
Roof Underlayment:	Owens Corning® ProArmor® Synthetic Roofing Underlayment 42" x 286' (1,000 sq. ft.)
Ice and Water Barrier:	Owens Corning® WeatherLock® G Granulated Self-Sealing Ice and Water Barrier 3' x 66.7'(200sq.ft)
Fascia Material Type:	Textured Aluminum Fascia
Fascia:	6" x 12' Aluminum Rustic Fascia, Color: White
Soffit Material Type:	Aluminum Soffit
Soffit:	16" x 12' Aluminum Vented Soffit, Color: White
Gutter Material Type:	None
Ridge Vent:	None
Roof Vents:	None

Openings

Service Door:	Mastercraft® 36W x 80H Primed Steel 6-Panel
Overhead Door:	Ideal Door® 4-Star 16' x 7' White Select Value Insulated
Overhead Door:	Ideal Door® 4-Star 16' x 7' White Select Value Insulated
Overhead Door Trim Type:	Cedar
Garage Door Opener:	Chamberlain® 1/2 HP Wi-Fi Belt Drive Garage Door Opener (Good)
Garage Door Opener:	Chamberlain® 1/2 HP Wi-Fi Belt Drive Garage Door Opener (Good)

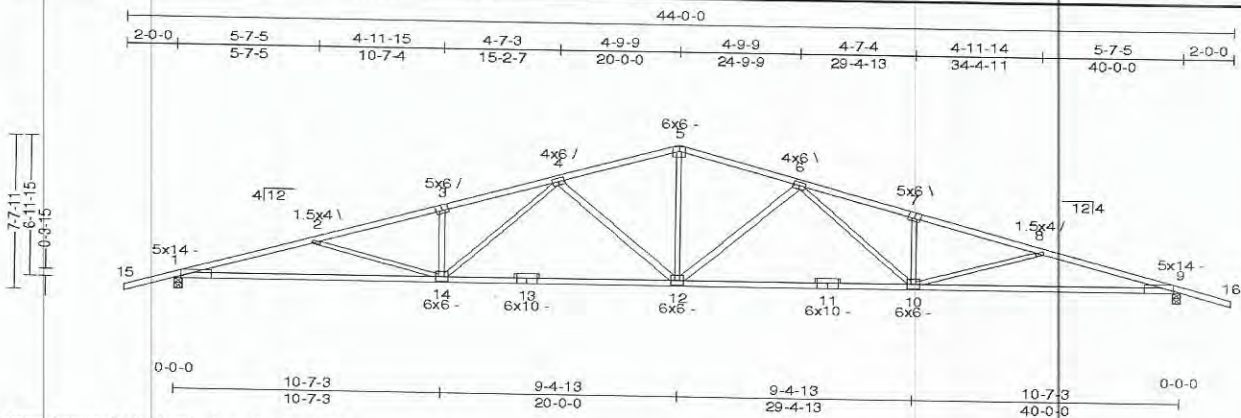
Additional Options

Ceiling Insulation:	None
Wall Insulation:	None
Ceiling Finish:	None
Wall Finish:	None
Mounting Blocks:	No
Hydronic Radiant Heat:	None
Anchor bolt:	Grip Fast® 1/2 x 10 HDG Anchor Bolt w/ Nut & Washer
Framing Fasteners:	Grip Fast® 3-1/4 16D Vinyl-Coated Smooth Shank Sinker Nail - 5 lb. Box
Sheathing Fasteners:	Grip Fast® 2-1/2 8D Vinyl-Coated Smooth Shank Sinker Nail - 5 lb. Box
Roofing/Shingle Fasteners:	Grip Fast® 1-1/4 Electro-Galvanized Coil Roofing Nails - 7,200 Count
Truss Fastener:	FastenMaster® TimberLOK® 5/16 x 6 Hex Drive Black Hex Head Timber Screw - 50 Count
Overhead Opening Hardware:	No

Design & Buy™

GARAGE

Midwest Manufacturing Address 1 Address 2 City, State Zip								Truss: C11040 JobName: RESSTOCK Date: 02/22/17 09:27:30 Page: 1 of 1	
SPAN 40-0-0	PITCH 4/12	QTY 1	OHL 2-0-0	OHR 2-0-0	CANT L 0-0-0	CANT R 0-0-0	PLYS 1	SPACING 24 in	WGT/PLY 147 lbs



All plates shown to be Eagle 20 unless otherwise noted.

Loading (psf)	General	CSI Summary	Deflection	L/	(loc)	Allowed
TCLL: 42 Snow(Ps/Pg): 42/60 TCDL: 10 BCCL: 10 BCDL: 10	Bldg Code: IRC 2015/ TPI 1-2007 Rep Mbr Increase: Yes Lumber D.O.L.: 115 %	TCL: 0.93 (3-4) BC: 0.82 (4-1) Web: 0.92 (4-12)	Vert TL: 1.06 in Vert LL: 0.68 in Horz TL: 0.27 in	L/447 L/701	(1-12) (1-12) 9	L/180 L/240

Reaction Summary

JT	Brg	Combo	Brg Width	Rqd Brg Width	Max React	Max Grav Uplift	Max MWFRS Uplift	Max C&C Uplift	Max Uplift	Max Horiz
1			3.5 in	3.41 in	2,688 lbs			-390 lbs	-390 lbs	6 lbs
9			3.5 in	3.41 in	2,688 lbs			-390 lbs	-390 lbs	

Material Summary

TC	SPF #2 2 x 4	except:	
15-3	SPF 1650/1.5 2 x 4	7-16	SPF 1650/1.5 2 x 4
BC	SPF 2100/1.8 2 x 4		
Web	SPF Stud 2 x 3	except:	
4-12	SPF 1650/1.5 2 x 4	5-12	SPF #2 2 x 3

Bracing Summary

TC Bracing:	Sheathed
BC Bracing:	Sheathed or Purlins at 10-0-0, Purlin design by Others
6-12	SPF 1650/1.5 2 x 4

Lloads Summary

- This truss has been designed for the effects of balanced and unbalanced snow loads for hips/gables in accordance with ASCE7 - 10 with the following user defined input: 60 psf ground snow load, Terrain Category B, Exposure Category Fully Exposed (Ce = 0.9), Risk Category II (I = 1.00), Thermal Condition Cold ventilated (Cr = 1.1), DOL = 1.15. Unventilated. If the roof configuration differs from hip/gable, Building Designer shall verify snow loads.
- This truss has been designed to account for the effects of ice dams forming at the eaves.
- This truss has been designed for the effects of wind loads in accordance with ASCE7 - 10 with the following user defined input: 115 mph (Factor D), Exposure B, Enclosed, Gable/Hip, Risk Category II, Overall Bldg Dims 25 ft x 60 ft, h = 15 ft, End Zone Truss, Both end webs considered. DOL = 1.60
- Minimum storage attic loading has been applied in accordance with IRC 301.5

Member Forces Summary

Table indicates: Member ID, max CSI max axial force, (in se compr. force if different from max axial force). Only forces greater than 300lbs are shown in this table.

TC	1-2	0.716	-6,632 lbs	4-5	0.704	-4,007 lbs	7-8	0.672	-5,833 lbs
2-3	0.672	-5,833 lbs	5-6	0.704	-4,007 lbs	8-9	0.716	-6,632 lbs	
3-4	0.932	-3,820 lbs	6-7	0.932	-3,820 lbs				
BC	9-10	0.821	6,220 lbs (-632 lbs)	10-12	0.644	4,570 lbs (-380 lbs)	12-14	0.644	4,570 lbs (-380 lbs)
Web	2-14	0.741	-837 lbs	4-12	0.917	-1,573 lbs (-202 lbs)	6-10	0.834	1,418 lbs (-123 lbs)
	3-14	0.272	-597 lbs	5-12	0.673	1,958 lbs	7-10	0.271	-598 lbs
	4-14	0.834	1,418 lbs (-123 lbs)	6-12	0.917	-1,573 lbs	8-10	0.741	-837 lbs

JSI Summary

1 = 0.99, 2 = 0.69, 3 = 0.90, 4 = 0.77, 5 = 0.84, 6 = 0.77, 7 = 0.90, 8 = 0.69, 9 = 0.99, 10 = 0.94, 11 = 0.87, 12 = 0.87, 13 = 0.87, and 14 = 0.94

Notes

- Unless noted otherwise, do not cut or alter any truss member or plate without prior approval from a Professional Engineer.
- When this truss has been chosen for quality assurance inspection, the Double Polygon Method per TPI 1-2007/Chapter 3 shall be used.
- The fabrication tolerance for this roof truss is 0% (Cq = 1.00).
- Brace bottom chord with approved sheathing or purlins per Bracing Summary.
- Creep has been considered in the analysis of this truss.
- Listed wind uplift reactions based on MWFRS & C&C loading.

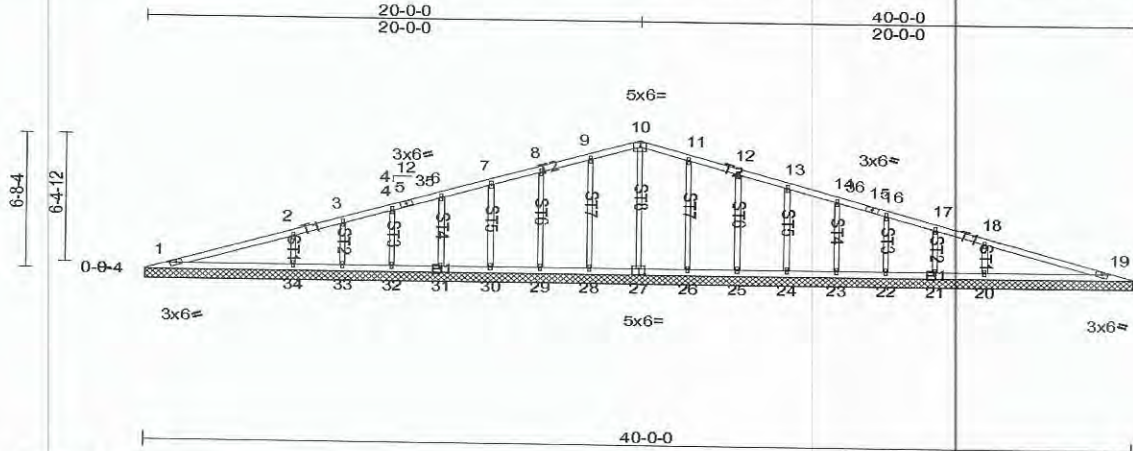
ALL PERSONS FABRICATING, HANDLING, ERECTING OR INSTALLING ANY TRUSS BASED UPON THIS TRUSS DESIGN DRAWING ARE INSTRUCTED TO REFER TO ALL OF THE INSTRUCTIONS, LIMITATIONS AND QUALIFICATIONS SET FORTH IN THE EAGLE METAL PRODUCTS DESIGN NOTES ISSUED WITH THIS DESIGN AND AVAILABLE FROM EAGLE UPON REQUEST. DESIGN VALID ONLY WHEN EAGLE METAL CONNECTORS ARE USED.

TrueBuild® Software v5.5.2.240
Eagle Metal Products
Dallas, TX 75234

Job QTREC0598676	Truss T1de	Truss Type Common	Qty 2	Ply 1	Job Reference (optional)
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Midwest Manufacturing, Eau Claire, WI

Run: 8:23 S Aug 28 2018 Print: 8:230 S Aug 28 2018 MITek Industries, Inc. Thu Jul 11 14:48:01
 ID:rhSaFmIUvMl6ywkF3KAoyz8FE-A?Bwze6AoWHqwnCl?Xp1le7G1Dt59W325XwHlyz6CC Page: 1



Scale = 1:84.7

Plate Offsets (X, Y): [27;0-3-0,0-3-0]

Loading	(psf)	Spacing	2-0-0	CSI		DEFL	in	(loc)	l/defl	L/d	PLATES	GRIP
TCLL (roof)	42.0	Plate Grip DOL	1.15	TC	0.40	Vert(LL)	n/a	-	n/a	999	MT20	197/144
Snow (Ps/Pg)	41.6/60.0	Lumber DOL	1.15	BC	0.25	Vert(TL)	n/a	-	n/a	999		
TCDL	7.0	Rep Stress Incr	YES	WB	0.29	Horiz(TL)	0.00	19	n/a	n/a		
BCLL	0.0*	Code	IRC2012/TPI2007	Matrix-R								
BCDL	10.0											

Weight: 136 lb FT = 15%

LUMBER
 TOP CHORD 2x4 SPF No.2
 BOT CHORD 2x4 SPF No.2
 OTHERS 2x3 SPF Stud

BRACING
 TOP CHORD
 BOT CHORD

Structural wood sheathing directly applied or 6-0-0 oc purlins.
 Rigid ceiling directly applied or 10-0-0 oc bracing.

MITek recommends that Stabilizers and required cross bracing be installed during truss erection, in accordance with Stabilizer Installation guide.

REACTIONS All bearings 40-0-0.
 (lb) - Max Horiz 1=-83 (LC 15)

Max Uplift All uplift 100 (lb) or less at joint(s) 1, 19, 20, 21, 22, 23, 24, 25, 26, 28, 29, 30, 31, 32, 33, 34
 Max Grav All reactions 250 (lb) or less at joint(s) 21, 27, 33 except 1=252 (LC 2), 19=252 (LC 2), 20=644 (LC 32), 22=285 (LC 2), 23=289 (LC 21), 24=334 (LC 21), 25=325 (LC 21), 26=337 (LC 21), 28=337 (LC 20), 29=325 (LC 20), 30=334 (LC 20), 31=289 (LC 20), 32=285 (LC 2), 34=644 (LC 31)

FORCES (lb) - Max. Comp./Max. Ten. - All forces 250 (lb) or less except when shown.
 WEBS 9-28=-296/50, 8-29=-285/60, 7-30=-292/57, 6-31=-253/56, 2-34=-482/130, 11-26=-296/50, 12-25=-285/60, 13-24=-292/57, 14-23=-253/56, 18-20=-482/130

JOINT STRESS INDEX
 1 = 0.43, 2 = 0.51, 3 = 0.51, 4 = 0.51, 5 = 0.17, 6 = 0.51, 7 = 0.51, 8 = 0.51, 9 = 0.51, 10 = 0.27, 11 = 0.51, 12 = 0.51, 13 = 0.51, 14 = 0.51, 15 = 0.17, 16 = 0.51, 17 = 0.51, 18 = 0.51, 19 = 0.43, 20 = 0.51, 21 = 0.51, 22 = 0.51, 23 = 0.51, 24 = 0.51, 25 = 0.51, 26 = 0.51, 27 = 0.31, 28 = 0.51, 29 = 0.51, 30 = 0.51, 31 = 0.51, 32 = 0.51, 33 = 0.51 and 34 = 0.51

- NOTES**
- Unbalanced roof live loads have been considered for this design.
 - Wind: ASCE 7-10; Vult=115mph (3-second gust) V(IRC2012)=91mph; TCDL=4.2psf; BCCL=6.0psf; h=25ft; Cat. II; Exp B; Enclosed; MWFRS (envelope) exterior zone and C-C Exterior (2) zone; cantilever left and right exposed; end vertical left and right exposed; C-C for members and forces & MWFRS for reactions shown; Lumber DOL=1.60 plate grip DOL=1.60
 - Truss designed for wind loads in the plane of the truss only. For studs exposed to wind (normal to the face), see Standard Industry Gable End Details as applicable, or consult qualified building designer as per ANSI/TPI 1.
 - TCLL: ASCE 7-10; Pr=42.0 psf (roof live load; Lumber DOL=1.15 Plate DOL=1.15); Pg=60.0 psf (ground snow); Ps=41.6 psf (roof snow; Lumber DOL=1.15 Plate DOL=1.15); Category II; Exp B; Fully Exp.; Ct=1.10
 - Roof design snow load has been reduced to account for slope.
 - Unbalanced snow loads have been considered for this design.
 - All plates are 1.5x4 MT20 unless otherwise indicated.
 - Gable requires continuous bottom chord bearing.
 - Gable studs spaced at 2-0-0 oc.
 - This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.
 - * This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a rectangle 3-06-00 tall by 2-00-00 wide will fit between the bottom chord and any other members.
 - Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 100 lb uplift at joint(s) 1, 28, 29, 30, 31, 32, 33, 34, 26, 25, 24, 23, 22, 21, 20, 19.
 - This truss is designed in accordance with the 2012 International Residential Code sections R502.11.1 and R602.10.2 and referenced standard ANSI/TPI 1.

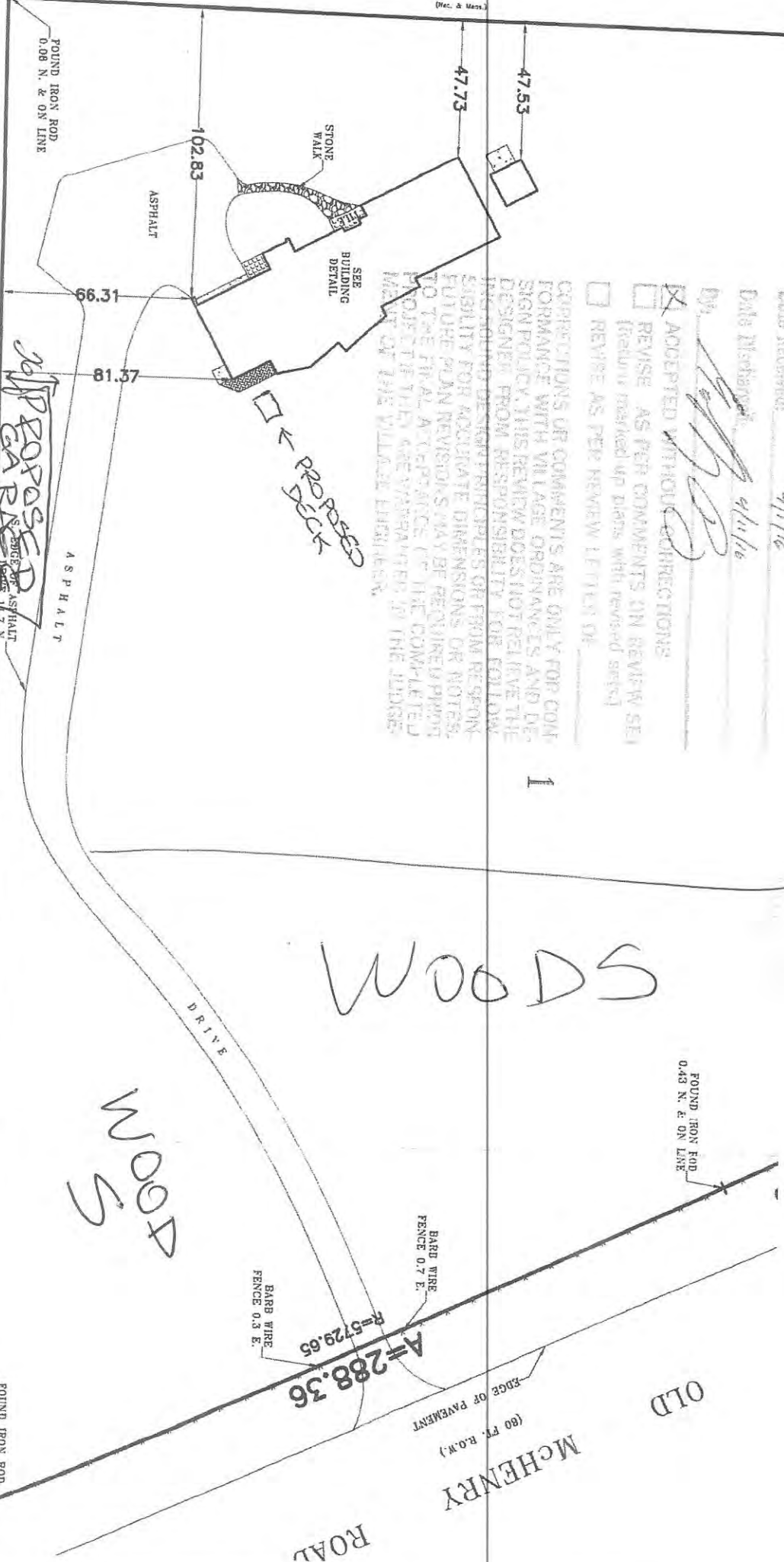
LOAD CASE(S) Standard

Date Received: 4/15/16

Date Discovered: 4/15/16

- ACCEPTED WITHOUT CORRECTIONS
- REVISE AS PER COMMENTS ON REVIEW SET (features marked up plans with revised set)
- REVISE AS PER REVIEW LETTER OF _____

CORRECTIONS OR COMMENTS ARE ONLY FOR COMPLIANCE WITH VILLAGE ORDINANCES AND DESIGN POLICY. THIS REVIEW DOES NOT RELIEVE THE DESIGNER FROM RESPONSIBILITY FOR FOLLOWING DESIGN PRINCIPLES OR FROM RESPONSIBILITY FOR ADEQUATE DIMENSIONS, OR NOTES, TO THE FINAL APPROVAL OF THE COMPLETED PROJECT. THIS AGREEMENT IS VARIATED BY THE JUDGEMENT OF THE VILLAGE ENGINEER.



APPROVED PER
VILLAGE OF LONG GROVE
ZONING CODE
Date 4/15/16

PROPOSED
EASEMENT
11.7 N.

536.15
(Per & Mass)

WOODS

WOODS

OLD

MCHENRY ROAD

ROAD

PREFERRED SURVEY, INC.

7845 W. 79TH STREET, BRIDGEVIEW, IL, 60455
Phone 708-458-7845 / Fax 708-458-7855
www.psissurvey.com

Professional Design Registration #184-002795	
Field Work Completed	07/11/07
Land Area Surveyed	144,903.1 Sq. Ft.
Drawing Revised	



ATTACHMENT TO EXHIBIT "E"

PROPOSED GARAGE TO BE LOCATED APPROX. 38 FT SOUTH OF THE SOUTHWESTERNMOST CORNER OF THE EXISTING HOME, AND APPROX 60 FEET SOUTH OF THE SOUTHEASTERNMOST CORNER OF SAID EXISTING HOME.

PROPOSED GARAGE TO BE APPROX 5-6 FEET NORTH OF THE SOUTHERNMOST PROPERTY LINE.

PROPOSED GARAGE TO RUN PARALEL TO EXISTING PAVED DRIVEWAY, APPROX. 436 FEET WEST OF OLDMCHENRY RD.

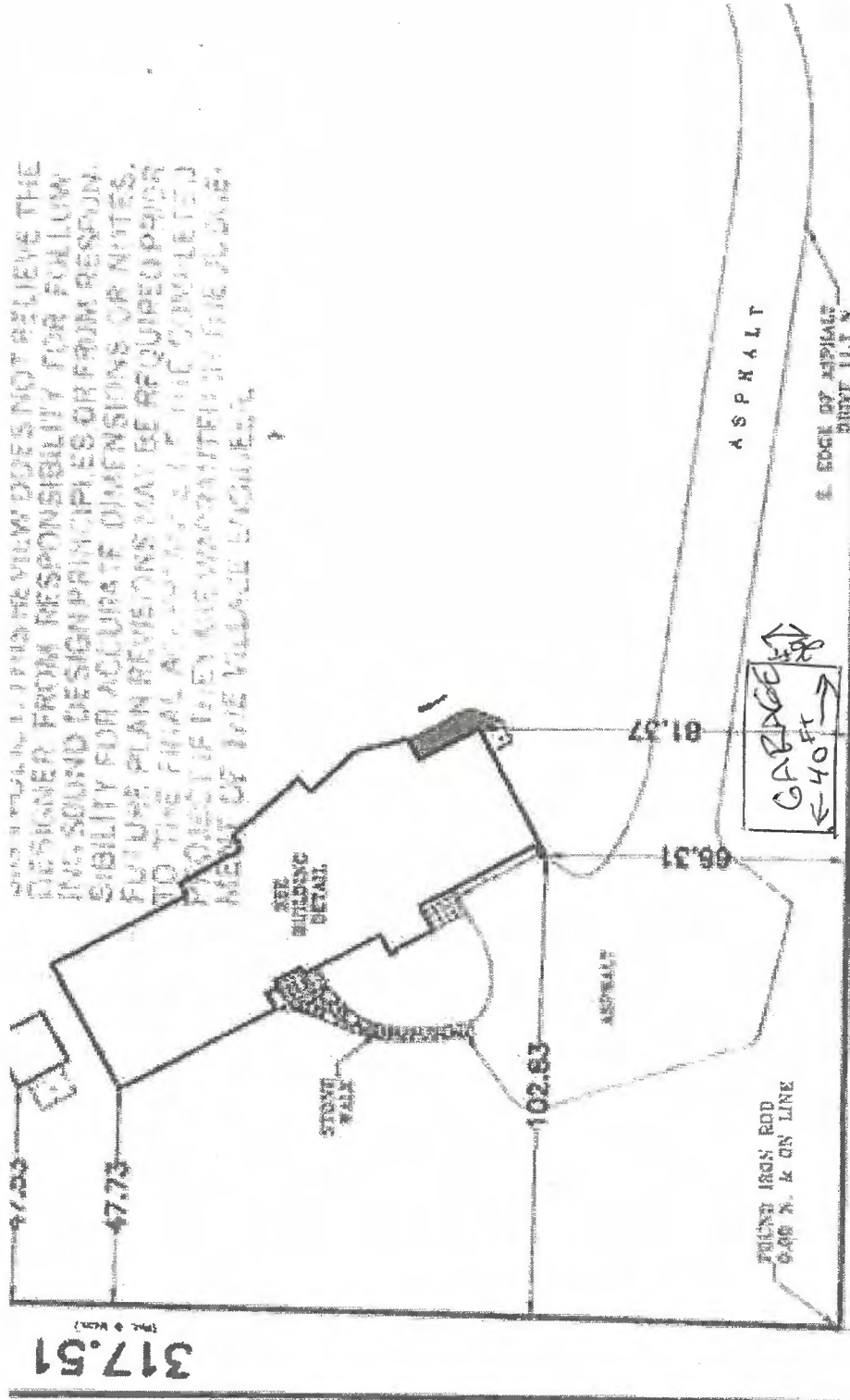
PER FIELD LAYOUT PICTURES ATTACHED, THE STRAIGHT GREEN MARKED LINE TO THE SOUTHERNMOST PART OF THE PROPERTY DENOTES SOUTHERNMOST PROPERTY LINE.

PER THE LAYOUT PHOTOS ATTACHED, THE STAKED AND GREEN TAPED RECTANGULAR PORTION DENOTES THE APPROX PLACEMENT OF THE PROPOSED ATTACHED GARAGE.





EXHIBIT "E"



536.15
(Per 6 Lines)

APPROVED PER
DATE OF LONG GRAB



	3305 OLD MCHENRY LOT SQ FT IN TOTAL-APPROX. 143,000	
	EXISTING RESIDENCE	SLAB APPROX-1800 SQ FT
	EXISTING DRIVEWAY	(PAVED SURFACE) APPROX. 3100
	EXISTING SHED-APPROX. 100 SQ FT.	

PROPOSED DETACHED GARAGE-APPROX. 1040 SQ FT

VARIANCE APPLICATION RESPONSES:

FORM "A"

- a. **LOT SETBACK VARIATION FROM 50FT TO 5FT.**
- b. **5-3-12, ATTACHED EXHIBIT "A"**
- c. **THE MOST REASONABLE PLACE TO LOCATE THE PROPOSED ATTACHED GARAGE ON OUR PROPERTY, BASED ON NO OTHER DRIVEWAY ACCESS WITHIN THE ENTIRE PARCEL.**
- d. **SEEKING TO RECEIVE A CONSTRUCTION SETBACK OF 5 FT FROM THE SOUTHERNMOST PROPERTY LINE.**
- e. **THE PROPOSED GARAGE STRUCTURE IS CONSISTENT WITH ALLM OTHER FREESTANDING GARAGE AND STRUCTURES WITHIN THIS AREA OF LONG GROVE.**

5-11-15 RESPONSES

- A. **THE PHYSICAL SURROUNDINGS OF THE PROPERTY ; ie WOODS, UTILITYS AND CURRENT LOCATION OF EXISTING HOME AND DRIVEWAY NECESSITATE THE NEED FOR THE VARIATION.**
- B. **OUR HOME AS WELL AS THE PROPOSED DETACHED GARAGE IS REMOTELY LOCATED APPROX 400 FEET FROM OLD MCHENRY RD AND AS SUCH WILL NOT BE VISIBLE TO PASSERBY TRAFFIC OR 99% OF GREATER LONG GROVE COMMUNITY.**
- C. **THIS PROPOSED DETACHED GARAGE IS STRICTLY OF FUNCTIONAL USE AND NEED OF OUR FAMILY.**
- D. **THE CONDITIONS OF THE EXISTING PROPERTY LAYOUT WERE ESTABLISHED APPROX 50 YEARS PRIOR TO OUR PURCHASE AND AS SUCH ARE BEYOND OUR CONTROL.**
- E. **IF THE CURRENT ZONING WERE STRICTLY ENFORCED AND THE PROPOSED SETBACK RELIEF WERE NOT GRANTED, THE PROPERTY WOULD BECOME SOMEWHAT UNSUITABLE FOR OUR CURRENT GARAGING NEEDS.**
- F. **WITHOUT THIS SETBACK VARIATION, THERE WOULDN'T BE ANOTHER ALTERNATE SUITABLE LOCATION FOR THE PROPOSED GARAGE WITHIN OUR PARCEL LIMITS.**

EXISTING HOUSE IS LOCATED IN THE SOUTHWESTERNMOST QUADRANT OF OUR PARCEL, AND AS SUCH THE DRIVEWAY ACCESS IS LIMITED AND NONEXISTENT IN ANY OTHER QUADRANTS OF THE PARCEL. AS SUCH, REQUIRING PROPOSED GARAGE TO BE BUILT IN THE SOUTHERNMOST QUADRANT OF THE PROPERTY.

IF THE PROPOSED GARAGE IS BUILT, IT WOULDN'T CHANGE THE CHARACTER OF OUR PARCEL OR THE SURROUNDING NEIGHBORHOOD. THE PROPOSED GARAGE WILL BLEND NICELY WITH OUR HOME AND NOT BE NOTICABLE TO SURROUNDING NEIGHBORS AS REFERENCED BY ATTACHED EXHIBIT "B" PLAT.

FURTHERMORE; IF THE REQUESTED VARIATION WERE APPROVED, AND THE PROPOSED DETACHED GARAGE WERE BUILT, IT WOULD NOT PROSE ANY DANGER OR DETRIMENT TO ANY SURROUNDING PROPERTIES OR THE GREATER LONG GROVE AREA.

EXHIBIT "B"

DESCRIPTION OF LOCATION OF PROPOSED DETACHED GARAGE

LOCATION OF THE PROPOSED DETACHED GARAGE AS NOTED ON EXHIBIT "B" , IS AS FOLLOWS:

APPROX. 5 FEET FROM SOUTHERNMOST PROPERTY LINE, AND ADJACENT TO THE ASPHALT DRIVE ON THE SOUTHERN PART OF THE PARCEL WITH ACCESS TO OLD MCHENRY RD. APPROX. 300-400 FEET FROM NEIGHBORING PROPERTY TO THE ADJACENT SOUTH PART OF THE PARCEL. APPROX 15-20 FOOT EXISTING EVERGREEN TREES ARE LOCATED BETWEEN THE PROPOSED GARAGE AND THE SOUTHERN ADJACENT PROPERTY MAKING THE PROPOSED GARAGE UNSEEABLE TO THE ADJACENT NEIGHBORING PROPERTIES.

ENGINEERING

JOB COPY OF SURVEY

OF LOT 1 IN A. W. BOHNER'S SUBDIVISION OF PART OF THE SOUTHWEST
 WEST OF THE CENTER LINE OF HIGHWAY, IN LAKE COUNTY, ILLINOIS.
 ADDRESS: 3306 OLD MCHENRY ROAD, LONG GROVE, ILLINOIS
 381.00
 1/4 OF SECTION 24, TOWNSHIP 43 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING

GEWALT-HAMILTON ASSOCIATES, INC.
 MUNICIPAL PLAN REVIEW

Village of Long Grove

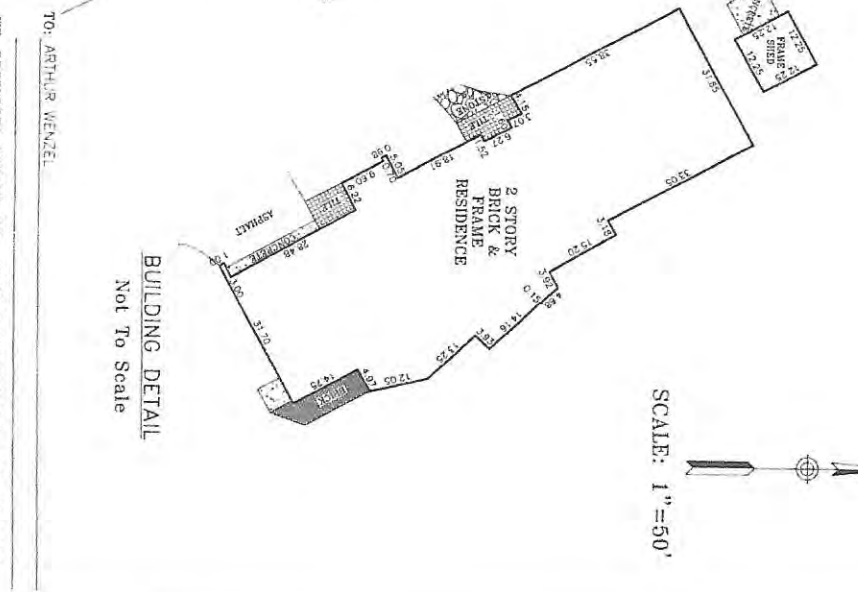
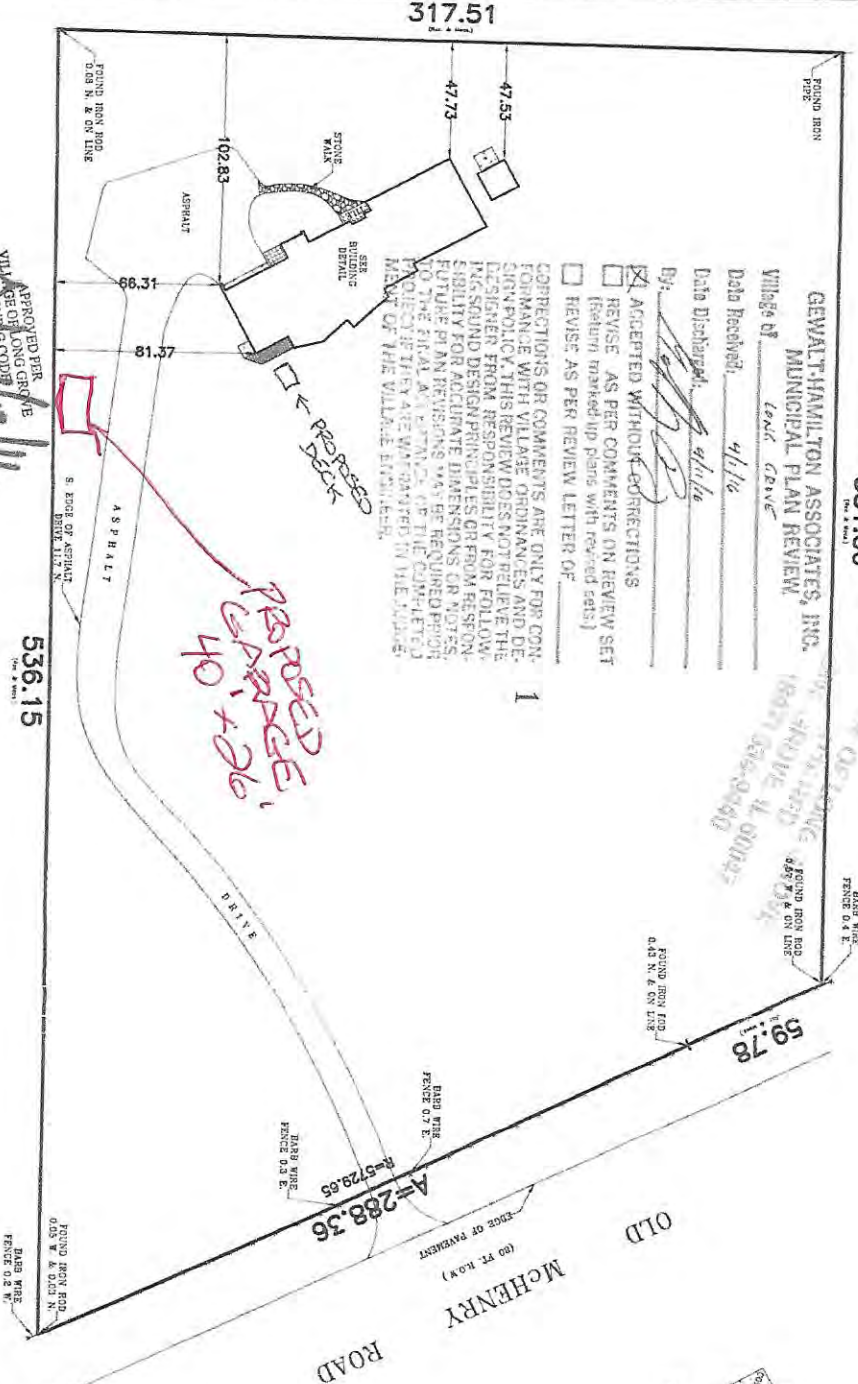
Date Received: 4/16

Date Dispatched: 4/16

By: [Signature]

- ACCEPTED WITHOUT CORRECTIONS
- REVISE AS PER COMMENTS ON REVIEW SET (Return marked up plans with revised sets.)
- REVISE AS PER REVIEW LETTER OF _____

CORRECTIONS OR COMMENTS ARE ONLY FOR CONFORMANCE WITH VILLAGE ORDINANCES AND DESIGN POLICY. THIS REVIEW DOES NOT BELIEVE THE DESIGNER FROM RESPONSIBILITY FOR FOLLOWING SOUND DESIGN PRINCIPLES OR PROVIDING SUFFICIENT ACCURATE DIMENSIONS OR NOTES TO THE FINAL PLAN. REVISIONS MAY BE REQUIRED PRIOR TO THE FINAL PLAN. REVISIONS TO BE COMPLETED PRIOR TO THE NEXT MEETING IN THE OFFICE OF THE VILLAGE ENGINEER.



APPROVED PER
 VILLAGE OF LONG GROVE
 [Signature]
 4/13/16

PREFERRED SURVEY, INC.

7945 W. 70TH STREET, BUNGEVIEW, IL 60455
 Phone 708-458-7845 / Fax 708-458-7855
 www.psisurvey.com

Professional Design Registration #184-002705	27/1/07
Field Work Completed	44,903 Sq Ft
Land Area Surveyed	
Drawing Revised	



WE, PREFERRED SURVEY, INC., ILLINOIS PROFESSIONAL LAND SURVEYOR CORPORATION NO. 116 HAVE SURVEYED THE PROPERTY DESCRIBED HEREON AND THAT THE PLAT SHOWN HEREON IS A TRUE AND CORRECT REPRESENTATION OF THAT SURVEY. ALL DIMENSIONS SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF. THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY. PROPERTY CORNERS ARE SET OR NOT BY CLIENT AGREEMENT. MY LICENSE RENEWS ON NOVEMBER 30, 2008.

GIVEN UNDER OUR HAND AND SEAL AT SPRINGFIELD, ILLINOIS, THIS 12TH DAY OF JULY, A.D. 2007.

ILLINOIS PROFESSIONAL LAND SURVEYOR CORPORATION #116
 P.S.I. NO. 0779552
 RND GEBW CC/WB/JC
 RMB

ENGINEERING

JOB COPY PLAT OF SURVEY

OF LOT 1 IN A. W. BOHNE'S SUBDIVISION OF PART OF THE SOUTHEAST 1/4 OF SECTION 24, TOWNSHIP 14 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING WEST OF THE CENTER LINE OF HIGHWAY, IN LAKE COUNTY, ILLINOIS.
ADDRESS: 3305 OLD McHENRY ROAD, LONG GROVE, ILLINOIS

381.00
(Per Acre)

GEWALT-HAMILTON ASSOCIATES, INC.
MUNICIPAL PLAN REVIEW

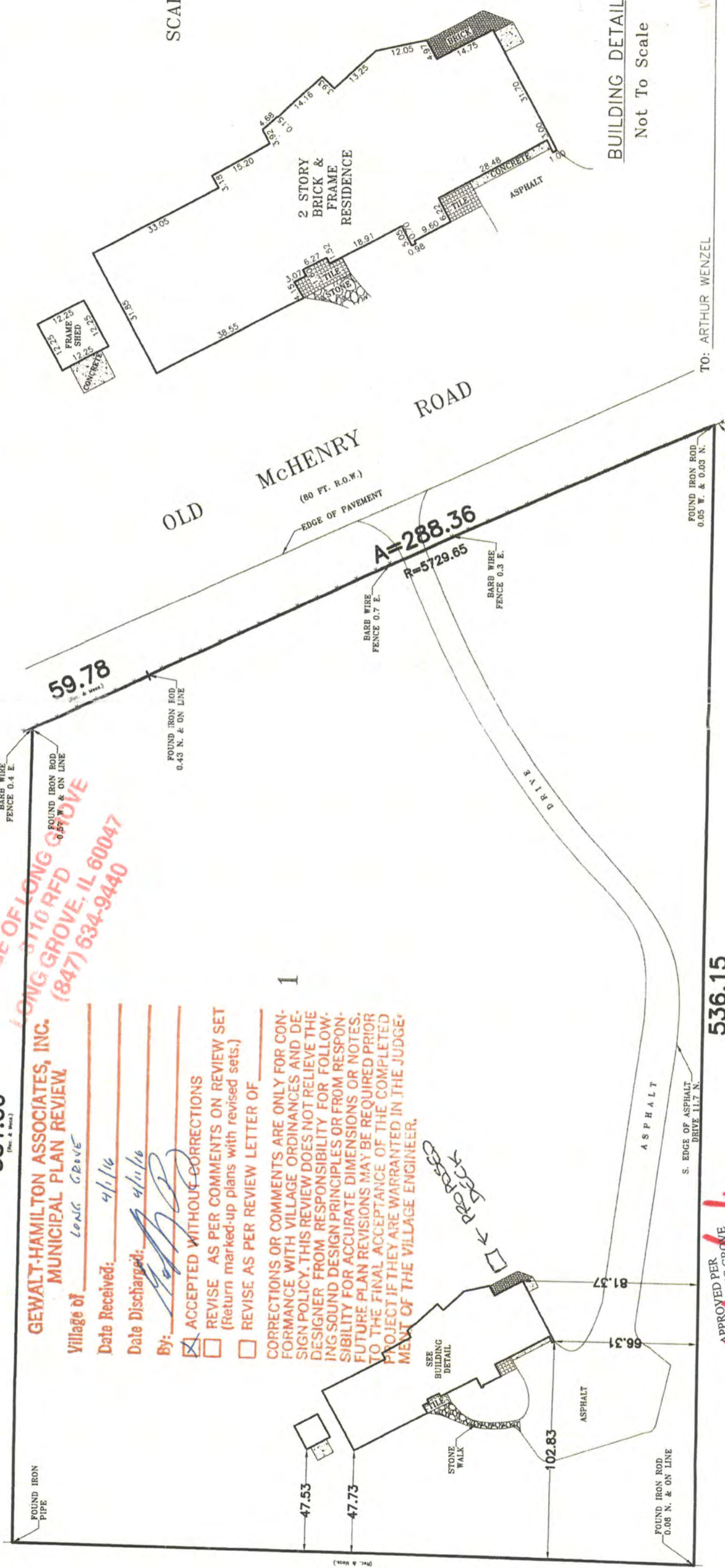
Village of LONG GROVE
Date Received: 4/1/16
Date Discharged: 4/1/16
By: [Signature]

- ACCEPTED WITHOUT CORRECTIONS
- REVISE AS PER COMMENTS ON REVIEW SET (Return marked-up plans with revised sets.)
- REVISE AS PER REVIEW LETTER OF _____

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SCALE: 1"=50'

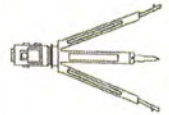


BUILDING DETAIL
Not To Scale

TO: ARTHUR WENZEL

536.15
(Per Acre)

APPROVED PER
[Signature]
VILLAGE OF LONG GROVE
ZONING CODE
Date 4/13/16



PREFERRED SURVEY, INC.

7845 W. 79TH STREET, BRIDGEVIEW, IL, 60455
Phone 708-458-7845 / Fax 708-458-7855
www.psisurvey.com

Professional Design Registration #184-002795
Field Work Completed 07/11/07
Land Area Surveyed 144,903.1 Sq. Ft.
Drawing Revised



WE, PREFERRED SURVEY, INC., ILLINOIS PROFESSIONAL LAND SURVEYOR CORPORATION NO. 116 HAVE SURVEYED THE PROPERTY DESCRIBED HEREON AND THAT THE PLAT SHOWN HEREON IS A CORRECT REPRESENTATION OF THAT SURVEY, ALL DIMENSIONS SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF. THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY. PROPERTY CORNERS ARE SET OR NOT BY CLIENT AGREEMENT. MY LICENSE RENEWS ON NOVEMBER 30, 2008.
GIVEN UNDER OUR HAND AND SEAL AT BRIDGEVIEW, ILLINOIS, THIS
12TH DAY OF JULY A.D. 2007

ILLINOIS PROFESSIONAL LAND SURVEYOR CORPORATION #116
P.S.I. NO. 0779552
CD/MB/TC
RMB
CAD

RECEIVED
MAR 30 2016

LEGAL NOTICE
VILLAGE OF LONG GROVE, ILLINOIS
NOTICE OF PUBLIC HEARING BEFORE THE
VILLAGE OF LONG GROVE PLAN COMMISSION &
ZONING BOARD OF APPEALS

PUBLIC NOTICE IS HEREBY GIVEN that on May 2, 2023, at the Long Grove Village Hall, 3110 Old McHenry Road, Long Grove, IL 60047, at the hour of 7:00 p.m., a public hearing will be held during the meeting of the Plan Commission & Zoning Board Appeals (PCZBA) of the Village of Long Grove, Lake County, Illinois (unless otherwise set forth in the agenda to be posted) in connection with a petition by Kevin Rose for a variation from the required side yard setback within the R1 Zoning District and/or any other necessary or appropriate zoning relief relating to a proposed detached garage on the property located at 3305 Old McHenry Road, all in accordance with the application on file with the Village of Long Grove.

Address: 3305 Old McHenry Road

P.I.N. 14-24-401-026

All persons who attend the hearing shall have the opportunity to make oral comments and ask questions concerning the proposed development and requested zoning relief described in this notice.

Additionally, any person may submit written comments regarding the matters set forth herein by email sent to: sshigman@longgroveil.gov prior to the public hearing or in-person at the public hearing. Written comments should include the full name and address of the author and include in the subject line "Re: 3305 Old McHenry Road." All written comments received prior to the publication of the meeting agenda will be included in the official hearing record, but no such public comment shall be treated as testimony with respect to the subject of this public hearing unless it includes the following statement: "The comments herein provided are true to my best knowledge and belief under penalty of perjury."

The PCZBA may continue the hearing to a later date, time, and place should that become necessary without further public notice, other than notice entered upon the minutes of the public hearing.

Dated at Long Grove, Illinois this 12th day of April 2023

Helen Wilson, Chair, Village of Long Grove PCZBA

Published in Daily Herald April 17, 2023 (4598444)

CERTIFICATE OF PUBLICATION

Paddock Publications, Inc.

Lake County
Daily Herald

Corporation organized and existing under and by virtue of the laws of the State of Illinois, DOES HEREBY CERTIFY that it is the publisher of the **Lake County DAILY HERALD**. That said **Lake County DAILY HERALD** is a secular newspaper, published in Libertyville, Lake County, State of Illinois, and has been in general circulation daily throughout Lake County, continuously for more than 50 weeks prior to the first Publication of the attached notice, and a newspaper as defined by 715 ILCS 5/5.

I further certify that the **Lake County DAILY HERALD** is a newspaper as defined in "an Act to revise the law in relation to notices" as amended in 1992 Illinois Compiled Statutes, Chapter 715, Act 5, Section 1 and 5. That a notice of which the annexed printed slip is a true copy, was published 04/17/2023 in said **Lake County DAILY HERALD**. This notice was also placed on a statewide public notice website as required by 5 ILCS 5/2.1.

BY *Danula Baltz*
Designee of the Publisher of the Daily Herald

Control # 4598444



PCZBA-04-2023

215-235 Robert Parker Coffin Road



PLAN COMMISSION/ZONING BOARD OF APPEALS STAFF REPORT

To: Chairperson Wilson
PCZBA Commissioners

From: Taylor Wegrzyn, Planner

Meeting Date: May 2, 2023

Property: 215-235 Robert Parker Coffin Road (Joanie's Pizzeria of Long Grove)

Re: PCZBA-04-2023
Special Use Permit – Outdoor Dining

Attachments: 1. Location Map
2. Petitioner's Packet
3. PCZBA Public Comments Received (by April 26th)
4. Architectural Commission Meeting Packet (May 16, 2022)
5. Architectural Commission Meeting Minutes (May 16, 2022)
6. Public Comments Received in 2022 Concerning Prior Application
7. Certificate of Publication

Status: Complete petition submitted 03/31/2023
Referral by Village Board: Not required
Publication: Daily Herald on March 20, 2023

Applicant: New Midwest Capital
1111 Willis Ave
Wheeling, IL 60090

Subject Property

- 215-235 Robert Parker Coffin Road
- PINs: 15-30-100-032
- Zoning: B1 Historic Business District

History

The subject property is a tenant space within the Mill Pond Shoppes. Joanie's Pizzeria has been a tenant for many years. An outdoor dining area on an exterior deck has been in use since approximately 2003. The building structure dates to the 1970's.

In 2003 the Village Board authorized the approval of a Special Use Permit for outdoor dining at 235 Robert Parker Coffin Road. The owners of the property at that time were Sherman and Miriam Gerber. The present owners is New Midwest Capital LLC.

The 2003 ordinance approving of the Special Use Permit placed several conditions on the use which are summarized below. This is the ordinance through which the restaurant has been operating under ever since.

- 1) Compliance with the standards applicable to Outdoor Dining Special Use Permits;
- 2) Patio seating limited to 32 seats;
- 3) Limited to full service dining. Receptions and other similar activities prohibited;
- 4) Hours of operation limited to no later than:
 - (a) 9:30 p.m. on Sunday – Thursday
 - (b) 10:30 p.m. Friday and Saturday
- 5) No music or amplified sound;
- 6) An aerator fountain to be installed in the pond;
- 7) The existing dumpster enclosure was to be enclosed;
- 8) Lighting plans to be reviewed by the Village. Lighting to be shielded. Parking lot lights to be on timers so as to shut off one hour after business closes;
- 9) Must comply with all other codes and laws;
- 10) Landscaping plan dated June 18, 2003 to be completed and Architectural Board to consider revised plans for additional landscaping between the parking lot and the pond.

Architectural Commission

The project was previously presented to the Architectural Commission on May 16, 2023. The Architectural Commission considered the design, materials, style, and colors of the project. At the conclusion of the meeting, the Architectural Commission voted 4-0 to recommend approval of the improvements with the following conditions:

- 1) Plans for newel posts with additional detailing and in character with the immediate vicinity are to be submitted for review by staff and the Commission Chair.
- 2) Planters will be placed along 50% of the deck railing.
- 3) Subject to any additional requirements or review by the Plan Commission and Zoning Board of Appeals and Village Board resulting from the proposed use of the deck expansion.

The applicant agreed to address these three conditions and applied for a Special Use Permit to obtain approval for use of the deck as Outdoor Dining. A public hearing before the PCZBA was scheduled for June 7, 2022; however, the applicant withdrew their request prior to the meeting.

The owners have decided to pursue the project again and reapplied for a Special Use Permit on March 31, 2023.

Should the PCZBA require, or the applicant propose, changes to the design of the project, it will require additional review by the Architectural Commission.

Request

Pursuant to Section 5-4-5(A)(3) of the Long Grove Municipal Code, the Petitioner is requesting a Special Use Permit to allow for an expansion to the existing Outdoor Dining area on the property.

Project Description

The Petitioner is requesting a Special Use Permit to allow for an outdoor dining area on a proposed deck expansion located north of the existing building and east of the existing deck. The deck expansion has dimensions of 15' by 39' and would match the northern line of the existing deck. The existing deck is approximately 22' by 28' in size.

The proposed deck would have a capacity for 24 additional seats. No lighting or sound systems are proposed. No awning, roof, or other overhead structures are proposed. The proposed deck satisfies the B1 Zoning District setback, bulk, and yard regulations.



Figure 1: location of proposed deck expansion



Figure 2: rear of existing structure, from parking lot

Land Use, Zoning, and Locational Data

1. Existing Zoning: B1 Historic Business District
2. Proposed Zoning: Same
3. Surrounding Land Uses:

Direction	Existing Use	Land Use Plan/Zoning
North	Residential	Single Family Residential/ R2 PUD
South	Commercial	Downtown/B1 Historic Business
East	Residential/ Commercial	Single Family Residential/R2 PUD Downtown/B1 Historic Business
West	Commercial	Downtown/B1 Historic Business

4. Location of Improvements: 235 Robert Parker Coffin Road, north side of the northern building, east of the existing deck.
5. Flood/Wetlands: According to LC Mapping, the pond is within the Lake County Wetland Inventory. The deck expansion does not encroach the wetland.
6. Bulk and Yard Regulations:

B-1 District Standards:

- a). Front Yard: 20 foot
- b). Side Yard: 15 foot
- c). Rear Yard 15 foot
- d). 80% impervious coverage maximum

Special Use Permit – Outdoor Dining

In addition to those general standards applicable to Special Use Permits (outlined later in this report), Section 5-4-5(A)(3) of the Long Grove Municipal Code provides additional standards specific to Outdoor Dining within the B1 Historic Business District. These additional standards are as follows:

- a) The outdoor dining use must be an integral part of the principal use.
- b) The outdoor dining area may only be in use during the hours that the primary restaurant use is in operation, but in no event shall the outdoor dining area be in use between the hours of 11:00 p.m. and 8:00 a.m., unless otherwise approved by the Village Board.
- c) Unless otherwise provided in the special use permit upon good cause shown, the operation of the outdoor dining use shall not eliminate any required open space, green areas, or parking spaces, and the use of the outdoor dining area shall comply with the off-street parking requirements of section 5-9-4 of this title. The outdoor dining area shall be considered as part of the principal use when determining the maximum floor area permitted in footnote 8 of the table in section 5-4-10 of this chapter.
- d) The principal use must have adequate restrooms for the additional capacity. If the Village determines that the additional capacity of the outdoor dining use necessitates additional public restrooms, such additional restrooms shall be provided. In addition, any such additional capacity shall be subject to the approval of the Fire Marshal.
- e) No music or amplified sounds shall be permitted in the outdoor dining area, unless otherwise approved by the Village Board.
- f) Any outdoor dining area illumination system shall be subject to the review and approval of the Architectural Board.
- g) Foodstuffs and beverages sold or delivered in the outdoor dining area must be consumed on site.
- h) If the special use would be in proximity to a residential use, mitigating strategies may be required, dependent upon distance to the residential use, intervening structures, the proposed hours of operation, and other pertinent factors.

It should be noted that the standards applicable to the Special Use Permit for Outdoor Dining are different than those for the Temporary Use Permit for Outdoor Dining. While these standards are similar in content, one notable difference is that Temporary Use Outdoor Dining areas must be at least 300 feet from a residentially zoned property. A Temporary Use Outdoor Dining area is one which is (1) established for a fixed amount of time with a known expiration date and (2) does not involve the installation of

permanent structures. Because the applicant's project is not temporary and involves the installation of permanent structures, the applicable standards and processes are those of the Special Use Permit.

Analysis

In the opinion of Long Grove Staff, the proposed project can satisfy the Village codes and standards applicable to Outdoor Dining as a Special Use Permit and the proposed plans do not expressly conflict with the Outdoor Dining Special Use Permit Standards. Additional comments made by Staff during its review of the application are as follows:

Engineering:

- 1) A Stormwater Permit is required for this activity.
- 2) Silt fence, meeting the Lake County Stormwater Management Commission's standard detail, should be available on site for installation should high erosion control potential occur.
- 3) If the existing electrical outlet, currently located east of the deck, is being relocated this change needs to be added to the plans. Per the Watershed Development Ordinance, it will need to be at least 2-feet above the BFE, which is 712.0.

Building: Permit plans for the deck will need to be drawn by an Illinois Licensed architect as this is a commercial facility and is required by the State of Illinois.

Comprehensive Plan and Planning Documents

The Village of Long Grove's *Historic Downtown and Business District Planning and Design Guidelines*, dated June 2008, provides certain criteria for new construction within the Village's downtown area. The subject property is located within this area. The Architectural Commission made its recommendation at their May 16, 2022 meeting having considered how the project incorporates these guidelines. Their recommendation included conditions which would bring the project more in alignment with the guidelines.

The subject property is located within the *Long Grove Comprehensive Plan Triangle Area/Historic Downtown* subarea (subarea site 3). The subject property is designated for Commercial Uses under the Plan's *Future Land Use Plan*. Two "Key Planning Themes" of the Plan relevant to the proposed project are: (1) Maintaining Long Grove's Legacy and Community Character, and (2) Providing Opportunities for Economic Growth.

The Village of Long Grove *Downtown Master Plan 2008* provides additional recommendations specific to the Historic Downtown area. Key recommendations and points from this plan which are relevant to the proposed project include:

- Coordinate with developers to ensure that the quality and character of proposed projects meet the Village's standards and the community expectations and fit into Downtown's historic fabric.
- Build on Downtown's existing charm, character, image, and identity.
- Build on Downtown's positive existing business mix.
- Expand the existing business mix to provide for the daily needs of local residents.
- Downtown has a unique image as a special place to visit.

- Expanding Downtown's customer base will be sustainable only if a wide variety of visitors are enticed to return again and again.

Special Use Permit Standards

In making its determination, the PCZBA should utilize the standards for a Special Use Permit. The applicable standards are listed below.

1. *General Standards.* No special use permit shall be recommended or granted pursuant to this section unless the owner shall establish that:
 - (a) It is deemed necessary for the public convenience at that location;
 - (b) It is so designed, located and proposed to be operated that the public health, safety and welfare will be protected;
 - (c) It will not cause substantial injury to the value of other lots in the neighborhood in which it is located;
 - (d) It conforms to the applicable regulations of the district in which it is to be located, except as may be recommended by the plan commission and approved by the village board or, except in the case of a planned development; and
 - (e) Owner can demonstrate, to the satisfaction of the village, that it has the capability and capacity, including, without limitation, the technological, personnel, and financial resources, to complete the project as proposed.
2. *Special Standards for Specified Special Uses.* When the district regulations authorizing any special use in a particular district impose special standards to be met by such use in such district, a permit for such use in such district shall not be recommended or granted unless the owner shall establish compliance with such special standards.
3. *Considerations.* in determining whether the owner's evidence establishes that the foregoing standards have been met, the plan commission shall consider:
 - (a) *Public Benefit.* Whether and to what extent the proposed use and development at the particular location requested is necessary or desirable to provide a service or a facility that is in the interest of the public convenience or that will contribute to the general welfare of the neighborhood or community.
 - (b) *Alternative Locations.* Whether and to what extent such public goals can be met by the location of the proposed use and development at some other site or in some other area that may be more appropriate than the proposed site.
 - (c) *Mitigation of Adverse Impacts.* Whether and to what extent all steps possible have been taken to minimize any adverse effects of the proposed use and development on the immediate vicinity through building design, site design, landscaping, and screening.

Conclusions

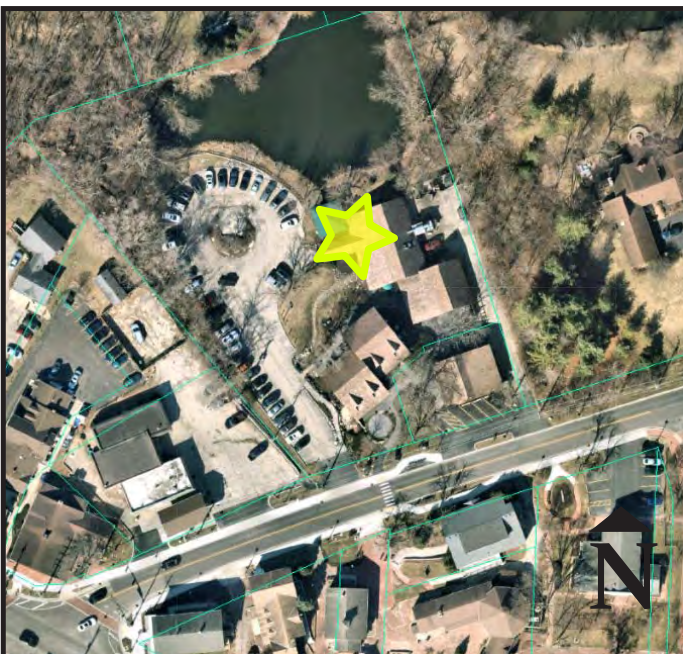
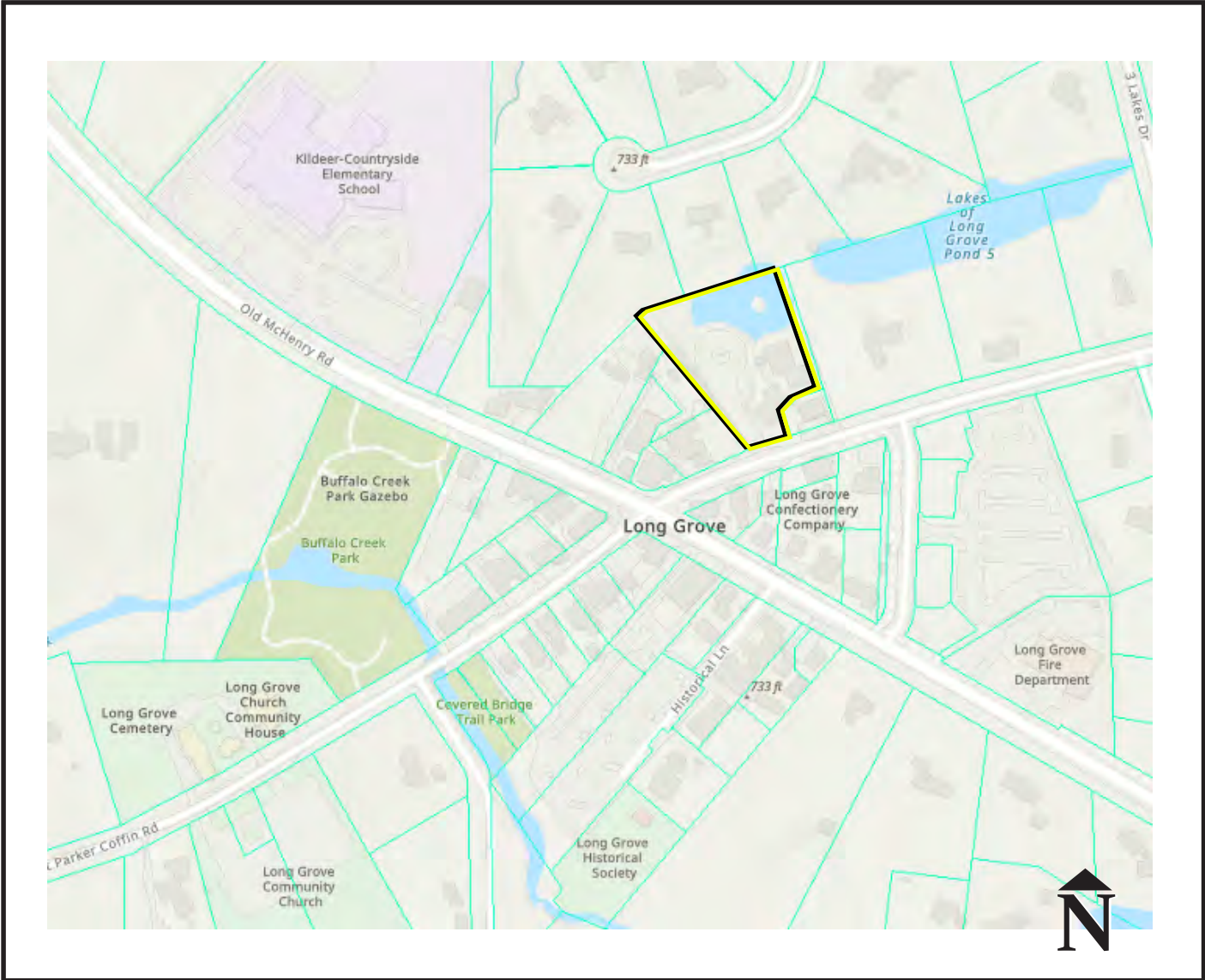
The PCZBA should review this petition in accordance with the standards identified above: both those applicable generally to all Special Use Permit requests and those specific to Outdoor Dining. If the Commission finds that the proposed project satisfies all these standards, the Commission should recommend approval of the request and

refer it to the Village Board for their vote. Conversely, if the Commission finds that the project does not satisfy these requirements, a recommendation for denial can be considered.

As a Special Use Permit, the Village Board has the authority to place conditions on its approval and make its determination based on the specific findings and factors related to this petition. The Plan Commission and Zoning Board of Appeals is a recommending body and only the Village Board has the authority to grant or deny a Special Use Permit application.

TW

Location Map: 215-235 Robert Parker Coffin Road



Legend

 Subject Property





3110 Old McHenry Road • Long Grove, IL 60047-9635

Phone: 847-634-9440 • Fax: 847-634-9408

www.longgroveil.gov

PLAN COMMISSION ZONING BOARD OF APPEALS GENERAL ZONING APPLICATION

1.0 General Information (See Subsection 5-11-8(E) of the Long Grove Zoning Code).

1.1 Applicant Name: NEW MIDWEST CAPITAL
Address: 1111 WILLIS AVE WHEBRING, IL 60090
Telephone Number: 847 420-1785 Fax number: _____
E-mail Address: KSWIECK@NEWMIDWESTGROUP.COM
Applicant's Interest in Property: MANAGER

1.2 Owner (if different from Applicant).

Name: _____
Address: _____
Telephone Number: _____ Fax number: _____
E-mail Address: _____

1.3 Property.

Address of Property: 235 ROBERT PARKER COFFIN RD.
Legal Description: Please attach Parcel Index Number(s): _____
Present Zoning Classification: B-1 Size of Property (in acres): _____
Has any zoning reclassification, variation, or special use permit/PUD been granted for the Property?
Yes: No:

If yes, please identify the ordinance or other document granting such zoning relief: _____

Describe the nature of the zoning relief granted: SPECIAL USE

Present use of Property:

Residential _____ Commercial X Office _____ Open Space _____ Vacant _____

Other (explain) _____

Present zoning and land use of surrounding properties within 250' of Property:

	Zoning Classification	Land Use
North:	<u>R-2 PUD</u>	<u>RESIDENTIAL</u>
South:	<u>B-1</u>	<u>COMMERCIAL</u>
East:	<u>R-2 PUD</u>	<u>RESIDENTIAL</u>
West:	<u>B-1</u>	<u>COMMERCIAL</u>

1.4 Trustees Disclosure.

Is title to the Property in a land trust? Yes _____ No X

If yes, full disclosure of all trustees, beneficiaries and their legal and equitable interests is required. Attach a copy of all documents showing ownership of the Property and the Applicant's and/ or Owner's control of or interest in the Property.

1.5 Requested Action (Check as many as are applicable).

_____ Appeal	_____ Code Interpretation
_____ Variation	<u>X</u> Special Use Permit (non-PUD)
_____ Zoning Map Amendment (rezoning)	_____ Zoning Code Text Amendment
_____ Preliminary PUD Plat	_____ Final PUD Plat

1.6 Supplemental Information (General):**

Every Application filed shall, in addition to the data and information required above, provide the following general information when applicable to the use or development for which approval is being sought:

- (a) A description or graphic representation of any development or construction that will occur or any use that will be established or maintained if the requested relief is granted.
- (b) A table showing the following, as applicable:
 - the total lot area of the lot, in acres and in square feet; and
 - the total existing and proposed lot area, expressed in acres, in square feet and as a percent of the total development area, devoted to: residential uses, business uses; office uses; college uses; institutional uses; open space; rights-of-way; streets; and off-street parking and loading areas; and
 - the existing and proposed number of dwelling units; and gross and net floor area devoted to residential uses, business uses, office uses, college uses, and institutional uses.
- (c) A table listing all bulk, space, and yard requirements; all parking requirements; and all loading requirements applicable to any proposed development or construction and showing the compliance of such proposed development or construction with each such requirement. When any lack of compliance is shown, the reason therefore shall be stated and an explanation of the village's authority, if any, to approve the Application despite such lack of compliance shall be set forth.
- (d) The certificate of a registered architect or civil engineer licensed by the State of Illinois, or of an owner-designer, that any proposed use, construction, or development complies with all provisions of this code and other village ordinances or complies with such provisions except in the manner and to the extent specifically set forth in said certificate.
- (e) A landscape development plan, including the location, size and species of plant materials.

1.7 Supplemental Information (per specific request):

_____ Appeals, Code Interpretations, and Variations: See 5-11-8(E)3, 4, & 5 of the Zoning Code and Form "A"

_____ Special Use Permit (non-PUD): See 5-11-8(E)7 of the Zoning Code and Form "B"

_____ Zoning Map Amendment (rezoning): See 5-11-8(E) 8 of the Zoning Code and Form "C"

_____ Zoning Code Text Amendment: See Form "D"

_____ Preliminary PUD Plat: See 5-11-18(D)(2) of the Zoning Code and Form "E"

_____ Final PUD Plat: See 5-11-18(D)(3) of the Zoning Code and Form "F"

** The scope and detail of information shall be appropriate to the subject matter of the Application, with special emphasis on those matters likely to be affected or impacted by the approval being sought in the Application. Information required in the application shall be considered the minimum information required for filing an application. Additional information including but not limited to graphic depictions, environmental impacts, plans for sewer and water service and storm water

management, photometric plans, traffic studies and effects on property values, among others, should also be considered and may be helpful in detailing the Application.

Special Data Requests. In addition to the data and information required pursuant to this Application, every Applicant/Owner shall submit such other additional data, information, or documentation as the building superintendent or any board or commission before which the Application is pending may deem necessary or appropriate to a full and proper consideration and disposition of the particular Application.

1.8 Consultants.

Please provide the name, address, and telephone number of each professional or consultant advising Applicant with respect to this Application, including architects, contractors, engineers or attorneys:

Name: <u>JASON POLANS</u>	Name: <u>CHRISTOPHE KANZER</u>
Professional: <u>ENGINEER</u>	Professional: <u>CONTRACTOR</u>
Address: <u>—</u>	Address: <u>—</u>
Telephone: <u>847-508-6363</u>	Telephone: <u>224-678-6506</u>
E-mail: <u>J.POLANS@POLANDENG.COM</u>	E-mail: <u>CKANZER@COMPLETECONCRETS.NET</u>

Name: _____	Name: _____
Professional: _____	Professional: _____
Address: _____	Address: _____
Telephone: _____	Telephone: _____
E-mail: _____	E-mail: _____

1.9 Village Officials or Employees.

Does any official or employee of the Village have an interest, either directly or indirectly, in the Property? Yes: _____ No: X

If yes, please identify the name of such official or employee and the nature and extent of that interest. (Use a separate sheet of paper if necessary.)

1.10 Successive Applications (5-11-9).

Second Applications Without New Grounds Barred. Whenever any Application filed pursuant to this code has been finally denied on its merits, a second Application seeking essentially the same relief, whether or not in the same form or on the same theory, shall not be brought unless in the opinion of the officer, board, or commission before which it is brought there is substantial new evidence available, or a mistake of law or fact significantly affected the prior denial.

New Grounds to Be Stated. Any such second Application shall include a detailed statement of the grounds justifying consideration of such Application.

Summary Denial with or Without Hearing. Any such second Application may be denied by the building superintendent summarily, and without hearing, on a finding that no grounds appear that warrant a new hearing. In any case where such Application is set for hearing, the owner shall be required to establish grounds warranting reconsideration of the merits of its Application prior to being allowed to offer any evidence on the merits. Unless such grounds are established, the Application may be summarily dismissed for such failure.

Exception. Whether or not new grounds are stated, any such second Application filed more than two years after the final denial of a prior Application shall be heard on the merits as though no prior Application had been filed. The Applicant or Owner shall, however, be required to place in the record all evidence available concerning changes of conditions or new facts that have developed since the denial of the first Application. In the absence of such evidence, it shall be presumed that no new facts exist to support the new petition that did not exist at the time of the denial of the first Application.

2.0 Required Submittals (See Specific Supplemental Information Form for Filing Fees).

_____ Fully completed Application with applicable supplementary information

_____ Non-refundable Filing Fee. Amount: \$ _____

_____ Planning Filing Fees. Amount: \$ _____

_____ Minimum Professional Fee/deposit Escrow. Amount: \$ _____

3.0 Certifications. The Applicant and Owner certify that this Application is filed with the permission and consent of the Owner of the Property and that the person signing this Application is fully authorized to do so.

3.1 The Applicant certifies that all information contained in this Application is true and correct to the best of Applicant's knowledge.

3.2 The Applicant acknowledges that the Village may seek additional information relating to this Application and agrees to provide the Village with such information in a timely manner. Failure to provide such information may be grounds for denying an Application.

- 3.3 The Applicant and Owner agree to reimburse the Village for any and all costs relating to the processing of this Application, including any consultants' fees. By signing this Application, Applicant and Owner agree to be jointly and severally liable for such costs, and Owner further agrees to the filing and foreclosure of a lien against the Property for all such costs plus all expenses relating to collection, if such costs are not paid within 30 days after mailing of a demand for payment.
- 3.4 The Applicant agrees that the Village and its representatives have the right, and are hereby granted permission and a license, to enter upon the Property, and into any structures located there on, for purposes of conducting any inspections that may be necessary in connection with this Application.
- 3.5 **The Owner, Applicant, and/or designated representative is required to be present during the meeting.**

Name of Owner

Signature of Owner Date

Kew Simplicic

Name of Applicant

[Signature] *3-31-23*

Signature of Applicant Date

EXHIBIT A
LEGAL DESCRIPTION

THAT PART OF THE EAST 1/2 OF THE NORTHWEST 1/4 OF SECTION 30, TOWNSHIP 43 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, BOUNDED BY A LINE DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE CENTER LINE OF DUNDEE-HALF DAY ROAD AT THE SOUTHEAST CORNER OF WILLIAM UMBDENSTOCK SUBDIVISION, THE PLAT OF WHICH WAS RECORDED AS DOCUMENT 991876; THENCE NORTHEASTERLY ALONG THE CENTER LINE OF SAID ROAD 50.75 FEET, MORE OR LESS, TO THE NORTHEASTERLY CORNER OF LOT 2, OF FANNINGS SUBDIVISION THE PLAT OF WHICH WAS RECORDED AS DOCUMENT 1157511; THENCE SOUTH ALONG THE EAST LINE OF LOT 2, 10.20 FEET MORE OR LESS TO THE NORTHWESTERLY CORNER OF THAT PART DESCRIBED BY THAT DEED RECORDED MAY 4, 1876 AS IN BOOK 56 OF DEEDS, PAGE 540; THENCE NORTHEASTERLY ALONG THE NORTHERLY LINE OF SAID PROPERTY, 136.62 FEET TO THE NORTHEASTERLY CORNER THEREOF; THENCE NORTHWESTERLY AT RIGHT ANGLES TO SAID LAST DESCRIBED LINE, 390.29 FEET; THENCE NORTHWESTERLY AT RIGHT ANGLES TO THE LAST DESCRIBED LINE, 310.34 FEET TO THE EASTERLY LINE OF WILLIAM UMBDENSTOCK SUBDIVISION FIRST ADDITION, THE PLAT OF WHICH WAS RECORDED AS DOCUMENT 1257888; THENCE SOUTHWESTERLY ALONG THE NORTHEASTERLY LINE OF SAID SUBDIVISION AND THE NORTHEASTERLY LINE OF WILLIAM UMBDENSTOCK SUBDIVISION AFORESAID, TO THE PLACE OF BEGINNING IN LAKE COUNTY, ILLINOIS.

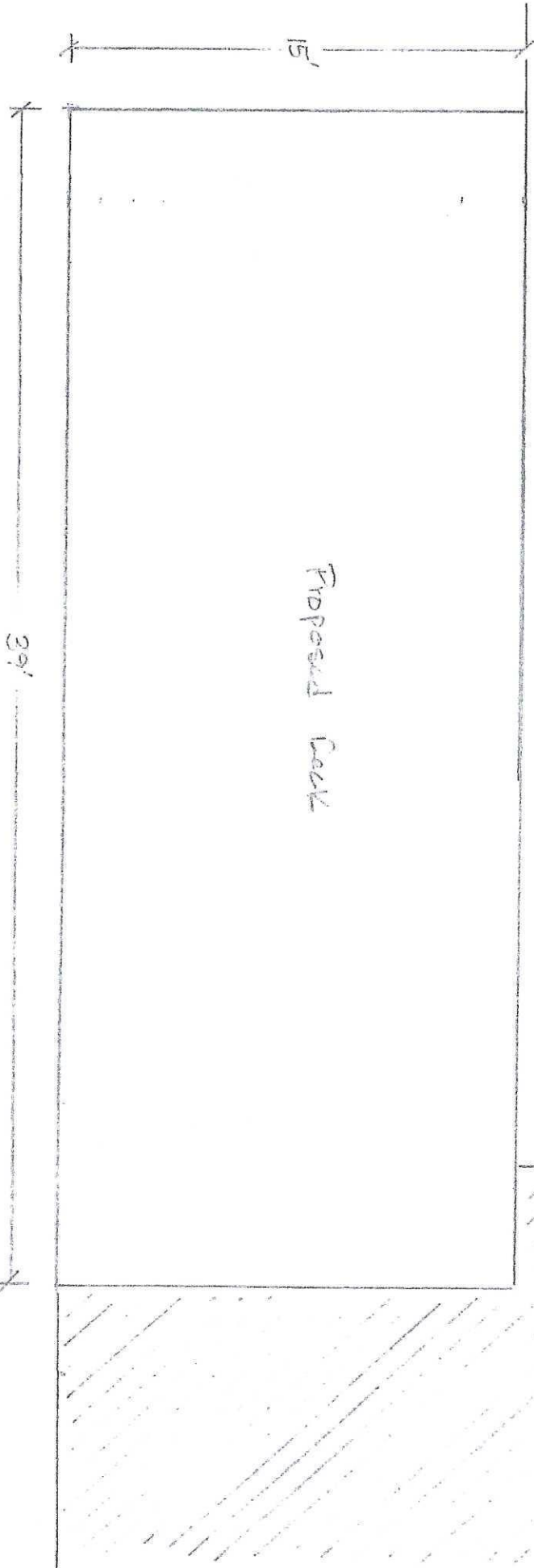
PINs:15-30-100-032, 15-30-100-033

North
↑

Existing Building

Proposed Deck

Existing
Lowered Deck



Proposed Deck 1

Existing Structure

North
↑

Existing Building

Existing
Covered Deck

Demol Existing Deck and Planter Boxes

30'

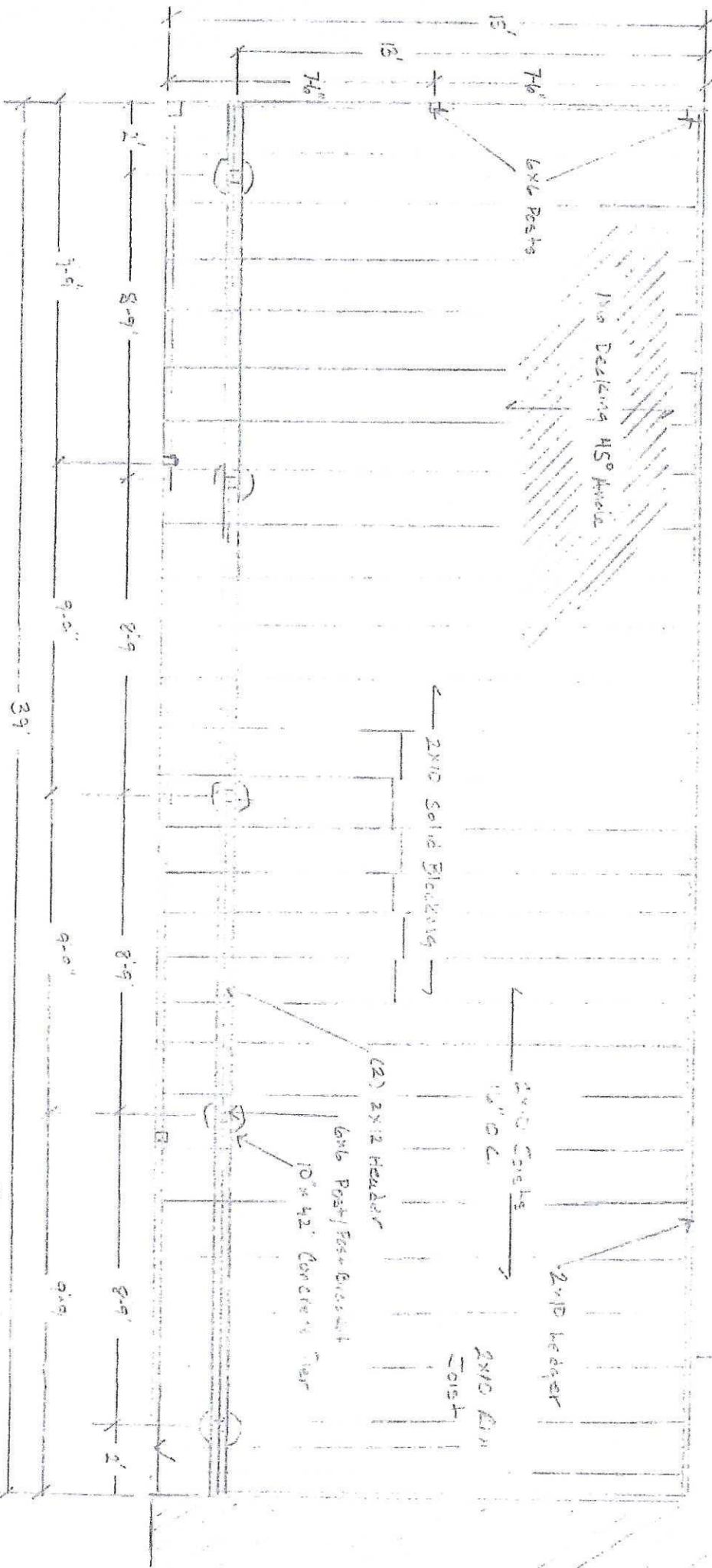
4'

Demol Plan

Canvas Structure

2

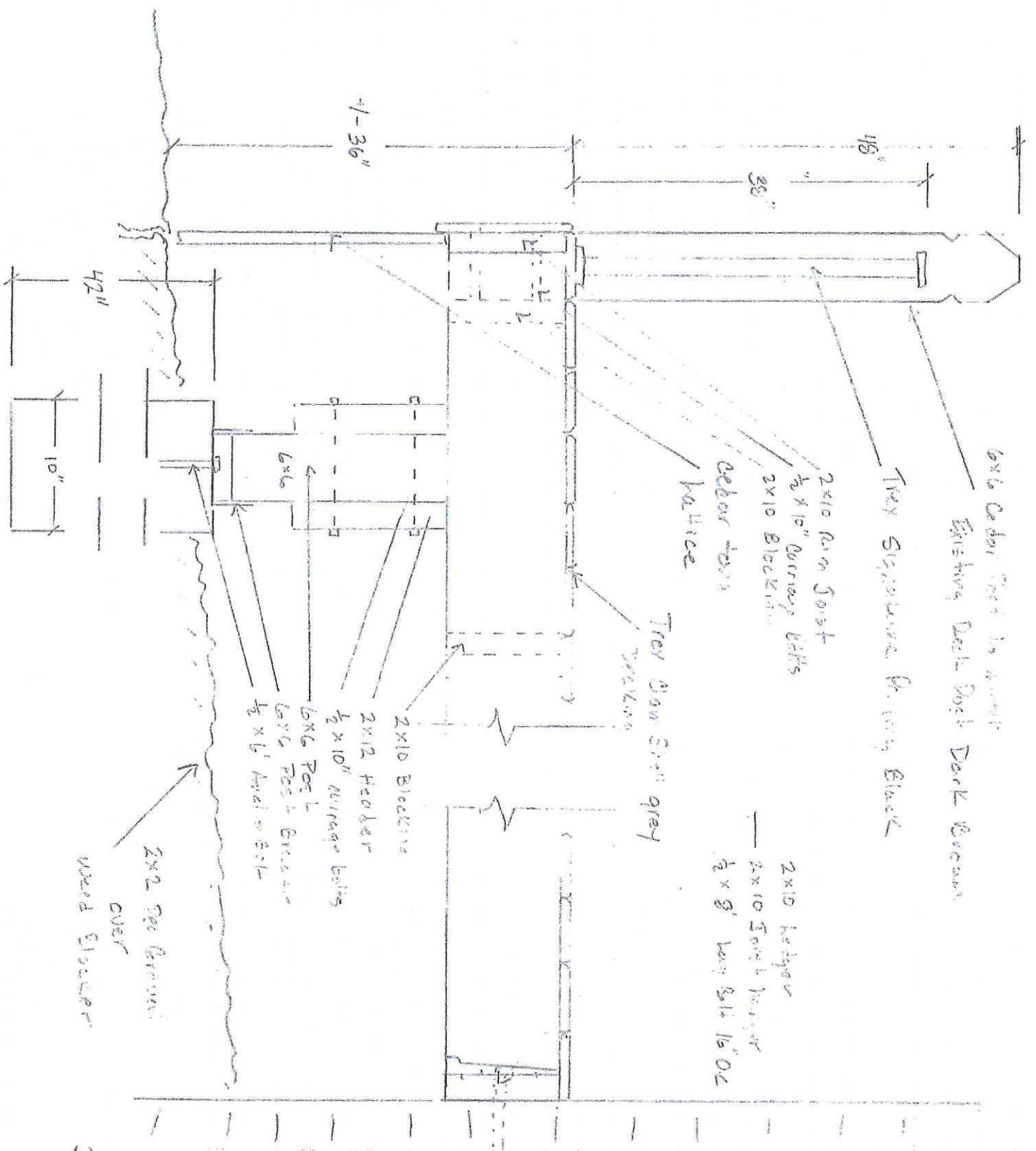
North
↓



Existing
Building

Existing
Work

Framing Plan
TODAY'S DESIGN



6x6 Cedar Post in concrete
 Existing Deck Post Dark Brown

Tray Signatures P. 100g Black

2x10 Rafter Joist
 1/2 x 10" Gypsum Girths
 2x10 Blocking

Cedar Tray
 Ballice

Tray Saw 5/8" grey

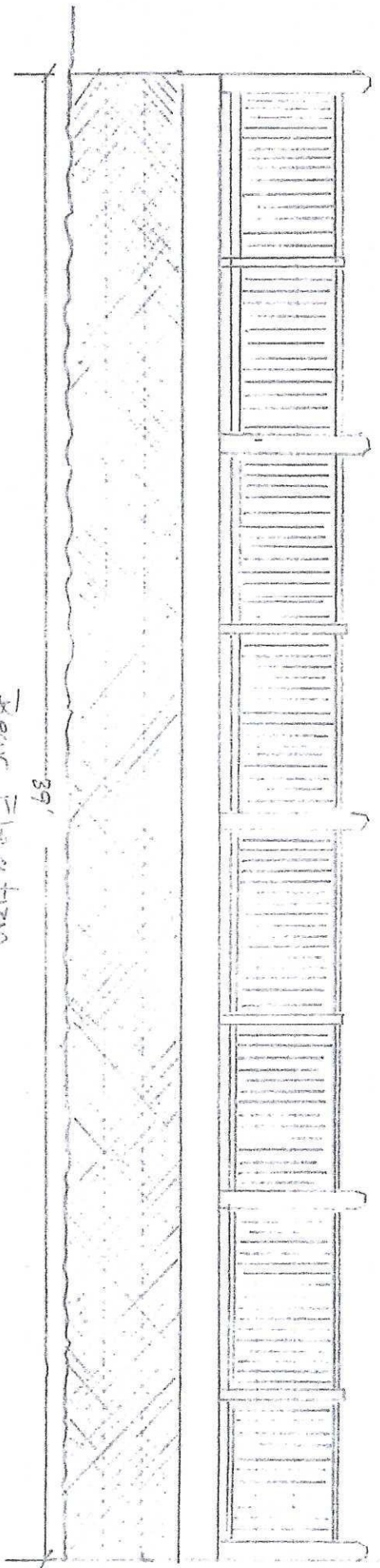
2x10 Header
 2x10 Truss Member
 1/2 x 8" Long 5/4 1/2 OC

2x10 Blocking
 2x12 Header
 1/2 x 10" average bolts
 6x6 Post
 6x6 Post
 1/2 x 6" Angle Bolt

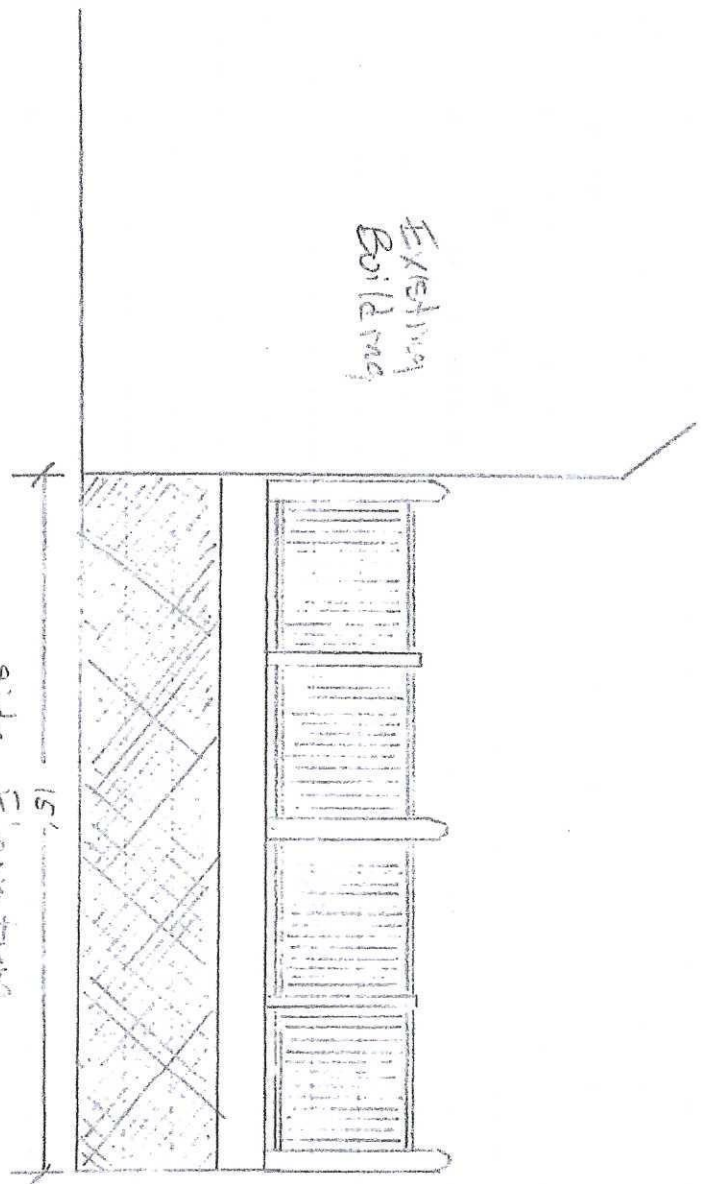
2x2 Post in concrete
 over
 used Blower

Existing Building

Side Detail
 Joannes Pizzeria Y



39' Rear Elevation



Existing Building

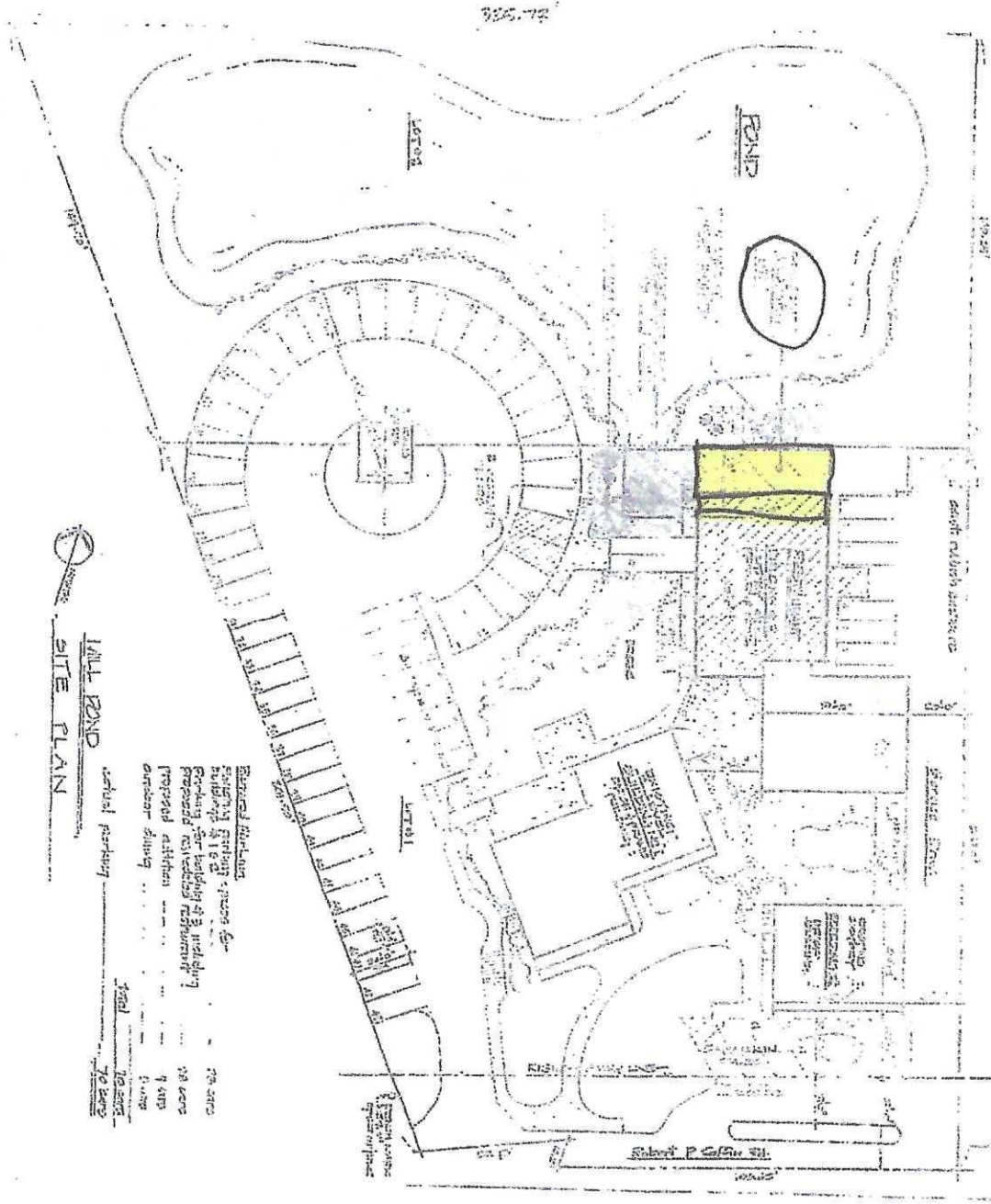
15' Side Elevation

Existing Ground Level

Thomas Piazza







MILL POND
SITE PLAN

Proposed building
 Proposed parking
 Proposed addition
 Actual parking
 Total

ZONING INTERPRETATION	
area of lot is 1/2 acre right-of-way of street equals	0.142 ac
area of lot area coverage 0.142 x 200	19,528 sq ft
actual lot area coverage building at building at building at	19,528 sq ft 19,528 sq ft 19,528 sq ft
partial building coverage	19,528 sq ft
actual special area 0.142 x 200	19,528 sq ft
actual special area	19,528 sq ft

ENGINEERING DRAWING NO. 1000
 MILL POND SITE PLAN
 PREPARED BY: [Name]
 DATE: [Date]

MILL POND
 long grove

Shapman Gardner
 ENGINEERS & ARCHITECTS
 1000 17th St. N.W.
 WASHINGTON, D.C. 20036

Taylor Wegrzyn

From: Chris Beckord <cbeckord@gmail.com>
Sent: Wednesday, April 19, 2023 8:57 AM
To: Greg Jackson; Taylor Wegrzyn; wilson5279@comcast.net; sshlagman@longgroveil.gov
Subject: Joanies deck expansion, Plan Commission and Zoning Board meeting
Attachments: cid99D52287-7C70-4336-864E-9225DBF5C2B6.pdf

As a property owner whose Residentially zoned lot is 60 feet from this proposed deck expansion I would simply like to say please do not let this project move forward or approve it!

B-1 District Zoning

B-1 district zoning for outdoor dining establishes a distance of 300 feet from the location of the dining area to the nearest residentially zoned lot. Our lot line is 60 feet from the proposed deck, the property to the east is 50 feet from the proposed deck. In the paperwork submitted at the architectural committee meeting the petitioner identified the deck as being 270 feet from the residence to the north and 170 feet from the residence to the east. Not only do both of these distances fall short of the 300 foot benchmark it is incorrect to use them because the zoning code specifically state residential zone lot. We understand special zoning can override the 300 foot limit to a residential lot. Why would you consider approving such an override when it will have an incredibly negative impact on the residence. There are five residential lots within this 300 foot limit. The closest being 50 feet from the proposed deck.

Landscaping

The special use permit for the current deck specifies a landscaping barrier. To the east residential lot there is an existing landscape barrier, the homeowners will tell you it does not block the sound from the existing deck let alone a new deck.

To the northern lots there is no landscape barrier. The noise and disruption from the existing deck flows quite freely and picks up intensity over the water.

As of today the landscape barrier required in the existing special use permit has never been planted. It does not exist.

Landscaped barriers are described in the B1 business district zoning as a buffer zone between a development and a residential lot. This requires a substantial landscape barrier not 3 foot high bushes but 10 to 12 foot high bushes hedges and tree lines.

Parking

Anyone who tries to Downtown Long Grove businesses those parking is a problem. The attached letter from Randee Towner clearly describes the issues.

This proposed expansion is simply too much too close to the affected homeowners.

All Long Grove residents move here for the peace and quiet of our community. This project would tear that peace and quiet from us and the additional noise will affect more Three Lakes subdivision homeowners.

Many decisions like this come down to people or money. This is one time when people should be the most important consideration.

Respectfully;

Chris Beckord

Sent from my iPad

Jennifer Marshall

From: RANDY TOWNER [REDACTED]
Sent: Friday, May 13, 2022 2:22 PM
To: Long Grove; Taylor Wegrzyn; gjackson@longgroveil.gov; wilson5279@comcast.net
Subject: May 16 Long Grove Village Meeting - Joanie's Pizza

Hello to All...

This email is in regard to the request by Joanie's Pizza for an exterior deck.

As a neighboring business, Mel's Marathon, we wish to have this request denied.

As we see it, the enlargement of their outdoor area has great potential to cause more parking issues than we already have. Overflow parking from the Mill Pond lot has been a problem for us in the past. We have been able to keep it somewhat under control by placing "No Parking" signs in our lot. We need to keep our lot clear from excess vehicles parking there due to needing space for our tow trucks to maneuver in and out. Our towing business is operated 24/7 and has been for well over 50 years. We tow for the Lake County Sheriff and can tow in vehicles from accidents at any given time. Even with "No Parking" signs posted on our fenced in area (where we store the wrecked vehicles that we tow in), there have still been times at night when people will park directly in front of the sign, blocking our gate. Large tanker trucks with our gas deliveries need space in our lot as well. We also have tenants that require some of our parking spaces (mostly during daytime hours).

The Mill Pond has not been our only traffic problem. We also have people drive through daily making U-turns, ignoring our "No U-turn" signs. Delivery trucks for nearby businesses will occasionally park in our lot, but we have so far successfully gotten them to park elsewhere.

Please consider the impact that their request will create for our business which has been a part of the Village since 1958.

Thank You,
Randy & Jeanine Towner

[REDACTED]

Pondview Application

We are writing this letter because we received a notice that the owner of Joanie's wants to have the zoning / building code changed regarding the use of its property. We live directly behind the subject's property. Joanie's owner did not provide us or any of the adjacent homeowners with any information about what it wants to do prior to the upcoming hearing.

We should be provided with copies of all change proposals before any hearing at which the substance of the request is discussed. Joanie's owner filed a request last fall asking to significantly expand the size of its restaurant, increasing the size of the outdoor deck used by customers. Any hearing should be continued to a later date after anyone interested had a chance to review the proposed changes which we do not have.

Assuming that the request is similar to the owner's earlier request, objections would relate to:

- 1) Any increased noise and light that any modification would produce,
- 2) Lighting and screening of the side yards with bushes and,
- 3) Use intensity, or the size of the parking lot.

The building code ordinance which the original hearing produced showed there was supposed to be limits to the use of outdoor lights on the pond side, as well as a screen of plantings to respect the rights of the neighbors to experience quiet enjoyment of their property.

When the restaurant was renovated in 2003, I attended a hearing. Issues addressed that hearing were:

1. the size of the deck
2. lighting for the deck
3. the kind of the hours for the use of the deck
4. and the general increased intensity of use of the land and parking lot

All of these topics were addressed and objected to formally.

To modify the existing zoning, the owners should present compelling proof that the current restrictions prevent them from making use of their property. Looking out of my South facing windows I can see that the parking lot is filled with cars and accommodates a drive through business which looks to be robust. The side yard on the East and South of the parcel just barely meets the minimums required under the villages building code.

There is no problem with finding bigger spaces for a restaurant business in Long Grove as there are many buildings in the village that are vacant. Increasing the intensity of the use of this parcel while leaving space that is unused is irrational.

We have no idea what kind of outside sound is requested, if any. However, past experience indicates that the owners may plan to have live music perform in the parking lot as they have in the past at a high volume. Sound should be addressed.

For as long as we've lived here, sitting on the deck behind our house, watching the yard fill up with fireflies has been a pleasure. Like many, we value the relatively undeveloped nature of our home in Long Grove with green spaces which act as buffers.

We do not support further alterations for Joanie's which will be to the detriment of the homeowners in the subdivision.

Roger Goble
Dr. Pam Goble

Pondview Application

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We do not support further alterations for Joanie's which will be to the detriment of the homeowners in the subdivision.

Roger Goble
Dr. Pam Goble

Once again I am opposed a deck further into pond for the pizza restaurant. we already opposed this once,so why bring it up again?
Peter frain 4113 3 lakes dr

Dear Long Grove Village Plan Commission and Zoning Board Members,

I hope this email finds you well. As a resident living within 300 feet of the proposed project at 235 Robert Parker Coffin Road, I am writing to express my concerns regarding the recent application submitted by Midwest Management Group for Joanie's Pizza. While I am a fan and regular customer of Joanie's, I believe it is crucial to preserve the idyllic nature of our neighborhood and maintain the character of our community.

I understand that specific details of the plans for Joanie's Pizza have not been provided to the public. Given this lack of information, I request that the commission delay any rulings on their plans until the details can be made public, allowing local residents the opportunity to fully review and comment on them.

As a concerned neighbor, I believe it is essential for the community to have the chance to understand the potential impacts of any changes proposed for Joanie's Pizza, whether it be a deck expansion or other alterations. This will ensure that our community's voice is heard, and that we can collectively work towards preserving the unique charm and character of our neighborhood.

In light of the current situation, I kindly request that you delay any decisions regarding the application by Midwest Management Group for the project at 235 Robert Parker Coffin Road. I trust that you will make a decision that prioritizes transparency and the long-term well-being of our neighborhood.

Thank you for your attention to this matter, and I appreciate your dedication to preserving the unique character of our community.

Sincerely,

Gregory Winer
4133 3 Lakes Drive
Long Grove IL. 60047
224-666-5417

Hello,

I am writing this email with concerns to the deck expansion proposal at Joanie's. I feel it will have a negative effect on our property values in addition to creating a lot more unwanted noise. I am a resident that lives on the pond and I object this proposal. Thank you for understanding.

Fred P.

To: Planning Commission and Zoning Board Appeals

We live at 4137 Three Lakes Drive directly behind Joanie's restaurant. Our lot line goes into the pond 26-30 feet. Currently there is a 32 person 8 table "special permit" that was given to the restaurant for outdoor dining. back in 2009-2010.

We can hear the chatter, laughing and music that comes from Joanie's outdoor seating, as well as Broken Earth Winery. In the original "special permit" the restaurant was to provide landscaping that would be a barrier for the residents behind the restaurant. That was never followed through with, and the Village never held the restaurant responsible for this requirement.

My question is "Why is the Village even considering another "special permit" when the first one still has not complied with the regulation that was made for them. We do not want another "Chatter Box" on this side of the downtown area. While these are wonderful businesses for the town,(we enjoy them too) . The Village had regulations that were originally made that gave parameters for this restaurant to follow. As residents we should also be allowed to enjoy the wide open spaces and peacefulness that we all moved here for. It confounds me that there should even be a thought to bringing more noise and discord to this side of the downtown area, so close to residents homes, when the west side of the village has blossomed into a nightly outdoor eating destination with live music regularly.

We do not feel that it is necessary that Joanie's outdoor area expands, causing further noise distress for residents on Three Lakes Drive.

Another concern is the pond. The pond is considered wetlands and anything at all that affects the pond, shoreline will need to be approved by the Army Corp of Engineers because of the effect on the Lake County Watershed. We, as well as our neighbors at 4135 Three Lakes Drive, had to go through the process with the Army Corp to restore the shoreline of our properties, directly behind the restaurant.

Thank you for giving us the opportunity as residents to voice our concerns regarding our rights as residents for a peaceful and quiet backyard like the other residents of Long Grove get to enjoy.

"The comments herein provided are true to my best knowledge and belief under penalty of perjury."

Debbie Handler
4137 Three Lakes Drive
Long Grove, Il. 60047

Good morning,

I am submitting this email to the PCZBA to note my concern regarding the New Midwest Capital petition for a Special Use permit pursuant to Section 5-4-5(A)(3). I appreciate that the public hearing addressing same will be held on May 2, 2023, but I will be unable to attend.

I was unaware of the issue until one of my neighbors advised me of the legal notice they received. The notice advises of a Special Use Permit and zoning relief but does not provide any other information except for a "proposed outdoor dining area" at 235 RFD. It was not until speaking with my neighbor did I realize that the restaurant (Joanies) across one of the ponds in our (Three Lakes) neighborhood wants to expand their deck beyond the zoned limit.

While I certainly want successful business entities in our downtown area, the zoning was likely done for a number of reasons, not the least of which was to protect the neighborhoods surrounding the area. As I live in the neighborhood adjacent to this proposed expansion, I must object.

I am concerned that any such expansion will have adverse effects on the Quiet Enjoyment of my property. Which will not only the quiet and serenity of our neighborhood but will certainly decrease our individual property values.

The comments herein provided are true to my best knowledge and belief under penalty of perjury.

Sincerely,

David M. Mundt

ATTORNEY AT LAW

4124 RFD

Long Grove, Illinois 60047



ARCHITECTURAL COMMISSION STAFF REPORT

To: Jeanne Sylvester, Chair
Architectural Commission Members

From: Taylor Wegrzyn, Community Development Services

Subject: 235 Robert Parker Coffin Road

Requests: Outdoor Dining Deck Expansion

Public Meeting Date: May 16, 2022

Attachments:

1. Location Map
2. Petitioner's Application
3. *Long Grove Historic Downtown Guidelines* (excerpt)
4. Copy of Public Commentary Received by 8:00AM May 12, 2022

PETITIONERS

Joanie's Pizzeria
c/o Complete Concepts, Inc
26160 West Hickory Road
Mundelein, IL

REQUEST

Review of a proposed expansion to the existing outdoor dining deck at 235 Robert Parker Coffin Road.

HISTORY

The subject property is a tenant space within the Mill Pond Shoppes. Joanie's Pizzeria has been a tenant for many years. An outdoor dining area on an exterior deck has been in use since approximately 2003. The building structure dates to the 1970's.

PROPOSED PROJECT

The proposed deck measures 15' x 29' and would be located east of the existing deck. A 4' x 30' deck with planter boxes would be removed to make room for the expansion. The deck is to be attached to the building structure and would provide access to the main floor of the building. Trex brand decking, "clam shell" in color, is to be used for the decking surface. 6x6 cedar posts are to be used and stained dark brown to match the existing deck posts. Trex brand railings will be used between posts. The deck rises approximately 36" from the existing grade. Weed blocker and gravel are to be installed underneath to prevent unwanted vegetation. Plans for the deck are provided

in the Petitioner's Application attached hereto. No speakers or awning are proposed for this area of the deck. The deck will add 24 seats to the dining area. One tree will need to be trimmed to make room for the deck.

The proposed deck satisfies the B1 Zoning District setback, bulk, and yard regulations. It would be setback from the rear property by 140 feet and 40 feet from the eastern property line. To the west and south, the deck would attach to the existing deck and building. The deck is located approximately 270 feet and 170 feet from the closest residences to the north and east, respectively.



Figure 1: location of proposed deck expansion



Figure 2: rear of existing structure, from parking lot



Figure 3: aerial image of the subject property and immediate vicinity, source: NearMaps, March 20, 2022

Chapter 4, Section 5 of the Long Grove Zoning Ordinance [5-5-5(A)(3)] requires approval of a Special Use Permit for all outdoor dining in the B1 Zoning District. Should the AC approve of the deck expansion design, the applicant would be required to appear before the Planning Commission and Zoning Board of Appeals (PCZBA) for consideration of a Special Use Permit. Following a recommendation by the PCZBA, the Village Board would review and make a final determination on the use.

LONG GROVE DOWNTOWN GUIDELINES AND COMPREHENSIVE PLAN

The Village of Long Grove's *Historic Downtown and Business District Planning and Design Guidelines*, dated June 2008, provides certain criteria for new construction within the Village's downtown area. The subject property is located within this area and it is recommended that these guidelines be incorporated into the project. Excerpts from the Guidelines are provided as an attachment to this report. Notable recommendations from the Guidelines, and relevant to this project, include:

- Follow the bulk, space, and yard requirements of the Municipal Code
- Incorporate the mass, dimension, scale, materials, façade articulation, roof lines, and overall character of the Historic Downtown into the architectural design of new structures
- Use high quality, long lasting building materials
- Unique site amenities are encouraged to be placed in the Historic Downtown
- Planter boxes are encouraged on 50% of railing at outdoor dining spaces
- All outdoor dining furnishings shall be constructed of high quality material and must allow for easy removal during winter months
- No advertising or promotional features are allowed in outdoor dining areas

The Long Grove Comprehensive Plan also provides certain guidelines for new development within the Village. While the document largely focuses on uses and new buildings rather than specific architectural elements, it should also be given due consideration. The Plan places great emphasis on preserving the "community character" of the Village, specifically it's "rural character." However, the Plan also recognizes the importance of pursuing economic growth and acknowledges that "the Downtown area needs some rejuvenation by exploring more diverse uses, e.g., entertainment-oriented uses or similar uses that serve younger and older families, and that draw in customers from nearby communities. A full copy of the Comprehensive Plan is available on the Village of Long Grove website for further information.

ARCHITECTURAL COMMISSION DECISION

The AC should review the expansion against the Village's planning documents and render a determination based upon those criteria in addition to the appropriateness of the structure at this location. The AC should consider the form, styling, and design of the structure. The use of the deck will be considered by the PCZBA at such time that a Public Hearing for any zoning requests is required.

STAFF RECOMMENDATION

The AC should consider whether the materials used and overall design of the proposed structure aligns with the character of the Village of Long Grove. The AC should comment on the overall design as presented. The comments of the AC will be taken into consideration with any other required action.

Staff recommends that the AC make any approvals conditional upon Village Board review and approval of any zoning petitions required to complete the project.

TW/JLM



 Subject Property

Location Map:
235 Robert Parker Coffin Road, Long Grove, IL





STRUCTURE/FIXTURE ARCHITECTURAL COMMISSION APPLICATION

APPLICANT'S NAME: Complete Concepts Inc Chris Kanzler DATE: 5-2-22 E-MAIL CKanzler@CompleteConcepts.net ADDRESS: 26160 W Hickory Rd Mundelein IL 60060 PHONE: 224-678-6506 NAME OF BUSINESS: Joanies Pizzeria BUSINESS ADDRESS: 235 Robert Parker Coffin Rd Long Grove IL, 60047 PHONE: 847-415-2220 TYPE OF STRUCTURE/FIXTURE: Exterior Deck

- 1. LOCATION OF STRUCTURE/FIXTURE ON PROPERTY: A. PROVIDE SITE PLAN. B. PROVIDE PHOTOGRAPH OF SITE. C. SQUARE FOOTAGE OF STRUCTURE 585 SQUARE FEET.

- 2. DRAWING OF PLANNED STRUCTURE/FIXTURE: A. DIMENSIONS. B. ELEVATIONS (ALL DIRECTIONS). C. LIST MATERIALS TO BE USED/SAMPLE OF COLORS.

3. NAME, ADDRESS, AND PHONE NUMBER OF FIRM ERECTING OR MANAGING STRUCTURE: Complete Concepts Inc PHONE: 224-678-6506 Chris Kanzler E-MAIL CKanzler@completeConcepts.net

The property owner's signature is required below before any application may be processed. It is understood by the property owner(s) that he or she has read and understands the regulations governing the commercial property under this application in the Village of Long Grove, accepts and is liable for any corrections or modifications required to meet the standards of the Village, and further approves the work to be done on their property.

BUSINESS OWNER(S) PROPERTY OWNER(S) Ken Siuzieck

APPLICATION APPROVAL: DATE:

North
↓

Existing Building

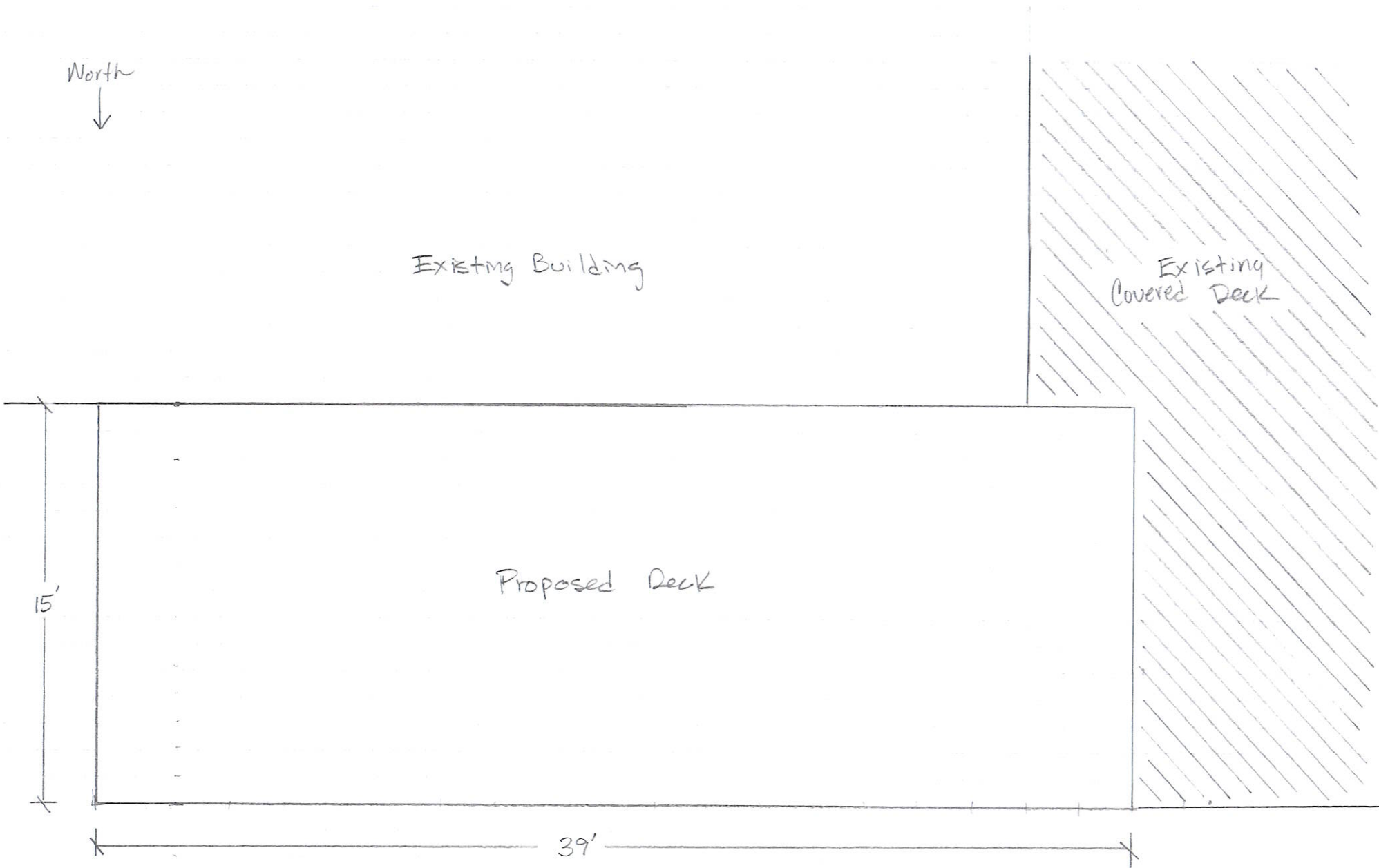
Existing
Covered Deck

Proposed Deck

15'

39'

Proposed Deck 1
Joanies Pizzeria

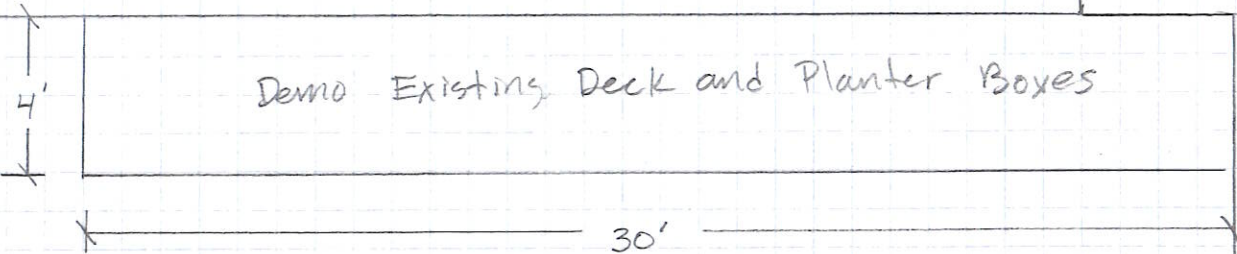


North
↓

Existing Building

Existing
Covered Deck

Demo Existing Deck and Planter Boxes



Demo Plan

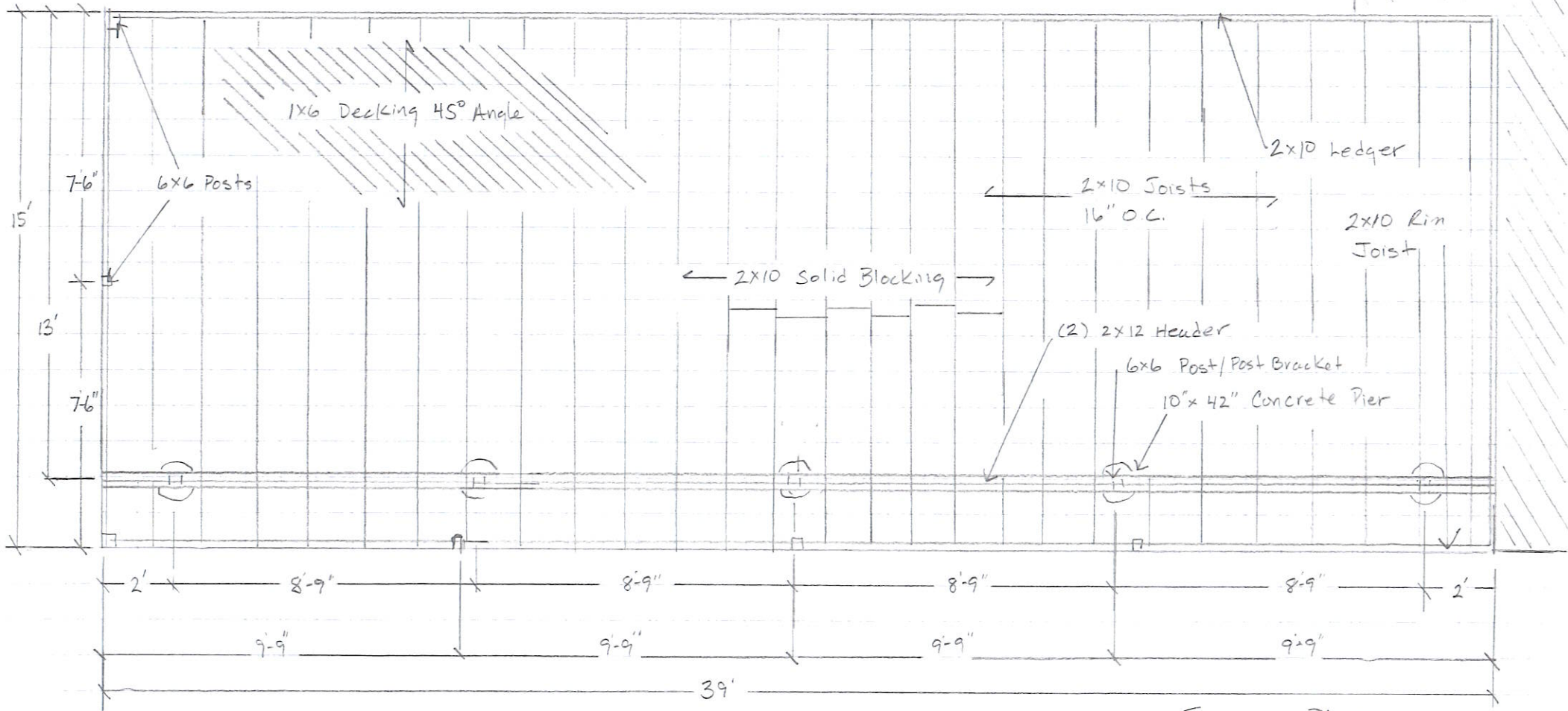
Joanies Pizzeria

2

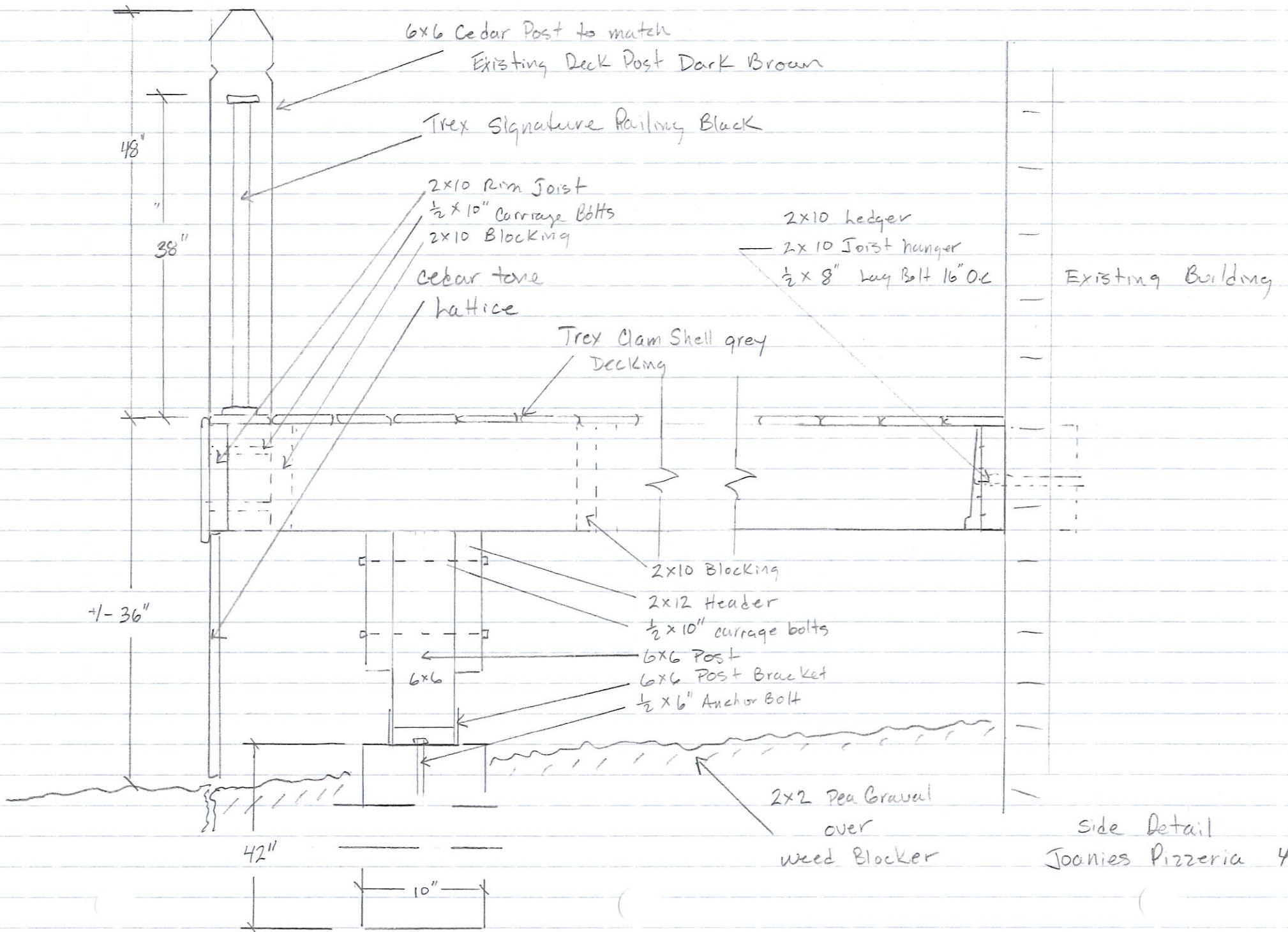
North
↓

Existing Building

Existing Deck



Framing Plan
Ioanics Pizzeria



6x6 Cedar Post to match
Existing Deck Post Dark Brown

Trex Signature Railing Black

48"

38"

2x10 Rim Joist
1/2 x 10" carriage bolts
2x10 Blocking

Cedar tone
lattice

Trex Clam Shell grey
Decking

2x10 Ledger
2x10 Joist hanger
1/2 x 8" Lag Bolt 16" OC

Existing Building

+/- 36"

2x10 Blocking
2x12 Header
1/2 x 10" carriage bolts
6x6 Post
6x6 Post Bracket
1/2 x 6" Anchor Bolt

6x6

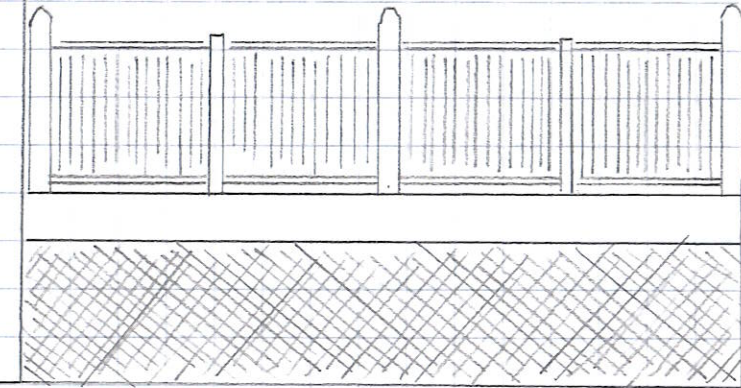
2x2 Pea Gravel
over
weed Blocker

42"

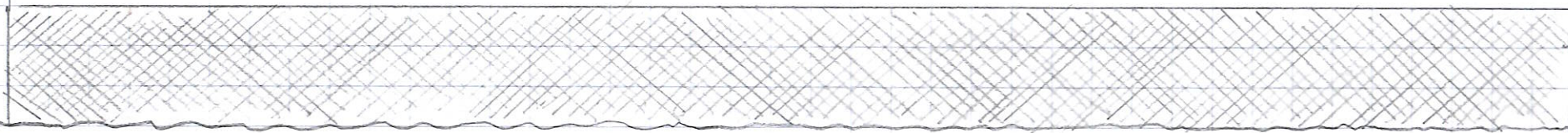
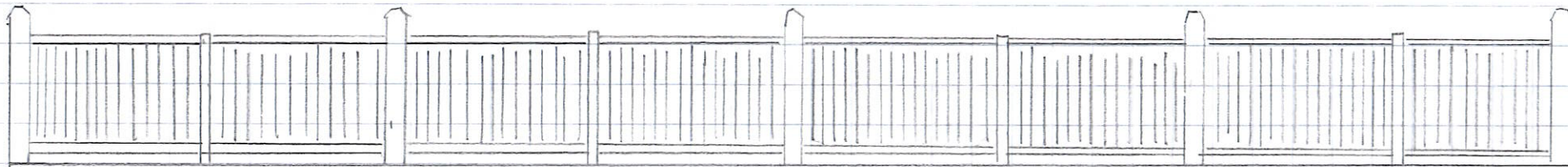
10"

Side Detail
Joanies Pizzeria 4

Existing Building



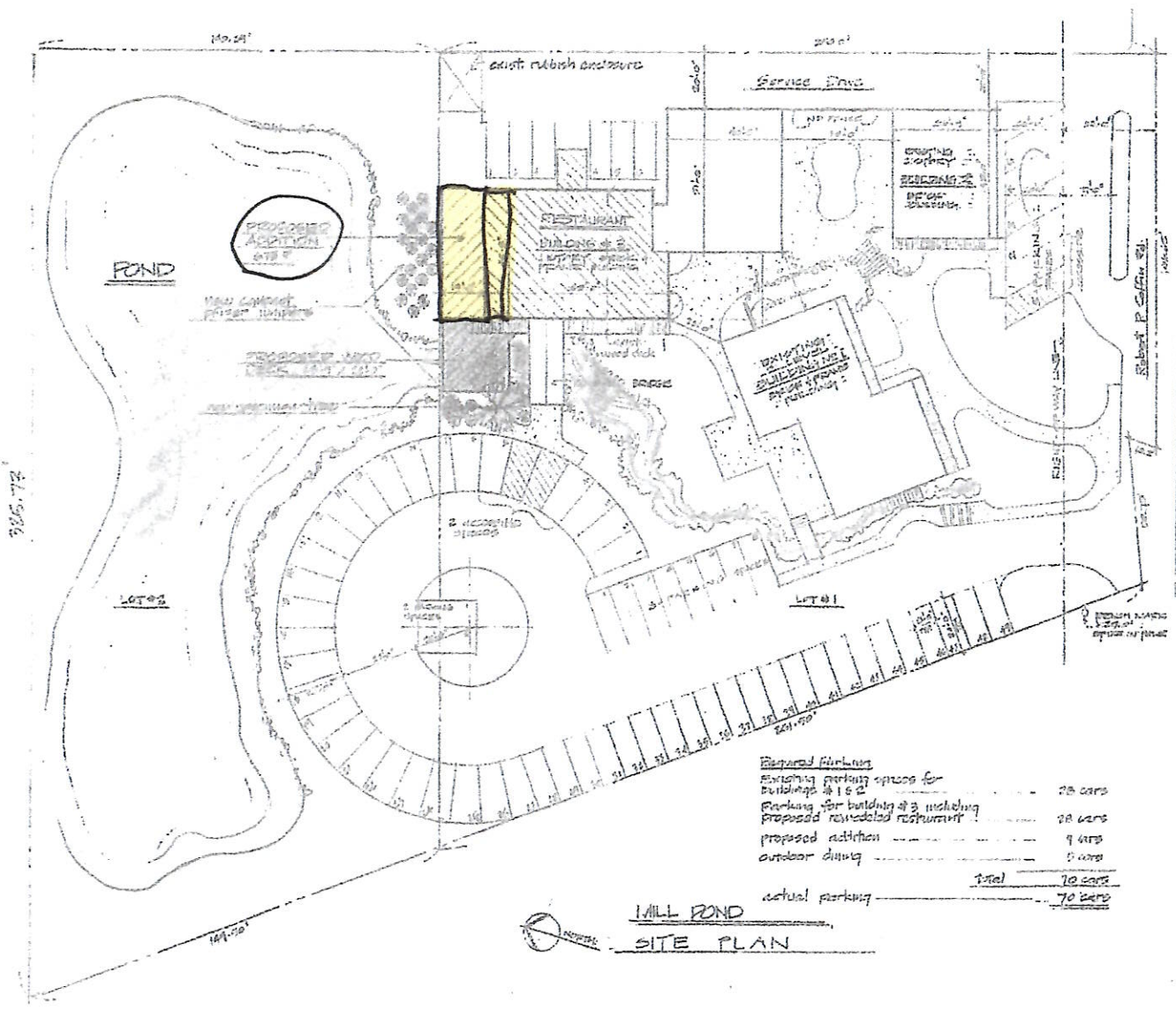
15'
side Elevation



39'
Rear Elevation

Existing Covered Deck

Joanies Pizzeria



Required Parking

Existing parking spaces for buildings #1 & 2	28 cars
Parking for building #3 including proposed renovated restaurant	28 cars
proposed addition	9 cars
outdoor dining	5 cars
total	70 cars

actual parking 70 cars

**MILL POND
SITE PLAN**

ZONING INFORMATION	
area of lot #1 is 57,011 sq ft less right-of-way of 3627 sq ft equals	53,384 sq ft
max lot area coverage 57,142 sq ft x 30%	17,142 sq ft
actual lot area coverage	
building #1 3100 sq ft	
building #2 1620 sq ft	
building #3 5610 sq ft	
total building coverage	10,330 sq ft
required open area 57,142 sq ft x 30%	16,812 sq ft
actual open area	13,115 sq ft

revisions
7/24/02
11/21/02
2/16/03
3/20/03
4/2/03
4/16/03

**MILL POND
long grove**

CONTRACTOR SHALL VERIFY ALL PLAN AND EXISTING DIMENSIONS AND CONDITIONS BY JOB AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT BY WRITING OF ANY DISCREPANCIES OR OTHER PROBLEMS WITH WORK OR BE RESPONSIBLE FOR SAME.



Planning and Design Guidelines

Privately-owned Properties

Historic Downtown

Uses

Land uses within the Historic Downtown must be compliant with uses set forth in the Long Grove Municipal Zoning Code, Title 5. The following uses will be allowed within the zoning district under a Planned Unit Development.

Historic Core Sub-district

- Retail
- Office
- Open Space
- Parking

Open Space
Only passive recreation is allowed

Mixed-Use
Retail and Office

Open Space
No development allowed within the floodplain
Only passive recreation is allowed



*Please note the design for the Historic Core Sub-district is conceptual and does not represent the final design of the area. More than one design solution is possible and creative proposals for the final site design are encouraged by the Village of Long Grove

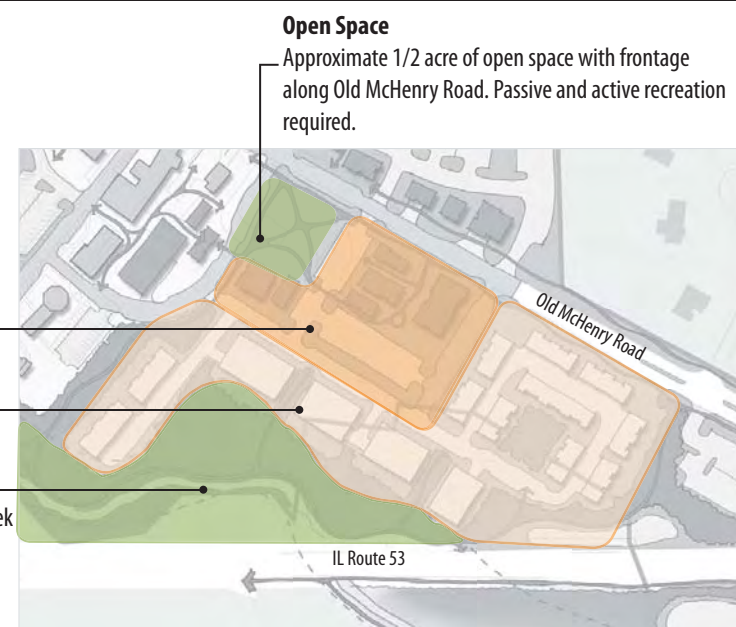
Triangle Sub-district

- Retail close to existing downtown
- Office on upper floors or east of retail area
- Hotel on upper floors or east of retail area
- Residential
- No buildings and / or roads located within the Buffalo Creek Floodplain

Mixed-Use
Retail and Office

Mixed-Use
Commercial / Office / Residential / Hospitality

Open Space
No development allowed within the Buffalo Creek Floodplain between Old McHenry Road and IL Route 53.
Only passive recreation is allowed



Open Space
Approximate 1/2 acre of open space with frontage along Old McHenry Road. Passive and active recreation required.

*Please note the design for the Triangle Sub-district is conceptual and does not represent the final design of the area. More than one design solution is possible and creative proposals for the final site design are encouraged by the Village of Long Grove

Business District

Uses

Land uses within the Business District must be compliant with uses set forth in the Long Grove Municipal Zoning Code, Title 5. The following uses will be allowed within the zoning district under a Planned Unit Development.

Route 83 Sub-district

- Retail (In-line, anchor, and outlot)
- Office as a stand alone building or in a location that does not break continuous retail frontages
- Residential appropriate on south end

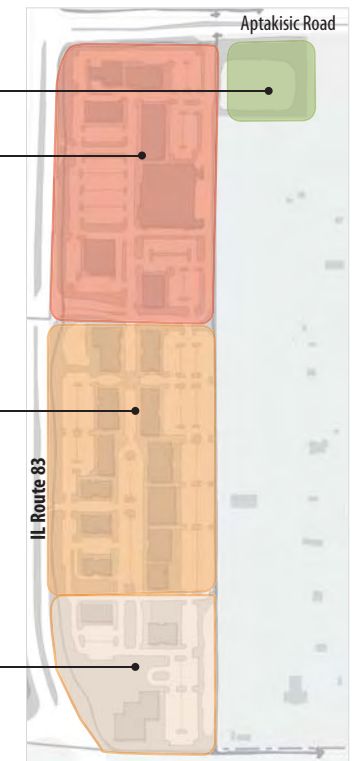
*Please note the design for the Route 83 Sub-district is conceptual and does not represent the final design of the area. More than one design solution is possible and creative proposals for the final site design are encouraged by the Village of Long Grove.

Detention / Open Space

Retail

Mixed-Use
Retail and Office

Mixed-Use
Commercial / Office / Residential / Hospitality



Route 53 Sub-district

- Drive to retail on the west corner of Old McHenry Road and IL Route 53. No banks, drugstores, gas stations, or drive-thrus will be allowed.
- Office per existing Planned Unit Development
- Residential south of IL Route 53
- No buildings and / or roads located within the Buffalo Creek Floodplain.

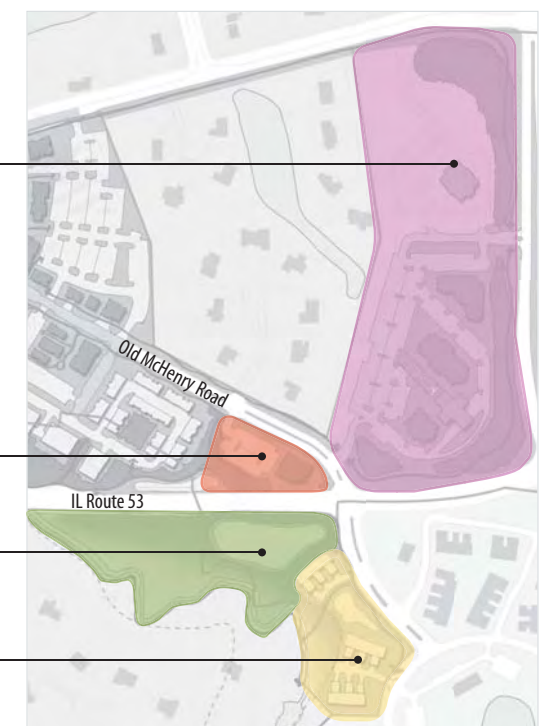
*Please note the design for the Route 53 Sub-district is conceptual and does not represent the final design of the area. More than one design solution is possible and creative proposals for the final site design are encouraged by the Village of Long Grove.

Office

Retail

Detention / Open Space

Residential



Planning and Design Guidelines

Privately-owned Properties, *continued*

Historic Downtown

Bulk, Space, and Yard Requirements

Height

Follow the requirements set forth in the Long Grove Municipal Code, 5-4-10, Bulk, Space, and Yard Requirements with, to the greatest extent possible, the below additions / exceptions:

- Building heights of new or in fill development should complement the existing pattern of building heights.
- New buildings should reflect the width and height proportionate to neighboring structures. Roof must maintain a compatible roof form and line with adjacent buildings.

Triangle Sub-district Height

- Maximum of 30 feet adjacent to Old McHenry Road
- Maximum of 40 feet set back a minimum of 200 feet from Old McHenry Road



Triangle Sub-district

Yards and Setbacks

Follow the requirements set forth in the Long Grove Municipal Code, 5-4-10, Bulk, Space, and Yard Requirements with, to the greatest extent possible, the below additions / exceptions:

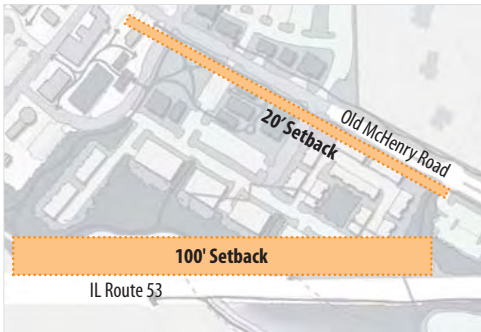
- Setback areas within the Historic Downtown should work in tangent to maintain the alignment of facades adjacent to the sidewalks and pedestrian areas.
- Setbacks should create a positive image and should be similar in dimension to setbacks of adjacent buildings.
- Exceptions may be granted if the proposed setback is pedestrian focused and contributes to the quality and character of the streetscape.

Historic Core Sub-district Minimum Setbacks

- From Old McHenry Road: 20 feet
- From Robert Parker Coffin Road: 10 feet

Triangle Sub-district Minimum Setbacks

- From Old McHenry Road: 20 feet
- From Illinois Route 53: 100 feet



Triangle Sub-district

Coverage

Follow the requirements set forth in the Long Grove Municipal Code, 5-4-10, Bulk, Space, and Yard Requirements with, to the greatest extent possible, the below additions / exceptions:

- A variety of sizes and massing is encouraged in the Triangle Sub-district.
- New building should respect the scale of Downtown.

Historic Core Sub-district Coverage

- Structural Coverage: 7,000 square feet
- Gross Impervious Coverage: 85%

Triangle Sub-district Coverage

- Structural Coverage: 7,000 square feet
- Gross Impervious Coverage: 85%

Business District

Bulk, Space, and Yard Requirements

Height

Follow the design recommendations listed for the Historic Downtown with the below differences:

Route 83 Sub-district Height

- Maximum of 40 feet for commercial uses
- Maximum of 30 feet for residential uses

Route 53 Sub-district Height

- Maximum of 40 feet commercial uses
- Maximum of 30 feet for residential uses



Route 53 Sub-district

Route 83 Sub-district

Yards and Setbacks

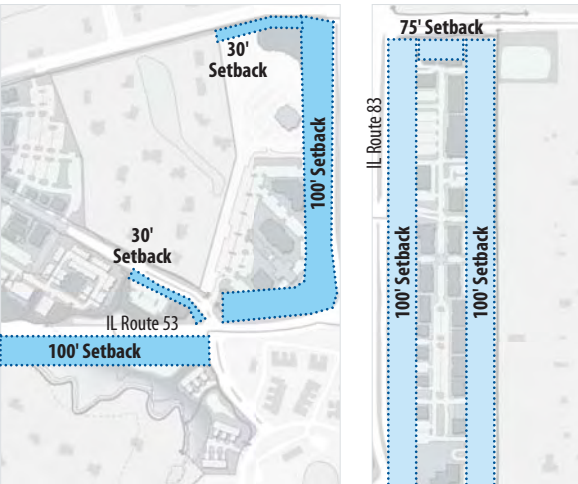
Follow the design recommendations listed for the Historic Downtown with the below differences:

Route 83 Sub-district Building Setbacks

- From Illinois Route 83: 100 feet
- From Aptakisic Road: 75 feet
- From adjacent residential: 100 feet

Route 53 Sub-district Building Setbacks

- From Illinois Route 83: 100 feet
- From Illinois Route 53: 100 feet
- From Robert Parker Coffin Road: 30 feet
- From Illinois Route 53, west of McHenry Road: 30 feet
- From Fremont Way: Match existing residential setbacks



Route 53 Sub-district

Route 83 Sub-district

Coverage

Follow the design recommendations listed for the Historic Downtown with the below differences:

Route 83 Sub-district Coverage

- Floor Area Ratio: 0.16
- Gross Impervious Coverage: 72.5%

Route 53 Sub-district Coverage

- Commercial Floor Area Ratio: 0.18
- Residential Floor Area Ratio: 0.40
- Gross Impervious Coverage: 45%
- Promenade Development: Follow PUD requirements

Planning and Design Guidelines

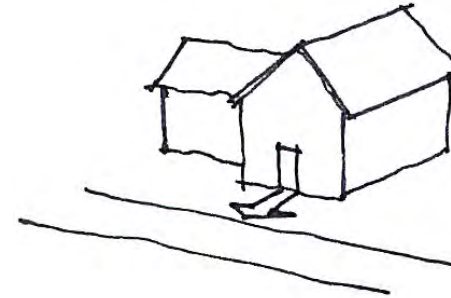
Privately-owned Properties, *continued*

Historic Downtown

Bulk, Space, and Yard Requirements

Orientation

- Primary entrance of the building should face the main access way, street, or other public spaces. The entrance should be easily identifiable by visitors and patrons.
- Configure the building to create focal points of pedestrian activity.
- Sites adjacent to residential uses should orient the building to minimize impacts to residents.
- Buildings within the Triangle Sub-district should be located along a street to create a more friendly pedestrian experience.
- Corner sites should be designed with attractive front building facades along both street frontages.
- Buildings should have a clear and functional tie between new and existing structures.
- Buildings should define edges of development blocks and should frame open space.
- No drive-thrus are allowed in the Historic Downtown.



Orient the front entrance to be adjacent to the main vehicular and pedestrian circulation.

Business District

Bulk, Space, and Yard Requirements

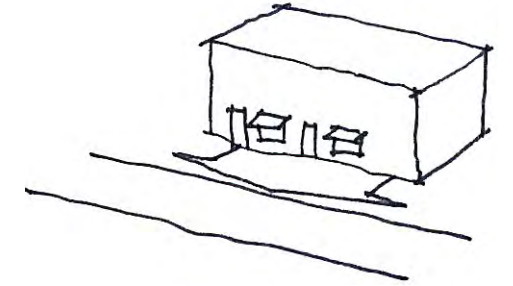
Orientation

Follow the design recommendations listed for the Historic Downtown with the below additions:

- Primary entrance of the building should face the main internal circulation streets.
- Configure the building to create focal points of pedestrian activity.
- Buildings within the Route 83 Sub-district should be located along a main axis or main street to create a more friendly pedestrian experience .
- Outlot buildings should be designed to have four-sided architecture.
- Office buildings should be designed to relate to existing structures on-site.
- Drive-thrus should be located to be screened from any public roadway.

Route 53 Sub-district Building Setbacks

- Proposed buildings should meet all PUD requirements while respecting the existing bank building.
- Alignment of proposed building should follow a northwest/southeast orientation, as shown to the right.



Orient the front entrance to be adjacent to the main vehicular and pedestrian circulation.



New buildings should be oriented to relate to the existing structure.

Sustainable Building Techniques

Property owners are encouraged to follow Leadership in Energy and Environmental Design (LEED) practices relating to building and construction techniques. New and restored building should utilize the LEED Register Project Checklist as a guide.

Example checklist topics include:

- Sustainable Sites
- Water Efficiency
- Energy and Atmosphere
- Materials and Resources
- Indoor Environmental Quality
- Innovation and Design Process

Additional information and LEED Project checklists can be found on the US Green Building Council website. <http://www.usgbc.org>

Common green building elements may include:

- Green Roofs
- Using locally fabricated materials
- Interior air quality
- Permeable paving
- Sustainable site design
- Green construction techniques



Rain gardens slow the stormwater runoff from impervious surfaces to allow infiltration back into the soil.



Native plants can reduce the amount of required watering, fertilizing, and maintenance.

Sustainable Building Techniques

Sustainable Building Techniques should be utilized for new development within the Business District. Follow the design recommendations listed for the Historic Downtown.



Naturalized detention is used to temporarily store storm stormwater on site and release it at a controlled rate.



A bioswale is used to slow the speed of surface runoff to allow the stormwater to infiltrate back into the ground.

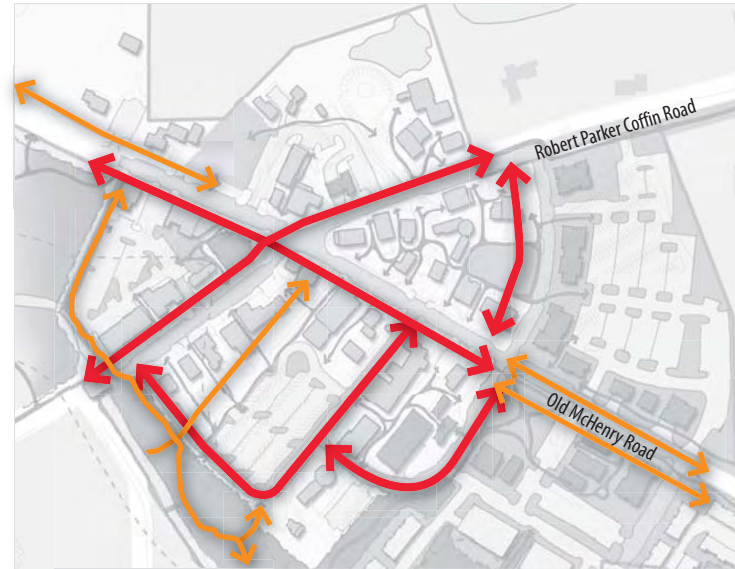
Planning and Design Guidelines

Privately-owned Properties, *continued*

Historic Downtown

Circulation and Trails

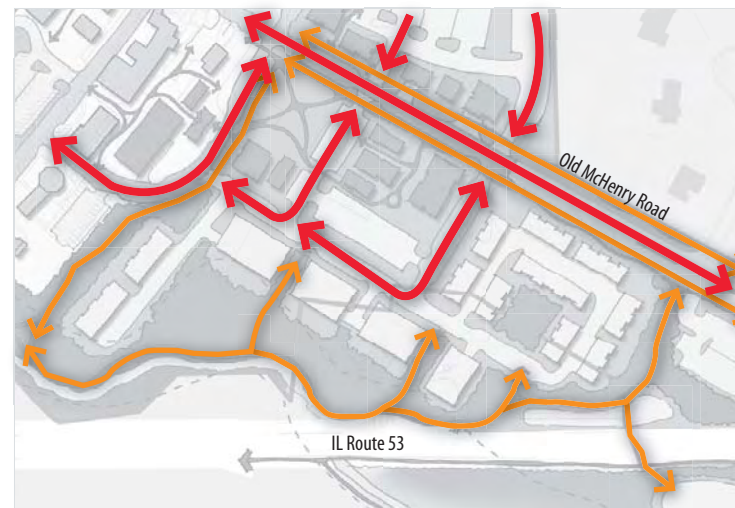
- Historic Core Sub-district**
- Create new roadway network by Fountain Square, Stempel Parking Lot, and connection to the Triangle Sub-district.
 - Sidewalks are required through parking lots.
 - Sidewalks in private areas should be constructed of concrete or clay pavers. Pavers can be installed on a gravel base.
 - Construct a rigid base under all pavers used for vehicular routes.
 - Trails must be 6-10 feet wide and constructed of asphalt or concrete.
 - Sidewalks and trails must meet current ADA code requirements.
 - Sidewalks and trails should facilitate major destinations and offer a safe and direct means of travel.
 - Design sidewalks and trails to provide water run-off and avoid puddling.
 - New private roadways and sidewalks should conform to the standards set in Section 2.



Historic Core Sub-district

- ↔ Primary Vehicular Circulation
- ↔ Primary Pedestrian Circulation

- Triangle Sub-district**
- Provide access to the Stempel Parking Lot from the Triangle Sub-district with new public roads and sidewalks.
 - Align new roadway entrances with new streets and / or parking lot entrances with new streets and parking lot connections.
 - Connect new trails throughout the Buffalo Creek floodplain to the Covered Bridge Trail and other regional trails.
 - Well marked sidewalks and crosswalks are required in parking lots.
 - Use concrete or clay pavers for sidewalks. Install pavers on a gravel base.
 - Create concrete or asphalt trails that are 6-10 feet in width and meet ADA code requirement.
 - Connect the Triangle site to other major destinations with safe and comfortable trails and sidewalks.
 - Design sidewalks and trails to facilitate water run-off and avoid puddling.
 - No new vehicular connections are permitted between Illinois Route 53 and Old McHenry Road.
 - Design new roadways and sidewalks so they conform to the standards set in Section 2 of these Guidelines.



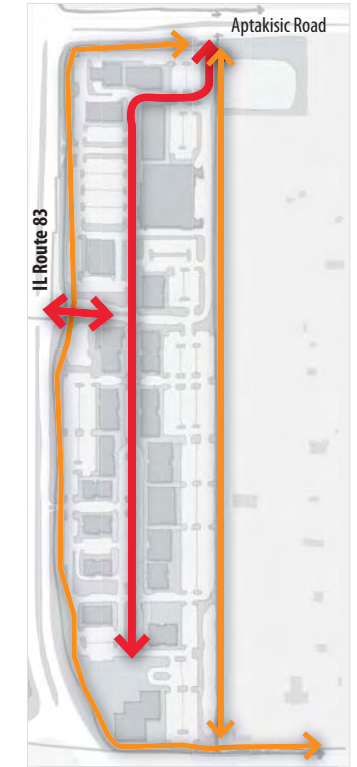
Triangle Sub-district

- ↔ Primary Vehicular Circulation
- ↔ Primary Pedestrian Circulation

Business District

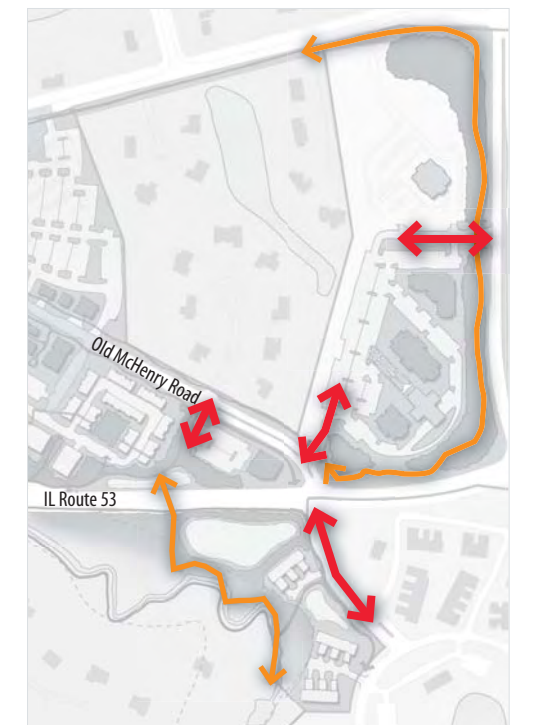
Circulation and Trails

- Route 83 Sub-district**
- Follow the design recommendations listed for the Historic Downtown with the below differences:
- Create new main axes or main street to connect various phases of development.
 - Align the main vehicular access from Illinois Route 83 with Robert Parker Coffin Road.
 - Permit only right in, right out access from Aptakasic Road.
 - Create a 10-12 foot wide multi-purpose trail along the east side of Illinois Route 83 that is safe and comfortable for pedestrians and cyclists.
 - Site should be designed to allow future vehicular connection at IL Route 83 and 53 intersection.



Route 83 Sub-district

- Route 53 Sub-district**
- Follow the design recommendations listed for the Historic Downtown.



Route 53 Sub-district

- ↔ Primary Vehicular Circulation
- ↔ Primary Pedestrian Circulation

Planning and Design Guidelines

Privately-owned Properties, *continued*

Historic Downtown

Buffer Yards, Landscaping, and Screening Requirements

Buffer Yards

Follow the requirements set forth in the Long Grove Municipal Code, 5-9-7, Buffer Yards, Landscaping, and Screening Requirements, to the greatest extent possible, except as listed below:

- Provide premium landscaping elements in all buffer yard.
- Place plants or planter pots by main building entrances. Use additional site furnishings / landscaping to provide a variety of aesthetically pleasing elements.
- **Remaining Sides:** Locate planting adjacent to building foundations.
- **Open Space:** Plan open spaces with a variety of shade and ornamental trees. Incorporate shrubs, grasses, groundcover, perennials, and annuals into planting areas.



An extensive variety of premium landscape features is highly desirable for the Historic Downtown Long Grove.

Landscaping

Follow the requirements set forth in the Long Grove Municipal Code, 5-9-7, Buffer Yards, Landscaping, and Screening Requirements, to the greatest extent possible, except as listed below:

- Retain as many existing trees and natural features as possible. Preserve existing vegetation that is environmentally beneficial and consistent with Long Grove's image and identity.
- Use native plants wherever possible.
- Plant trees, shrubs, groundcover, and perennial plantings in required setback areas.
- Use a wide variety of plant materials to provide seasonal interest.
- Reinforce the established landscape patterns of existing trees and lawns.
- Incorporate mass plantings wherever possible.
- A recommended planting list is included in Section 2. Selected plant material should be based on hardiness, disease resistance, ease of maintenance, and seasonal interest.
- Use landscaping features that comply with the tree preservation ordinance.



Planting a variety of perennials and annuals is encouraged.

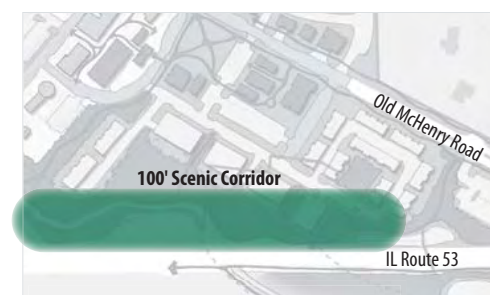
Screening / Scenic Corridor

Follow the requirements set forth in the Long Grove Municipal Code, 5-9-7. Buffer Yards, Landscaping, and Screening Requirements, to the greatest extent possible, except as listed below:

- **Buffer Plants:** Use plantings that contain a minimum of 50% evergreen trees that are 608 feet tall to allow for year long buffering.

Scenic Corridor Easement

- **Historic Sub-district:** None along Old McHenry Road
- **Historic Sub-district:** None along Robert Parker Coffin Road
- **Triangle Sub-district:** 100 foot from IL Route 53
- **Triangle Sub-district:** None along Old McHenry Road



Triangle Sub-district

Business District

Buffer Yards, Landscaping, and Screening Requirements

Buffer Yards

Follow the design recommendations listed for the Historic Downtown with the below differences:

- Landscape should visually tie adjacent buildings together to establish a continuation along street frontage.
- **Open Space:** Detention areas should be designed and planted in a natural manner.



Detention areas and buffer yards should incorporate natural forms and plant materials.

Landscaping

Follow the design recommendations listed for the Historic Downtown with the below addition:

- Non-native plant species should be limited.



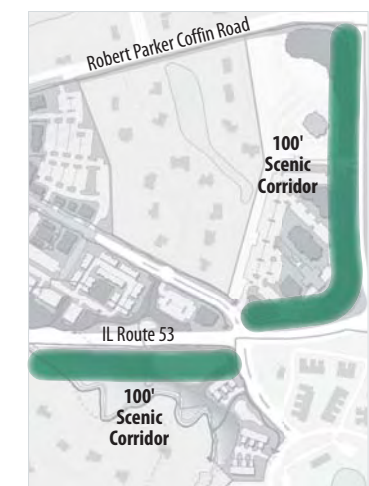
Quality landscaping enhances the visual appeal of commercial businesses

Screening / Scenic Corridor

Follow the design recommendations listed for the Historic Downtown with the below differences:

Scenic Corridor Easement

- **Route 83 Sub-district:** 100 feet from IL Route 83
- **Route 83 Sub-district:** None along Aptakistic Road
- **Route 53 Sub-district:** 100 feet from IL Route 53
- **Route 53 Sub-district:** None along Old McHenry Road



Route 53 Sub-district



Route 83 Sub-district

Planning and Design Guidelines

Privately-owned Properties, *continued*

Historic Downtown

Parking

- Parking Lot Layout**
- Follow the requirements set forth in the Long Grove Municipal Code, 5-9-4, Off-Street Parking with, to the greatest extent possible, except as listed below:
- Use consistent parking dimensions for stall widths, curb to curb distances, and parking angles.
 - Use simple parking lot design and incorporate perpendicular parking wherever possible.
 - Design parking lots that are paved, striped, and feature delineated curbs and gutters. Provide illumination that permits safe and convenient evening use.
 - Design parking lots to avoid layouts that visually dominate the site . Avoid using dead end parking rows.
 - Provide well marked sidewalks and crosswalks within and between parking lots that are safe and comfortable for pedestrians.
 - Clearly define parking areas and physically separate them from roadways.
 - Locate temporary parking in private lots throughout the Historic Downtown.
 - Provide a 2 foot overhang for car bumpers.
 - Encourage businesses to reserve nearby parking spaces for customers and require employees to use the public parking lots.
 - Design parking lots constructed of asphalt, concrete, stamped concrete, permeable pavers, or vehicular pavers on an asphalt setting bed with a concrete underlay defined by concrete or granite curbs
 - **Triangle Sub-district, Retail Buildings:** No retail parking requirements.
 - **Triangle Sub-district, Residential Uses:** Two attached spaces per unit.



Parking lot landscape islands provide safe pedestrian access.



Permeable paving is preferred for parking lot surfaces.

- Parking Lot Landscape and Screening**
- **Parking lots up to 4,500 square feet:** Landscape area should equal 8% of the vehicle area.
 - **Parking lots between 4,500 square feet and 20,000 square feet:** Landscape area should equal 10% of the vehicle area.
 - **Parking lot over 20,000 square feet:** Landscape area should equal 12% of the vehicle area.
 - Break up large areas of paving with planting islands that are a minimum 10 feet wide. Place trees and shrubs in planting islands located within parking areas.
 - Plant one tree for every 10 parking spaces. Use a minimum 3 inch caliper.
 - Set back parking lots 10 feet from adjacent property lines.
 - Provide high quality landscaping or hardscaping features to screen parking lots from public sidewalks. Plant trees in parking lots perimeters to define the boundaries between the street and the parking lot.
 - Use a combination of trees, shrubs, and groundcover within landscape buffers. Locate landscape features so that parking lots are screened from adjacent residences.



Use native plants to help screen a parking lots.

Business District

Parking

- Parking Lot Layout**
- Follow the design recommendations listed for the Historic Downtown with the below differences:
- No bus parking is allowed.
 - All parking within 200 feet of the commercial building is to be reserved for customers.



Use landscaped islands in parking lots to visually subdivide and shade paved surfaces.



Physically separate parking lots from from roads. Screen parking lots with high quality landscaping materials.

- Parking Lot Landscape and Screening**
- Follow the design recommendations listed for the Historic Downtown with the below addition:
- When parking is adjacent to a residential area, fencing should be included along shared property line.



Use high quality fencing to screen parking lots from residences

Planning and Design Guidelines

Privately-owned Properties, *continued*

Historic Downtown

Loading and Services

- Location**
- Locate loading and service areas so they are hidden from street views.
 - Locate loading and service areas behind or to the sides of buildings and separate them from pedestrian traffic. Make sure they do not impede emergency access.
 - Use group recycling areas wherever possible.
 - Maintain emergency access at all times.



Physically separate service areas from public areas.

- Screening**
- Screen commercial buildings from adjacent residences with walls or landscaping features.
 - Shield roof mounted mechanical equipment from views on all sides.
 - Screen mechanical equipment, air conditions, and delivery / storage containers from view with high quality fencing, hardscaping materials, and / or landscaping features.



Fully integrate screens for service areas and dumpsters into a building structure or screen them from view with high quality fencing, hardscaping materials and / or landscaping features.

- Refuse Enclosures**
- Fully integrate screens for dumpsters into building structures using the same high quality materials that are used for the primary building. Or, fully screen service areas and dumpsters from view using high quality fencing, walls, and / or landscaping features that are complementary to the primary building and adjacent properties.
 - Create common areas for refuse enclosures wherever possible. Reduce the number of collections and multiple service providers whenever feasible.

- Refuse Collection and Delivery Times**
- Implement restrictions as necessary on deliveries and service times for commercial buildings that abut residential areas.
 - Limit pick up / drop off times to 8 a.m. - 8 p.m.
 - Do not begin service activities until 7 a.m. on weekdays and 8:00 a.m. on Saturdays. Do not allow service activities on Sundays.

Business District

Loading and Services

- Location** Follow the design recommendations listed for the Historic Downtown.

- Screening** Follow the design recommendations listed for the Historic Downtown with the below addition:
- Screen service areas and dumpsters from view using high quality fencing, walls, and / or landscaping features that are complementary to the primary building and adjacent commercial properties.

- Refuse Enclosures** Follow the design recommendations listed for the Historic Downtown.

- Refuse Collection and Delivery Times** Follow the design recommendations listed for the Historic Downtown with the below differences:
- Limit pick up / drop off times to 7 a.m. - 10 p.m.
 - Do not begin service activities until 7 a.m. on weekdays and 8:00 a.m. on Saturdays. Do not allow service activities on Sunday.

Planning and Design Guidelines

Privately-owned Properties, *continued*

Historic Downtown

Stormwater Management

Provide adequate stormwater management facilities for new developments within the Historic Downtown. Design the facilities that comply with Lake County Stormwater Management Regulations while following the basic principles listed below:

- Minimizes impervious surfaces and eliminate as much impervious surface as possible by installing vegetated roofs or pervious surfaces.
- Locate buildings, roads, and parking away from natural resource areas and soils that infiltrate well.
- Retain native vegetation and trees where possible.
- Preserve native soil where possible.
- Utilize existing topography and plant material of a site to slow, store, and infiltrate stormwater.
- Protect natural drainage features.
- Utilize Best Management Practices (BMP) such as bioretention, bioswales, or permeable pavement to help decrease the size of stormwater ponds.
- Design detentions areas to be natural in form and planting. Incorporate curvilinear edges and appropriate native plantings wherever possible. Use taller plant material within detention area buffer plantings that are located adjacent to residences.



Use native plantings in parking islands for stormwater management.



Use bioswales in planting islands to help filter parking lot run-off.

Business District

Stormwater Management

Provide adequate stormwater management facilities for new developments within the Business District. Follow the guidelines listed for the Historic Downtown.



Use bioswales in planting islands to help filter parking lot run-off.



Incorporate natural forms and plant materials into the design of detention areas.

Planning and Design Guidelines

Privately-owned Properties, *continued*

Historic Downtown

Long Grove Style

Architecture

Follow the requirements set forth in the Long Grove Municipal Code, 7-2-4, Long Grove Style, to the greatest extent possible, except as listed below.

- Emphasize street corners with signature architectural design.
- Vary the architectural styles of contiguous buildings to reflect the eclectic feel of the existing buildings in the Historic Business District.
- Emphasize the distinction between fronts, sides, and backs of the buildings with architectural design elements and / or building materials.
- Incorporate the mass, dimension, scale, materials, facade articulation, roof lines, and overall character of the Historic Downtown into the architectural design of new structures.
- Provide entrances at ground level and insure barrier-free access to building.



Emphasize the distinction between fronts, sides, and backs of buildings with architectural design elements and / or building materials.

Roofs and Facades

- Design buildings facades with a base, middle, and top.
- Subdivide large facades vertically with windows, columns, or other architectural features.
- Thoughtfully integrate ornamentation into the overall building design.
- Use dormers, skylights, and clerestories to enliven the appearance of roofs.
- Do not use false facades or false roof lines.
- Do not use mansard roofs.
- Do not use vinyl or metal sidings.
- Develop a rhythm of design elements, such as alternating windows, to create interest in the building's facade.
- Incorporate widows in front building facade to highlight retail or commercial spaces.



Design building façades with a base, middle, and top.

Building Material

- Use high quality, long lasting building materials (preferred primary building materials include stone, brick, and wood).
- The following materials are considered inappropriate for the Historic Downtown: Concrete block, concrete masonry units, corrugated fiberglass, imitation rock work, and mirror or metallized reflective glass.
- Select masonry colors which are compatible with adjacent structures.
- Use building materials with warm colors. Trim colors should be contrasting but compatible with the building's color.



Use high quality, long lasting building materials.

Business District

Long Grove Style

Architecture

Follow the design recommendations listed for the Historic Downtown with the below addition:

- Complement the architectural style of existing buildings within the Historic Downtown (complementary styles are not limited to Victorian or Greek Revival).



Use architectural design elements that harmonize with the classical styles of existing buildings in the Business District.

Roofs and Facades

Follow the design recommendations listed for the Historic Downtown with the below additions:

- Allow flat roofs in conjunction with gently sloped roofs for office and commercial buildings if the roofs are well designed.
- Use overhanging roofs wherever possible.
- Use green roofs wherever possible.



Subdivide large façades vertically with windows, columns, or other architectural features.

Building Material

Follow the design recommendations listed for the Historic Downtown with the below addition:

- Decorative concrete masonry units are allowed in the Business District within service areas and / or at the rear of the building, hidden from street views.



Use high quality, long lasting building materials.

Planning and Design Guidelines

Privately-owned Properties, *continued*

Historic Downtown

Lighting

- Parking Lot Lighting** Follow the requirements set forth in the Long Grove Municipal Code, 5-9-9, Exterior Lighting, to the greatest extent possible, except as listed below.
- Parking lot lighting should be adequate to ensure pedestrian and vehicular safety and be activated by a photocell. Full public illumination is expected until midnight each day.
 - Use dark sky friendly lighting.
 - Design and orient lighting as not to reflect or shine on adjacent properties. Provide a cut-off lens adjacent to residential properties to ensure that light is directed on site.
 - Parking lot lighting must be design as to not call attention to the parking lot.
 - Organize, articulate, and enhance the lighting to reinforce the downtown structure. Poles should be located in planter islands and perimeter landscape areas.
 - Remove and replace existing non-conforming units.
 - Perimeter poles must be set back a minimum of 2 feet from back of curb.
 - Parking lots shall have lighting levels in accordance with the latest edition of the Illumination Engineering Society (IES) Lighting Handbook.
 - See Section 2 for specific public lighting requirements.



Box shaped light fixture is preferred for parking lot lighting in the Historic Downtown.

Pole and Fixture Color: Black or Dark Brown
Lantern: Dark Sky Friendly
Pole: Decorative Concrete or Metal
Preferred Height: 25 feet

- Pedestrian Lights**
- Light poles are required to be setback at least 2 feet from walkways.
 - Use dark sky friendly lighting.
 - Use white light in pedestrian areas.
 - Lighted bollards and other landscape lighting may be placed along pedestrian walkways and within the landscape.
 - Bollards must be located at least 1 foot from pedestrian walkways.
 - Cut-off reflective lenses are recommended to direct light onto walkways.
 - Parking lots shall have lighting levels in accordance with the latest edition of the Illumination Engineering Society (IES) Lighting Handbook.
 - See Section 2 for specific public lighting requirements.



Traditional style fixture is preferred for pedestrian lighting in the Historic Downtown.

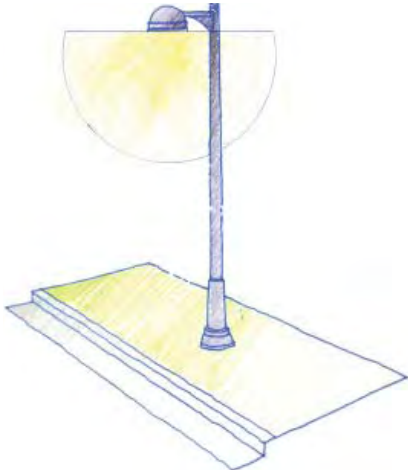
Pole and Fixture Color: Black or Dark Brown
Lantern: Dark Sky Friendly
Pole: Decorative Concrete or Metal
Height: 10-16 feet

- Architectural and Seasonal Lighting**
- Major entry ways should be carefully illuminated.
 - Illumination should highlight the entry with soft, controlled light.
 - Building illumination is only allowed in the Historic Downtown.
 - Seasonal lighting is encouraged to be placed and maintained on buildings and landscaping. Seasonal lighting is allowed between November 1 and February 1.
 - Roof outlining in white lights is allowed year round. Burned out bulbs must be changed in a timely manner.

Business District

Lighting

Parking Lot Lighting Follow the design recommendations listed for the Historic Downtown.



Dark sky light fixtures are designed to direct lamp light downward and outward where it is useful rather than upward.

Pedestrian Lights Follow the design recommendations listed for the Historic Downtown with the below addition:

- Install pedestrian lights along primary vehicular circulation routes.
- Color:** Black
Lantern: Traditional Style, with swan style neck
Pole Material: Metal
Height: 12-16 feet
Accessories: Hanging Baskets or Banner Arms



Traditional fixture with swan style neck is preferred for pedestrian lighting in the Business District.

Architectural and Seasonal Lighting Follow the design recommendations listed for the Historic Downtown.

Planning and Design Guidelines

Privately-owned Properties, *continued*

Historic Downtown

Site Furnishings

- Site furnishings in private areas should closely resemble chosen amenities for public areas. See Section 2 for furnishings chosen for public improvements.
- When redevelopment projects disturb existing, non-compliant site furnishings, these items should be replaced.
- Developments should place benches, trash / ash receptacles, lights, bike racks, and other site furnishings in locations where they will be easily accessible to patrons, employees, and visitors.
- Materials should reflect the style of other Village furniture and be high quality.
- Maintenance and cost effectiveness are influenced by durability and construction quality.



Existing stone bench in the Historic Downtown.

Benches

- Benches should be located near building entrances, adjacent to walkways, and through out any open space.
 - Benches should be securely mounted to minimize theft and vandalism.
 - Bench selection will be approved by the Village of Long Grove.
 - When redevelopment projects disturb existing site furnishings, those items should be replaced with approved equals.
 - Colors and materials should complement Historic Downtown architecture and landscape
- Length:** Should be long enough to accommodate 2 to 3 people comfortably.



Custom benches, such as this, are encourage but must complement the Historic Downtown's architecture and landscape.

Trash / Recycling / Ash Receptacle

- Receptacles should be spaced throughout the right-of-way, placing additional receptacles near restaurants and other areas of heavy pedestrian use.
- Color:** Black
Material: Metal



Manufacturer: DuMor
Model: Receptacle 102



Manufacturer: DuMor
Model: Ash Urn 123

Mailboxes

- Mailboxes located within the Historic Downtown shall be located within the right-of-way.
 - Custom mailboxes may also be installed and must reflect the character of Historic Long Grove.
 - Custom Mailboxes must be approved by the Village of Long Grove Architectural Board and be compliant with any United States Postal Service requirements.
- Color:** Black
Material: Metal



Example of desirable group mailbox styles for the Historic Downtown.

Business District

Site Furnishings

- Follow the design recommendations listed for the Historic Downtown with the below addition:
- Site furnishings must complement the development's architectural character.

Benches

- Follow the design recommendations listed for the Historic Downtown with the below additions:
- Benches should be located in pedestrian areas.
 - Benches may be constructed of recycled material.
- Color:** Black
Material: Metal



Benches may be constructed of recycled material.

Trash / Recycling / Ash Receptacle

- Follow the design recommendations listed for the Historic Downtown with the below addition:
- Receptacles may be constructed of recycled material.



Receptacles may be constructed of recycled material.

Mailboxes

- Follow the design recommendations listed for the Historic Downtown with the below additions:
- Mailboxes for large commercial development shall be incorporated within the commercial building.
 - If residential housing utilizes a gang box, it must follow the below requirements.

Planning and Design Guidelines

Privately-owned Properties, *continued*

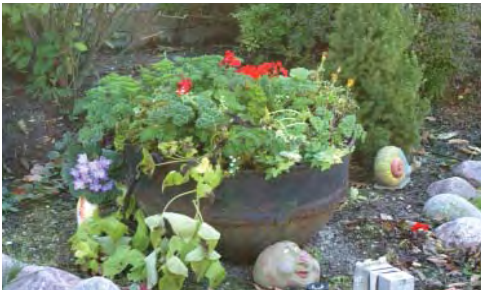
Historic Downtown

Site Furnishings

- Bicycle Racks**
- Bicycle racks may be placed adjacent to benches or building entrances.
 - A simple design having little visual impact is preferred.
 - Bicycle racks must be permanently secured to the ground.
- Color:** Black or Dark Brown
Material: Metal



- Planters**
- Planters should be located adjacent to the public sidewalks in areas that are not conducive to in-ground planting.
 - Hanging planters shall also be placed on street / pedestrian lights within the right-of-way, adjacent to the street.
 - Wood planters are prohibited.
- Color:** Complement architecture
Material: Clay, concrete, metal or approved equal



Similar to this metal pot, unique, durable, and high quality planters are encourage to be placed adjacent to businesses.

- Unique Site Amenities**
- Unique site amenities are encourage to be placed in the Historic Downtown.



Unique elements may be permanent or seasonal.

Business District

Site Furnishings

- Bicycle Racks**
- Follow the design recommendations listed for the Historic Downtown with the below additions:
- Bicycle racks should be spaced throughout the right-of-way, placed adjacent to benches and building entrances.
 - Style should match the development's theme and architecture.
- Color:** Black
Material: Per manufactures regulations



- Planters**
- Follow the design recommendations listed for the Historic Downtown.

- Unique Site Amenities**
- Follow the design recommendations listed for the Historic Downtown with the below addition:
- Unique site amenities are encourage but not required in the Business District.

Planning and Design Guidelines

Private Improvements, *continued*

Historic Downtown

Site Furnishings

Fencing

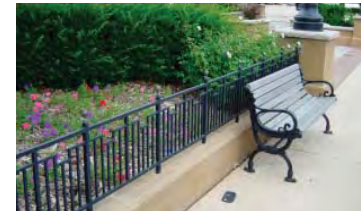
- Fencing shall be used in the Historic Downtown for either decorative or screening purposes.
- Decorative fencing should be “open” fencing and may be located along the front and side yard property lines.
- Screening fencing is only allowed around refuse containers.

Color: White, natural wood, or black metal

Material: Wood or Metal

Decorative Height: Varies

Screening Height: Maximum: 8 feet



Decorative planter fencing



Existing white picket fencing



Wood screening fencing



Existing post and chain

Decorative and Retaining Walls

- All walls should be level, with the height of the wall varying according to the grade changes.

Color: Complementary to building architecture and landscape.

Material: Brick, stone, or other natural material



Existing brick bridge and walls



Existing brick walls



Brick retaining wall



Brick retaining wall

Outdoor Dining

Follow the requirements set forth in the Long Grove Municipal Code, 5-4-5, Special Uses, to the greatest extent possible, except as listed below.

- Metal fencing shall be placed to define the edges of the outdoor dining space. Fencing must have a minimum of 50% of it's railing or top of fence covered with planter boxes. Planter boxes must include plant material throughout the growing season.
- The location and arrangement of the dining areas must not impede pedestrian or traffic flow or block the access to and from the building.
- All outdoor furnishings shall be constructed of high quality material and must allow for easy removal during the winter months or if required by the Village.
- No advertising or promotional features are allowed in outdoor dining areas.



Existing table and chairs

Table and Chairs

Color and Style: Complementary to existing site

Material: Metal

Optional Accessories: Umbrellas

Business District

Site Furnishings

Fencing

Follow the design recommendations listed for the Historic Downtown with the below additions:

- Screening fencing is only allowed along the rear property line or to screen businesses from residential uses.

Screening Height: Maximum: 8 feet



Wood screening fencing



Wood screening fencing



Metal screening fencing

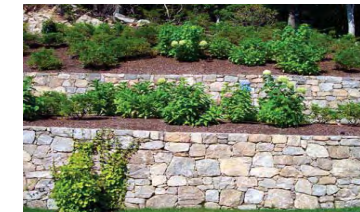
Decorative and Retaining Walls

Follow the design recommendations listed for the Historic Downtown with the below addition:

- Decorative modular wall is allowed but must complement building architecture and landscape.



Brick retaining wall



Stone retaining wall



Modular block retaining wall

Outdoor Dining

Follow the design recommendations listed for the Historic Downtown with the below additions:

Table and Chairs

Color and Style: Black and complementary to site

Material: Metal

Optional Accessories: Umbrellas



Planning and Design Guidelines

Privately-owned Properties, *continued*

Historic Downtown

Signage Regulations

Signs Signs shall follow the requirements set forth in the Long Grove Municipal Code, 5-9-5, Signs, to the greatest extent possible, except as listed below.

General Requirements

- Signs must reflect the historic and eclectic feel of the Long Grove Historic Downtown and be integrated within the landscaping and architecture whenever possible.
- Creative and unique signs are encouraged.
- Signs may not be internally illuminated.
- Recommended signs can be illuminated with architecturally appropriate fixtures including goose-neck style, carriage style, ground sign up lighting, or other fixtures designed to be hidden from view.

Placement

- No sign shall be placed more than 12 feet above finished grade at the main entrance of the building.
- Signs must be placed adjacent to the destination they are intended to serve.
- Window signs area allowed but are to cover no more than 20% of the total window space.

Colors

- A darker background with lighter lettering is encouraged.
- Use body colors for awnings and canopies that blend with the building facade.

Materials

- Signs should be simple and constructed of high quality materials.
- Signs must be durable, vandal resistant, and designed for easy maintenance.
- Suggested materials include painted wood, metal, and stone.
- No particle board or plastic is allowed.
- Highly reflective metallic signs are not permitted.

Content

- Signs shall be limited to the business name and a maximum of five additional words describing the products or services.
- Signs may not include an email, web, address, or phone number of the business.
- A graphic or symbol may be included on the sign given it is complementary to the overall design of the sign.

Temporary Signs

- Temporary signs must comply with Section 5-9-3 of the Long Grove Municipal Code.
- Hand lettered or temporary ground stake signs are prohibited.
- Daily retail “specials” signs or sandwich board are not allowed to be placed within the right-of-way.



Business District

Signage Regulations

Signs Follow the design recommendations listed for the Historic Downtown with the below differences.

General Requirements

- Use low-profile signs, which are compatible with the architecture of the building.
- Signage should provide information and direction to direct people without confusion or delay.

Placement

- Wall signs should be integrated into the facade of the building or landscape design.

Materials

- Materials should complement architecture of the building.

IL Route 83 Monument Signage

- Use low-profile signs, which are compatible with the building architecture and site for all uses.
- Retail, office, service, and entertainment signage should be designed as monument signage.
- Each development may not have more than one monument sign.
- One sign per outlot is allowed. Ground signs of all outlots must not be more than 8 feet tall, measured from the final grade to the top of the sign.
- Ground signs for development must not be taller than 15 feet, measured from the final grade to the top of the sign.

Lighting

- Illuminated signs should only light the letters of the sign, not the background.
- Signs can be internally illuminated.



PUBLIC COMMENTS

Joanie's Pizzeria

Outdoor Dining Deck Expansion

Jennifer Marshall

From: Chris Beckord <cbeckord@gmail.com>
Sent: Friday, May 6, 2022 3:08 PM
To: Long Grove
Cc: Taylor Wegrzyn; rodgergoble@comcast.net; Greg Jackson; wilson5279@comcast.com
Subject: Architectural commission. Re. Joanies deck expansion

It has come to my attention that there will be a meeting at the Village Hall May 16 at 7 PM to discuss this matter.

Please enter these comments into the official record.

This project, if allowed to move forward will cause irreparable damage to the Three Lakes neighborhood.

1. Reduced property value.

An approval of this deck expansion will significantly reduce the value of the properties surrounding Mill Pond. We all remember that during the real estate crisis several years ago there were foreclosure's in the Three Lakes neighborhood. When certain properties in a neighborhood are devalued all the properties are devalued. That's the way the real estate market works. We all saw it happen.

2. Constant and oppressive noise

With the deck at its current size the noise at times becomes unbearable. The thought of sitting out on your deck like all the other residence of Long Grove and enjoying lunch or the evening is just not possible. We are not talking about a isolated situation, we are talking about it happening twice every day.

Currently the north side of the building has large sliding doors that can be opened. Although the village does not allow these doors to be opened at times they are anyway. There is an amphitheater effect created and you can't believe how loud the noise is.

If this deck is allowed to be expanded, the increased noise factor would be crushing and have a significant negative effect on the Three Lakes neighborhood.

A proposal that generated this much significant noise proposed in any other Long Grove neighborhood would simply be denied. Long Grove has very strict rules that are designed to protect all residents and all neighborhoods.

Please protect our neighborhood.

Respectfully;

Chris Beckord

Sent from my iPad

Jennifer Marshall

From: randallharland@gmail.com
Sent: Sunday, May 8, 2022 9:45 PM
To: Long Grove
Subject: Joanie's Pizzeria of Long Grove

It is my understanding that Joanie's Pizzeria of Long Grove has petitioned the village to allow a substantial increase in its decking/outdoor dining area.

As someone who frequently visits the neighborhood on the other side of the pond, I feel this will have a devastating impact on the quiet environment. The peace and quiet of the neighborhood north of Joanie's is a major reason why my family chose to move to Three Lakes Drive many years ago. Yet, we can't keep windows open whenever the weather is mild, as the noise from the restaurant deck travels across the water. If the crowd were to grow, I think it would require my family to sell. If that weren't bad enough, I also feel such an initiative by the restaurant would lower the value of the house substantially.

I believe the village of Long Grove has to consider the balance between commerce and homes. Please be very careful taking the next step, as commerce is apparently about to infringe on the residential aura that attracted my family to the village in the first place.

Randall Harland
randallharland@gmail.com
+1 (224) 279-8240 cell
<https://www.linkedin.com/in/randall-harland-bb11b264/>

Jennifer Marshall

From: David Mundt <dmundt@dmmfirm.com>
Sent: Thursday, May 12, 2022 6:49 AM
To: Long Grove
Subject: Village Meeting of May 16

Good morning,

It has come to our attention that Joannie's restaurant desires to enlarge its outdoor area. While we respect and appreciate the businesses in the downtown LG area, the Three Lakes neighborhood cherishes its quiet peacefulness. We fear that such an expansion will infringe upon this peace.

We will be unable to attend the scheduled May 16 meeting at the Village Hall, but would like to note our position against this request.

Thank you,

David M. Mundt
ATTORNEY AT LAW
4124 RFD
Long Grove, Illinois 60047

Tel: 847-341-9701

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**MEETING MINUTES OF THE
LONG GROVE ARCHITECTURAL COMMISSION
REGULAR MEETING
May 16, 2022
7:00 P.M.**

Chairwoman Sylvester called the meeting of the Long Grove Architectural Commission (AC) to order at 7:00 p.m. with the following members present.

Members Present: Jeanne Sylvester; Laura Mikolajczak; Allen Roiter; and Matthew Akins

Members Absent: John Marshall and John Plunkett

Also Present: Taylor Wegrzyn, Community Development Services, and members of the public.

VISITORS BUSINESS

Chairwoman Sylvester asked if anyone in attendance desired to provide public comments on a topic other than those already on the agenda. All in attendance confirmed that they did not have commentary on other business. Chairwoman Sylvester clarified that the agenda item concerning Joanie's Pizzeria would be a review of the deck's design and any comments concerning the specific use of the deck should be reserved for a future hearing before the PCZBA. The Architectural Commission does not consider zoning relief or actions which fall under the purview of the Planning Commission and Zoning Board of Appeals (PCZBA) or Village Board. T. Wegrzyn noted that notice of any such PCZBA meeting will be posted on the Village's website, newspaper, property, and certified mailings will be sent out. He confirmed that PCZBA petitions require separate notifications and that the Architectural Commission does not share those same notification requirements. He also confirmed that an application for a Special Use Permit has been received by the Village and is still under staff review. If a Special Use Permit is required and a complete application is received, the zoning matter will be placed on a PCZBA agenda and notifications sent out to neighboring property owners. Roger Goble, a member of the public, spoke from the audience to dispute the Village's notification requirements. Another member of the public requested that item #3 on the agenda be moved up before item #2.

NEW BUSINESS

1) Approval of the April 18, 2022 Meeting Minutes.

Corrections were made to the spelling of Commissioner Mikolajczak's name throughout. A reference to a landscaping recommendation for 145 Old McHenry Road was corrected to better reflect the intent of the comment. Grammar corrections were made to two instances of the term "newel post". The Commission's recommendation for signage at the Oatflow Café was corrected to replace the word "blend" with "resemble" in reference to the sign's border and its compatibility with other signs on the site.

Motion. A motion was made by Commissioner Roiter, seconded by Commissioner Mikolajczak to recommend approval of the April 18, 2022, meeting minutes, as amended.

Ayes: A. Roiter; L. Mikolajczak; M. Akins; J. Sylvester
Nays:
Absent: J. Marshall; J. Plunkett

Motion. A motion was made by Commissioner Roiter, seconded by Commissioner Akin, to move agenda item #3 before item #2.

Ayes: A. Roiter; L. Mikolajczak; M. Akins; J. Sylvester
Nays:
Absent: J. Marshall; J. Plunkett

2) Consideration of a request for an exterior deck for “Joanie’s Pizzeria”, 235 Robert Parker Coffin Road and within in the B-1 Historical Downtown Business District, submitted by Chris Kanzler.

T. Wegrzyn provided an overview of the petitioner’s request and context. It is located within the B1 Historic Business District. The deck is on the north side of the building and measures 15 feet x 39 feet. It would be attached to the existing deck and building. A 4-foot walkway would be removed for the deck expansion. Photos of the immediate vicinity and the existing conditions were shown. He further explained that the deck design is up for the Commission’s consideration tonight. The deck satisfies the bulk, yard, and setback regulations for the district. The use of the deck would be a matter for consideration by the PCZBA and Village Board, if required.

Ken Siwieck, representing New Midwest Capital, presented on behalf of the project. There is a new operator of the business, and they desire to improve the property by expanding the deck. The expansion would improve the look of the property over what is presently there. The deck matches the existing deck in material and design. Eventual expansion of the outdoor dining would allow the business to increase revenue, expand their capacity, and improve the aesthetics of the property.

The deck material is a newer rendition of the material used on the existing deck. It is carbonate decking. Wood picket railing is to be used to match the majority of the existing deck. There are a few sections of metal railing, but they wouldn’t be able to match that material. The serving station would be removed to make a pass through between the old and new deck. The existing walkway and planters are severely weathered and would be removed. The deck would extend approximately one foot beyond the eastern-most sliding door. No roof is proposed. Mr. Siwieck provided a physical example of the decking material. The existing walkway is made of wood. Chairwoman Sylvester asked if the newel posts match any existing posts. There are no other newel posts at the business to match. The lattice below the deck would match the existing lattice and would be stained.

Chairwoman Sylvester noted that the Downtown Guidelines recommend planters along 50% of the railings. There are some hanging baskets and boxes at the existing deck. She strongly recommended that these be applied to the new deck as well along 50% of the railings. Commissioner Mikolajczak asked if they could be permanent. Mr. Siwieck confirmed that no lighting is proposed.

Chairwoman Sylvester opened the meeting to public comment. T. Wegrzyn noted that everyone would have an opportunity to speak. Commentary would be limited to one turn each and back-and-forth commentary will not be allowed. Chris Beckord asked the applicant whether they had given any consideration, when designing the deck, on the impact of the immediate neighbors. Mr. Siwieck noted that the design is based on complementing the existing deck and building. Mr. Beckord claimed that the Zoning Code has restrictions on noise and buffer requirements for outdoor dining. Roger Goble asked if the Commission had seen the Special Use Permits which were issued for this property. The Commission did not review any Special Use Permits for this property. Mr. Goble also noted requirements for a 300-yard buffer requirement. He expressed a desire to see a landscape plan to buffer the structure and use from adjacent properties.

John Heidmann, a member of the public, spoke. He commented that the style of the deck was not consistent with that of Long Grove: rural, nineteenth century, and country. Nineteenth Century buildings did not have decks. A member of the public questioned whether the submitted plans were sufficient. T. Wegrzyn confirmed that permit-ready building plans are not required for an application to appear before the Architectural Commission. The Commission may request an additional appearance with more detailed drawings if they find the plans to be insufficient. Mr. Heidmann questioned why the Architectural Commission doesn't consider zoning in its determination.

There were comments made from the audience regarding the Architectural Commission's consideration of zoning standards. Chairwoman Sylvester reiterated that the Planning and Commission and Zoning Board of Appeals has jurisdiction over zoning matters and will consider those aspects of the proposed project at such time that the PCZBA hears a petition concerning the use of the deck. The Architectural Commission will strictly be considering the design of the proposed deck. T. Wegrzyn explained that the Architectural Commission meeting was being held prior to any PCZBA hearing because the design could impact the specific zoning relief or approvals required for the project.

After additional comments made from the audience, Chairwoman Sylvester addressed the audience to note that public concerns regarding the use should be presented before the PCZBA. T. Wegrzyn noted that those public comments received by May 6th were included in the agenda packet and provided to the Architectural Commission members prior to the meeting. Any comments received after that date were printed out and provided to the Commission at the meeting. Chairwoman Sylvester asked T. Wegrzyn whether there was any chance that the deck would not have to go to the PCZBA. T. Wegrzyn responded to note that the petitioner's application was still under staff and legal review. If the review finds that there is no requirement for the deck to appear before the PCZBA then there will not be a public comment period regarding the use. However, if the proposed use does require a hearing before the PCZBA then there will be an opportunity for the public to provide their comments. Whether or not a hearing is required, there is always a general commentary period at the start of all PCZBA meetings. The Special Use Permit application submitted by the petitioner and requesting an outdoor dining facility is still under review. Architectural Commission review is required for any addition to a commercial building in the B1 district, whether or not a Special Use Permit is also needed.

Written comments from Randall Harland, Chris Beckord, David Mundt, Debbie Handler, John Heidmann, Randy Towner, Shelley Frain, and Jon Garlovsky were included in the materials provided to the Architectural Commission. T. Wegrzyn confirmed that the Commission has the option to continue its review of this matter until the next meeting or until sufficient information is provided. He continued

to clarify that the Village is still reviewing a PCZBA application from the petitioners concerning a request for zoning approval of expanded outdoor dining on the property. If any additional zoning approvals are necessary, a public hearing before the PCZBA will be scheduled and the public will be afforded an opportunity to provide commentary on the matter. The Commission may make its approval conditional upon approval by the PCZBA and/or Village Board.

Chairwoman Sylvester opined that the newel posts were very standard and could be more decorative. The building is very vernacular, but there may be other decorative elements on the property that could be reflected in the newel posts. Commissioner Roiter confirmed that the additional decorating is needed. A finial or other decoration could be used. Planters are encouraged along 50% of the railing. Commissioner Mikolajczak recommended that a planter be installed across the whole railing. Chairwoman Sylvester noted that any future changes such as size, length, design, materials, or lighting would require an additional appearance before the Commission. Mr. Goble spoke from the audience to recommend that the review be continued until revised plans can be considered. The Commission considered whether the proposal required additional time for review. Members of the public also pointed out that the deck does not comply with the Special Use Permit issued previously or the Zoning Code standards.

Chairwoman Sylvester asked the commission whether the proposed deck, with changes to the newel posts, the recommended planters, and subject to any further conditions by the PCZBA, would be acceptable. Plans for the newel posts and planters will need to be provided to staff and reviewed together with the Chair of the Architectural Commission. Any further changes to the project will require further review by the Architectural Commission. Mr. Siwieck confirmed his understanding of the proposed conditions. Chairwoman Sylvester continued and asked whether any member of the Commission would like to make a motion or see the matter continued.

Motion. A motion was made by Commissioner Roiter, seconded by Commissioner Mikolajczak to recommend approval of the exterior deck, subject to the following conditions:

- 1) Plans for newel posts with additional detailing and in character with the immediate vicinity are to be submitted for review by staff and the Commission Chair.
- 2) Planters will be placed along 50% of the deck railing.
- 3) Subject to any additional requirements or review by the Plan Commission and Zoning Board of Appeals and Village Board resulting from the proposed use of the deck expansion.

Ayes: A. Roiter; L. Mikolajczak; M. Akins J. Sylvester

Nays:

Absent: J. Marshall; J. Plunkett

Chairwoman Sylvester encouraged those in attendance to contact the Village to ensure that the project comes before the Plan Commission and Zoning Board of Appeals. She thanked everyone for their participation in this process and thanked the applicant for the contributions of their business to the Village.

- 3) Consideration of a request for a new commercial structure “KEEP.Rental, Inc.”, 2798 Route 53 and within the R-2, Single Family Residential, submitted by Thomas and Douglas Olson.**

T. Wegrzyn provided an overview of the proposed commercial structure at 2798 IL Route 53. The site is presently zoned R-2 and would require additional zoning approvals by the Village Board. Self-Storage Facilities are not a permitted use within the R-2 zoning district. The property is at the southern extent of the Village's corporate limits. There is a large estate property to the north which is expected to be redeveloped in the future. The project previously was presented to the Village Board in February 2022. The Board referred the project to the appropriate Commissions and recommended that the design resemble other commercial structures in the vicinity such as Menards. He further explained that the project was appearing before the Architectural Commission first because any further changes to the design of the building may impact the extent to which any zoning relief is needed. If the plans are altered by any request of the PCZBA or Village Board, or if the applicant modifies the design on their own account, then the project will require another review by the Commission. The property is 2.19 acres in size. A photo was shown of the property. There is a ranch home located on the property which was built in the 1960's. Renderings of the property were shown. The proposal includes lighting, signage, and landscaping in addition to the building structure. Melt Span is proposed for the exterior siding. Nichiha Kurastone is also proposed as an accent siding material. The plans for the signage, landscaping, lighting, materials, and site were shown. Additional photos of commercial buildings within the Village and surrounding areas were also shown.

Commissioner Roiter asked for clarification on the project location. It is located just north of Lake-Cook Road, west of Menards, and along Route 53. He asked what vehicular access would be provided to the site. Doug Olson, the applicant, responded that the access is proposed as right-in, right-out. Chairwoman Sylvester asked if that influenced the location of the signs. Mr. Olson clarified that there is a sign proposed on the north façade and on the west façade towards the south end of the building. The design has two stories on the front side and three at the rear due to the grade of the site. Two elevators would be located on center. Two overhead doors would be located on center at the rear to allow for loading inside of the building. Chairwoman Sylvester asked Mr. Olson to clarify how the property would be screened from Lake-Cook Road. The property's rear faces a wetland area on the neighboring property and there are existing trees further obscuring the view. The applicant does not own the adjacent property. There will be no access from Lake-Cook Road. No wetlands are on the property, however, there are wetlands on the properties immediately surrounding it. Mr. Olson continued to note that the property will not generate a significant amount of traffic, but they were still intentional about placing the vehicular entrance as far from the intersection as possible. They have contacted IDOT regarding their request for access. Lighting at the rear of the building is intended to cover some of the driveway aisle while lighting along the sides of the building is directed downward and up the side of the building. There are lights also by the access doors. One pole light is to be along the drive lane near the property entrance. The signs are backlit.

Chairwoman Sylvester noted that the staff report indicated that Village Board expressed a desire for the project to reflect the architecture of other commercial developments in the Village such as the Menards or Sunset Grove. Mr. Olson described how the Nichiha stone was applied to the office portion, south tower, and center bump out of the building to address the Village Board's recommendation. T. Wegrzyn asked the Petitioner to clarify what portions of the building were Metl Span and which were Nichiha. Mr. Olson responded that only the stone is Nichiha. The metal panels are two-tone but extend the whole height of the building. There is no physical separation between the colors on the panels. Mr. Olson further described how the building has little negative impact in terms

of noise or fumes to the surrounding properties. Commission Mikolajczak asked whether the windows were real. Mr. Olson responded that the windows would either have blackout film applied or have backings with interior lighting to give the effect of a functional window. There would be no visible lockers as you look through the windows. The majority of customers find these facilities through the internet. Commissioner Roiter inquired as to how many storage units are in the building. There would be approximately 500 units, varying in size from 12'x30' and 10'x5'. Chairwoman Sylvester asked if there was any consideration to giving the building a break in texture along the larger facades of the building. Mr. Olson replied that there was no precedent in the Village to look to. They tried their best to minimize the mass of the building. Mr. Olson continued to explain that they were not opposed to changing the building aesthetics and would like to know if the Commission had any further recommendations. Chairwoman Sylvester, to facilitate the conversation, asked that the group tackle the facades, fenestration, and signage separately.

Concerning the facades, Chairwoman Sylvester pointed to the variations in pattern and texture at the Menards building located across Route 53. She also noted that there was no precedent for metal siding within the Village. T. Wegrzyn confirmed that there are no modern buildings in the Village with metal siding. Mr. Olson also referred to the Menards and indicated that the building has some larger horizontal lines which are broken up only in a few positions. He also pointed out that the building's southeast corner and façade are the most likely to be visible to the public. Commission Mikolajczak recommend paint to break up the larger expanses of façade. Chairwoman Sylvester asked if they were focused on using metal siding. Mr. Olson indicated that due to the design of the building, which is based on the storage units themselves, the exterior is merely a skin. Commissioner Roiter recommended a 6:12 or 10:12 pitch to the roofs of the towers to increase visibility and the project aesthetics. There is a long façade and the articulation in the middle could also have a similar roof treatment. Chairwoman Sylvester noted that the other commercial shopping centers in town have variegated roof lines and steeper roof pitches; suggested that other siding materials be used to provide variation, and that there should be some texture to the walls. There should be some other element to further distinguish between the two stories of the building. Some masonry was strongly encouraged because there are no other metal sided buildings in the Village. The ridges on the proposed metal siding were not pronounced enough. Shadow lines will give the building some depth. Chairwoman Sylvester also agreed with Commissioner Roiter on the towers. Mr. Olson pointed out the canopy on the façade. Chairwoman Sylvester noted that the building's presence at a gateway intersection into the Village. She clarified that a four-foot band of stone would not be desired along the whole building. Adding more wall articulation may be beneficial, but the Commissioners expressed a desire to see how it would work visually.

Chairwoman Sylvester moved the conversation to the windows. She noted that the current windows look very plain and as if they were "punched" into the façade. Sills or other treatments may help. Dormers could also help along the roofline to break up the mass. The walls and rooflines should be interrupted, and the windows could be more articulated. The windows are otherwise to scale. Shutters would not be appropriate for this style of building. Commissioner Roiter recommended stacking the windows. Mr. Olson noted that there are some areas of the Menards where there are canopies with blank areas below. T. Wegrzyn showed some photographs of newer, modern storage facilities in the region. Mr. Olson recommended putting windows on the lower level with some dormers above. Commissioner Roiter confirmed that those improvements would look more commercial. Mr. Olson asked for clarification on the southern tower. Chairwoman Sylvester noted that adding sills would be

beneficial and should be reflected on the north side of the building but is not needed on the tower feature.

T. Wegrzyn asked for a recap of the recommendations so far. A greater roof pitch is recommended at all towers. Additional stone is recommended at the towers. Breaking up of the roofline and additional canopies to break up the façade further. Some additional elements to break up the “flatness” of the walls is also needed. Sunset Grove was pointed to as having a good level of variation to the materials, colors, and elements to break up the building façades. There is masonry, clapboard, and brackets supporting canopies. Mr. Olson again pointed to “bump outs” at the Menards with roofs. Chairwoman Sylvester responded to suggest that the metal siding is the primary concern. Metal should be reduced first. The proposed Nichiha or stone would be preferred. Accents with these materials, bumped out from the façade, might be acceptable. This would avoid changing out the whole wall. Mr. Olson will prepare additional renderings. Commissioner Mikolajczak recommended that they prepare multiple design renderings for the Commission to consider. Mr. Olson prepared the renderings from the application himself.

The Commission moved on to discuss the signage. The business logo is used in the design. Mr. Olson clarified that Keep.rentals is also the business’ website. T. Wegrzyn noted that the signage may need additional relief from the Village’s sign ordinance. Staff are working with the Village attorney to determine the best path forward for zoning entitlement on the project. There are a few different routes it could proceed; however, all would require additional action by the PCZBA and Village Board. Depending on which type of zoning relief is requested, there are different zoning and sign standards which would apply to the project. The internally illuminated signs would require specific relief. Chairwoman Sylvester asked whether the applicant had considered placing signage on the east façade of the building. Mr. Olson responded that they were attempting to be subtle with the branding. Traffic heading southbound is likely to be the best audience to reach with signage. He noted that the sign may shift towards the corner of the building more. Multiple Commissioners quickly responded to request that the sign stay centered on the building. A sign facing Lake-Cook Road would not likely be visible. The sign was placed on the north side of the building so that there was space on the eastern façade for windows.

Chairwoman Sylvester again opined that the Commission should review the design again at an upcoming meeting. Mr. Olson thanked the Commission for their feedback. Commissioner Mikolajczak asked how tall the overhead doors were. Mr. Olson responded that the two center doors are 14 feet tall. The other doors would either be 10 or 12 feet tall.

The group agreed that the lighting was acceptable as proposed.

T. Wegrzyn asked for clarification as to which overhead door designs were being used. The glass doors would be used in the center bay. The other doors provide direct access to units.

Chairwoman Sylvester asked for the Commission’s thoughts on the proposed landscaping. T. Wegrzyn noted that staff would recommend some additional landscaping to the north/northwest could be applied to screen the overhead doors from any future development on the neighboring property. There is presently no landscaping on that portion of the property. The Commissioners agreed that landscaping in that area would be beneficial. T. Wegrzyn also pointed out that there is a 40-foot

separation between building and the roadway. Mr. Olson noted that there is a well and septic planned for the site. The septic would be in that space. A sewer connection would be extremely cost prohibitive. That septic has yet to be approved by Lake County. Commissioner Roiter asked if there was an alternative if the septic cannot be installed. Mr. Olson responded that their engineer made it very clear that there really is no cost-effective alternative to the septic. Chairwoman Sylvester asked for additional landscaping along the façade to also help break up that expanse of wall.

Motion. A motion was made by Commissioner Roiter, seconded by Commissioner Akins to approve the preliminary request for a new commercial structure at 2798 Route 53, subject to further review by the Architectural Commission, and with the following recommendations:

1. Increasing the roof pitch of the towers.
2. Consideration of a third tower.
3. Additional masonry or similar materials on the lower level of the building.
4. Enhancing the delineation between the levels of the building through the use of variations in material, canopies, or textures.
5. Recommended window placements and window enhancements such as trim or sills.
6. Additional landscaping along the east façade and northwest property line.
7. Reduction in metal siding and additional texture to any metal siding used.

Ayes: A. Roiter; M. Akins; J. Sylvester; L. Mikolajczak

Nays:

Absent: J. Marshall; J. Plunkett

4) Oman Greenhouse property update.

Chairwoman Sylvester provided a brief update regarding the property at 22155 North Illinois Route 83. The case is expected to appear before the Village's hearing officer in June. A continuation of greenhouse use was contemplated by the owner. Village staff have indicated that greenhouse use is no longer permitted on the property. The Village is aggressively pursuing demolition as a requirement for due to the condition of the property. Chairwoman Sylvester noted that she had brought up this issue to the Village Planner two years ago. Commissioner Mikolajczak asked whether a greenhouse could be built on the property if the site is demolished. T. Wegrzyn noted that the property is zoned R-2, and a greenhouse is not a permitted use within that district. As a legal, non-conforming use, the property was allowed to operate as a greenhouse. That legal status was lost once the use was discontinued for longer than six months and any future use of the property must now comply with the present standards.

OTHER BUSINESS

The group briefly discussed planned absences for the upcoming June 20th Architectural Commission Meeting. Staff will follow up to confirm attendance for the meeting.

Chairwoman Sylvester asked staff to follow up on an unpermitted sign advertising "The Broken Bridge Treats." All commercial signs require approval by the Architectural Commission and this sign has not been reviewed by the Commission. It was noted that the applicant at 145 Old McHenry Road made

changes to the staircase without submitting plans first and that the changes were not aligned with the Commission's request. T. Wegrzyn added that the owner has been notified of their violation. Staff are working with the owner to bring them into compliance with the Commission's conditions of approval.

ADJOURNMENT

The next scheduled Architectural Commission meeting is for June 20, 2022 at 7:00 P.M.

Motion. With no further business, a motion to adjourn the meeting was made by Commissioner Roiter, seconded by Commissioner Mikolajczak.

Ayes: A. Roiter; L. Mikolajczak; M. Akins; J. Sylvester

Nays:

Absent: J. Marshall; J. Plunkett

Meeting Adjourned at 9:20 p.m.

Respectfully Submitted,

Taylor Wegrzyn

Taylor Wegrzyn
Planner

TW/JLM

Jennifer Marshall

From: Chris Beckord <cbeckord@gmail.com>
Sent: Tuesday, May 31, 2022 3:41 PM
To: Long Grove; Taylor Wegrzyn; Greg Jackson; wilson5279@comcast.net
Subject: Public hearing Joanies deck expansion
Attachments: cid99D52287-7C70-4336-864E-9225DBF5C2B6.pdf

As a property owner whose Residentially zoned lot is 60 feet from this proposed deck expansion I would simply like to say please do not let this project move forward or approve it!

B-1 District Zoning

B-1 district zoning for outdoor dining establishes a distance of 300 feet from the location of the dining area to the nearest residentially zoned lot. Our lot line is 60 feet from the proposed deck, the property to the east is 50 feet from the proposed deck. In the paperwork submitted at the architectural committee meeting the petitioner identified the deck as being 270 feet from the residence to the north and 170 feet from the residence to the east. Not only do both of these distances fall short of the 300 foot benchmark it is incorrect to use them because the zoning code specifically state residential zone lot.

We understand special zoning can override the 300 foot limit to a residential lot. Why would you consider approving such an override when it will have an incredibly negative impact on the residence. There are five residential lots within this 300 foot limit. The closest being 50 feet from the proposed deck.

Landscaping

The special use permit for the current deck specifies a landscaping barrier. To the east residential lot there is an existing landscape barrier, the homeowners will tell you it does not block the sound from the existing deck let alone a new deck. To the northern lots there is no landscape barrier. The noise and disruption from the existing deck flows quite freely and picks up intensity over the water.

As of today the landscape barrier required in the existing special use permit has not been built.

Landscaped barriers are described in the B1 business district zoning as a buffer zone between a development and a residential lot. This requires a substantial landscape barrier not 3 foot high bushes but 10 to 12 foot high bushes hedges and tree lines.

Parking

Anyone who tries to Downtown Long Grove businesses those parking is a problem. The attached letter from Randee Towner clearly describes the issues.

This proposed expansion is simply too much too close to the affected homeowners.

All Long Grove residence move here for the peace and quiet of our community. This project would tear that peace and quiet from us and the additional noise will affect more Three Lakes subdivision homeowners.

Many decisions like this come down to people or money. This is one time when people should be the most important consideration.

Respectfully;

Chris Beckord

Sent from my iPad

Jennifer Marshall

From: randallharland@gmail.com
Sent: Friday, May 27, 2022 9:39 PM
To: Long Grove
Subject: RE: Joanie's Pizzeria of Long Grove

I understand the architectural committee has approved this deck initiative, and that the petition will be submitted for review by the zoning board for the June 7 meeting. Of course the architectural committee would approve a deck, as long as it's within code.

More importantly, the zoning board has to decide what is good for the community in terms of balance between commerce and residential peace and quiet. This is a slam dunk decision. Can you imagine living across the pond from this new monstrosity, packed with people, yammering late into the evening? I wonder whether a suit could be filed, as my family would likely have to sell prematurely.

From: randallharland@gmail.com <randallharland@gmail.com>
Sent: Sunday, May 8, 2022 9:45 PM
To: longgrove@mundelein.org
Subject: Joanie's Pizzeria of Long Grove

It is my understanding that Joanie's Pizzeria of Long Grove has petitioned the village to allow a substantial increase in its decking/outdoor dining area.

As someone who frequently visits the neighborhood on the other side of the pond, I feel this will have a devastating impact on the quiet environment. The peace and quiet of the neighborhood north of Joanie's is a major reason why my family chose to move to Three Lakes Drive many years ago. Yet, we can't keep windows open whenever the weather is mild, as the noise from the restaurant deck travels across the water. If the crowd were to grow, I think it would require my family to sell. If that weren't bad enough, I also feel such an initiative by the restaurant would lower the value of the house substantially.

I believe the village of Long Grove has to consider the balance between commerce and homes. Please be very careful taking the next step, as commerce is apparently about to infringe on the residential aura that attracted my family to the village in the first place.

Randall Harland
randallharland@gmail.com
+1 (224) 279-8240 cell
<https://www.linkedin.com/in/randall-harland-bb11b264/>

Taylor Wegrzyn

From: jackgone <jackgone@aol.com>
Sent: Friday, May 27, 2022 5:20 PM
To: Taylor Wegrzyn
Cc: gjackson@longgroveil.gov; wilson5279@comcast.net; cbeckord@gmail.com
Subject: Joanie's Deck Expansion

Hi Village Directors,

As part of the Long Grove "Planning and Zoning Committee", both my wife and I would like to direct your vote to be against any additional infringement into the established lot lines and set backs that are in the existing rules.

We are against this deck expansion due to the noise and disruption it will cause. Homes that are across the lake not only get the direct noise but the additional noise of sound reflecting off the lake water. These owners that not only pay huge tax bills are not able to sit out at night on their patios and enjoy a peaceful evening without listening to the external noise created from across the pond.

Let's think of Long Groves taxpayers and not the businesses. We have been at Joanie's on their deck during the summer and without screening, we were eaten alive by mosquitoes. A bigger deck is not the answer, but screening in the existing deck will be an improvement to their business.

Jack Gaughan
4131 Three Lakes Dr.
Long Grove, IL.

Sent from JackGone

Jennifer Marshall

From: Greg Jackson <gjackson@longgroveil.gov>
Sent: Tuesday, May 31, 2022 3:43 PM
To: Chris Beckord; Long Grove; Taylor Wegrzyn; wilson5279@comcast.net
Subject: RE: Public hearing Joanies deck expansion

Chris –

Did you see my email and letter sent a short while ago? The petitioner has withdrawn.

Greg



Gregory Jackson, MPA, ABD

Village Manager
Village of Long Grove, Illinois

Phone 847-634-9440 **Mobile** 847-321-5591

Web www.longgroveil.gov

Email gjackson@longgroveil.gov

3110 Old McHenry Road, Long Grove, IL 60047

“The mission of Long Grove’s municipal government is to deliver public goods and services efficiently, effectively, and equitably, never compromising the public trust or the belief that government should serve a higher purpose. Through collaborative governance, stakeholder engagement and the highest levels of transparency this unit of local government will pursue excellence over mediocrity in all areas of public policy and administration.”

From: Chris Beckord <cbeckord@gmail.com>
Sent: Tuesday, May 31, 2022 3:41 PM
To: Longgrove@mundelein.org; TWegrzyn@mundelein.org; Greg Jackson <gjackson@longgroveil.gov>; wilson5279@comcast.net
Subject: Public hearing Joanies deck expansion

As a property owner whose Residentially zoned lot is 60 feet from this proposed deck expansion I would simply like to say please do not let this project move forward or approve it!

B-1 District Zoning

B-1 district zoning for outdoor dining establishes a distance of 300 feet from the location of the dining area to the nearest residentially zoned lot. Our lot line is 60 feet from the proposed deck, the property to the east is 50 feet from the proposed deck. In the paperwork submitted at the architectural committee meeting the petitioner identified the deck as being 270 feet from the residence to the north and 170 feet from the residence to the east. Not only do both of these distances fall short of the 300 foot benchmark it is incorrect to use them because the zoning code specifically states residential zone lot.

We understand special zoning can override the 300 foot limit to a residential lot. Why would you consider approving such an override when it will have an incredibly negative impact on the residence. There are five residential lots within this 300 foot limit. The closest being 50 feet from the proposed deck.

Landscaping

The special use permit for the current deck specifies a landscaping barrier. To the east residential lot there is an existing landscape barrier, the homeowners will tell you it does not block the sound from the existing deck let alone a new deck. To the northern lots there is no landscape barrier. The noise and disruption from the existing deck flows quite freely and picks up intensity over the water.

As of today the landscape barrier required in the existing special use permit has not been built.

Landscaped barriers are described in the B1 business district zoning as a buffer zone between a development and a residential lot. This requires a substantial landscape barrier not 3 foot high bushes but 10 to 12 foot high bushes hedges and tree lines.

Parking

Anyone who tries to Downtown Long Grove businesses those parking is a problem. The attached letter from Randee Towner clearly describes the issues.

This proposed expansion is simply too much too close to the affected homeowners.

All Long Grove residence move here for the peace and quiet of our community. This project would tear that peace and quiet from us and the additional noise will affect more Three Lakes subdivision homeowners.

Many decisions like this come down to people or money. This is one time when people should be the most important consideration.

Respectfully;

Chris Beckord

Sent from my iPad

Taylor Wegrzyn

From: Lea Ann Pitcher <leaannpitcher@gmail.com>
Sent: Monday, May 30, 2022 5:35 PM
To: Taylor Wegrzyn; gjackson@longgroveil.gov; wilson5279@comcast.net; sshlagman@longgroveil.gov
Subject: Opposition to the proposed deck expansion at Joanie's Restaurant

May 30, 2022

Dear Village Planning and Zoning Committee

We are opposed to the deck expansion of Joanie's Restaurant. The noise nuisance from this structure extends beyond the homes surrounding the adjacent lake to Joanie's property. We live at 4114 3 Lakes Drive (map is included below) and we currently hear the music and emcee that performs in front of the Broken Earth Winery. The proposed deck at Joanie's, would run parallel to this location on the opposite side of the building. The proposed deck would be closer to the water with a more direct path to our property. The sounds from the Broken Earth Winery are heard even though there are buildings and trees between our home and the Winery. As you can see from the map, there would be nothing to block the sounds from the proposed deck addition. The sound waves would have a straight unobstructed path down the lakes to our property. We can only conclude that the sound produced on the deck would be of equal or greater volume to what we already experience from the Broken Earth Winery.

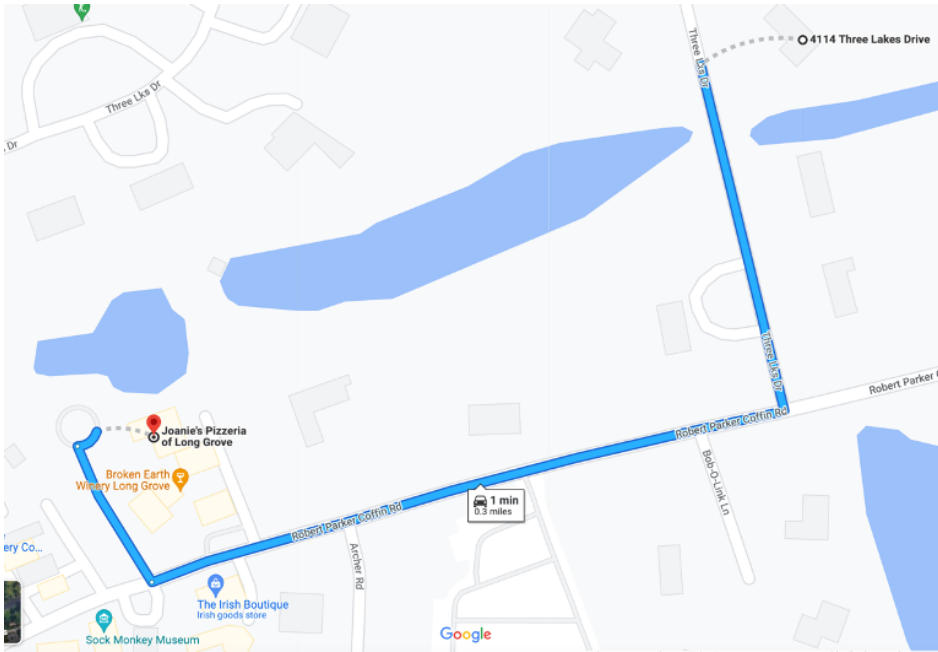
The physics of how sound travels over water and how it becomes amplified as it travels would cause the crowd noise of the proposed deck to become a public noise nuisance to all the homes who border the lake. As I read Lake County Ordinance Title IX: General Regulations, Chapter 94 Public Nuisances, 94.07 Noise (included below), I cannot legally be a noise nuisance to my neighbors past 100 feet from my property line, a business should not be allowed to build a structure that will be a noise nuisance to their neighbors beyond 100 feet of their property line.

We purchased our property with full knowledge that Long Grove had several festivals each year that would bring in more traffic and more noise. We are proud to be a part of this long tradition and accept the sound of the music at our property. Our experience with the ease at which we hear the festivals from our house is why we realize how the sound from the proposed deck will affect the enjoyment of our use of our outdoor space night after night during good weather.

If I was on the Planning and Zoning Committee, I would wonder how well the downtown noise is heard at the homes in Three Lakes. I recorded with my cellphone (which is limited by the small built-in speaker) the music from the Chocolate Fest performed at the Bridge on May 21, 2022 at 9:32pm and the music performed in front of the Broken Earth Winery on May 28, 2:30pm as heard from my house. Please listen to the attached video to get a better idea of how the sound carries across the lakes to other homes besides the ones adjacent to Joanie's property.

We purchased our property because of the acreage and the abundance of nature. We use our outdoor space to watch and listen to the multitude of birds, ducks and geese. If the proposed deck is constructed there will be no control over how Joanie's will use this space. They can play music, have live bands, karaoke nights, etc. and our only recourse will be to call the sheriff to complain about them being a noise nuisance. We do not

want to battle with a downtown business we support and enjoy. We are asking the Planning and Zoning Committee to maintain the serenity of our outdoor space and to uphold our rights against a noise nuisance by denying the special permit for Joanie's deck expansion.



Lake County Ordinance Title IX: General Regulations, Chapter 94 Public Nuisances, 94.07 Noise states (A) Sound amplification. It is a public nuisance to operate or permit operation of any radio or stereo sound amplification system or other sound amplification equipment which:

- (1) Can be heard at a distance of 100 feet or more from the source vehicle;
- (2) Can be heard at a distance of 100 feet from the property line of the source property; or
- (3) Which exceeds 70db(A) (slow meter response) at the property line of any neighboring property zoned and used for residential purposes.

[MP4 of music from downtown](#)

Thanks for your time and consideration,

Frank and Lea Ann Pitcher
4114 3 Lakes Drive
Long Grove, IL 60047



Taylor Wegrzyn

From: Francis Nunez <francis.nunez@gmail.com>
Sent: Tuesday, May 31, 2022 1:19 PM
To: Taylor Wegrzyn
Subject: Village Planning and Zoning Committee regarding Joanie's Deck Expansion

May 31, 2022

Taylor Wegrzyn
Project Facilitator, Village of Mundelein
300 Plaza Circle
Mundelein, IL 60060

Dear Mr. Wegrzyn,

This is in reference to the special permit request for zoning expansion of Joanie's Pizzeria in downtown Long Grove. In particular, this is a formal appeal for reevaluation prior to any final decision by the Architectural Committee to approve expansion of the deck owned by Joanie's Pizzeria.

As residents of Long Grove since 2016 it's been imperative for my family to support all local businesses and establishments in the downtown area. Joanie's in particular has always been a special place for my family as our home is situated right next door along Robert Parker Coffin Road.

With such close proximity, not only have we become frequent patrons but we've even become good friends with the original owner, Joanie Shunia. Even with a change in ownership, we strongly feel there's no reason that support should not continue.

While we fully support all local community businesses we request that approval of the special permit be reconsidered by the Village Planning and Zoning Committee. Not only does expansion of the outdoor deck encroach existing downtown B-1 district zoning rules beyond the required 300 ft but in our opinion, the expansion will cause additional noise and clamor in an otherwise serene residential community.

Like many of my fellow residents, it is not our intent to object to any and all possible means for local businesses like Joanie's Pizzeria to grow but by reaching out to you my hope is that a compromise can be made to preserve the peace and serenity of the Lakes of Long Community.

Sincerely,

Frank Nunez
Long Grove, IL

Taylor Wegrzyn

From: Neil Margolis <neilvision@aol.com>
Sent: Sunday, May 29, 2022 8:06 AM
To: Taylor Wegrzyn; gjackson@longgroveil.gov; wilson5279@comcast.net; sshlagman@longgroveil.gov; cbeckford@gmail.com
Subject: petition with regards to Joanie's Pizzeria

I would like to go on record as being apposed to the Special use permit being considered for the outdoor deck expansion at Joanie's Pizzeria

respectfully
Dr. Neil Margolis
4151 Robert Parker Coffin Rd

LEGAL NOTICE
VILLAGE OF LONG GROVE, ILLINOIS
NOTICE OF PUBLIC HEARING BEFORE THE
VILLAGE OF LONG GROVE PLAN COMMISSION &
ZONING BOARD OF APPEALS

PUBLIC NOTICE IS HEREBY GIVEN that on May 2, 2023, at the Long Grove Village Hall, 3110 Old McHenry Road, Long Grove, IL 60047, at the hour of 7:00 p.m., a public hearing will be held during the meeting of the Plan Commission & Zoning Board Appeals (PCZBA) of the Village of Long Grove, Lake County, Illinois (unless otherwise set forth in the agenda to be posted) in connection with a petition by New Midwest Capital for a Special Use Permit pursuant to Section 5-4-5(A)(3) of the Long Grove Code of Ordinances and/or any other necessary or appropriate zoning relief relating to a proposed outdoor dining area on the property located at 235 Robert Parker Coffin Road, all in accordance with the application on file with the Village of Long Grove.

Address: 235 Robert Parker Coffin Road
P.I.N.s 15-30-100-032, 15-30-100-033

All persons who attend the hearing shall have the opportunity to make oral comments and ask questions concerning the proposed development and requested zoning relief described in this notice.

Additionally, any person may submit written comments regarding the matters set forth herein by email sent to: sshigman@longgroveil.gov prior to the public hearing or in-person at the public hearing. Written comments should include the full name and address of the author and include in the subject line "Re: 235 Robert Parker Coffin Road." All written comments received prior to the publication of the meeting agenda will be included in the official hearing record, but no such public comment shall be treated as testimony with respect to the subject of this public hearing unless it includes the following statement: "The comments herein provided are true to my best knowledge and belief under penalty of perjury."

The PCZBA may continue the hearing to a later date, time, and place should that become necessary without further public notice, other than notice entered upon the minutes of the public hearing.

Dated at Long Grove, Illinois this 12th day of April 2023
Helen Wilson, Chair, Village of Long Grove PCZBA
Published in Daily Herald April 17, 2023 (4598443)

CERTIFICATE OF PUBLICATION

Paddock Publications, Inc.

Lake County Daily Herald

Corporation organized and existing under and by virtue of the laws of the State of Illinois, DOES HEREBY CERTIFY that it is the publisher of the **Lake County DAILY HERALD**. That said **Lake County DAILY HERALD** is a secular newspaper, published in Libertyville, Lake County, State of Illinois, and has been in general circulation daily throughout Lake County, continuously for more than 50 weeks prior to the first Publication of the attached notice, and a newspaper as defined by 715 ILCS 5/5.

I further certify that the **Lake County DAILY HERALD** is a newspaper as defined in "an Act to revise the law in relation to notices" as amended in 1992 Illinois Compiled Statutes, Chapter 715, Act 5, Section 1 and 5. That a notice of which the annexed printed slip is a true copy, was published 04/17/2023 in said **Lake County DAILY HERALD**. This notice was also placed on a statewide public notice website as required by 5 ILCS 5/2.1.

BY *Daula Baltz*
Designee of the Publisher of the Daily Herald

Control # 4598443

